

Supporting Growth

Redhills New Arterial Network

Appendix 2

Landscape Plans and Images

Version 1.0

August 2020



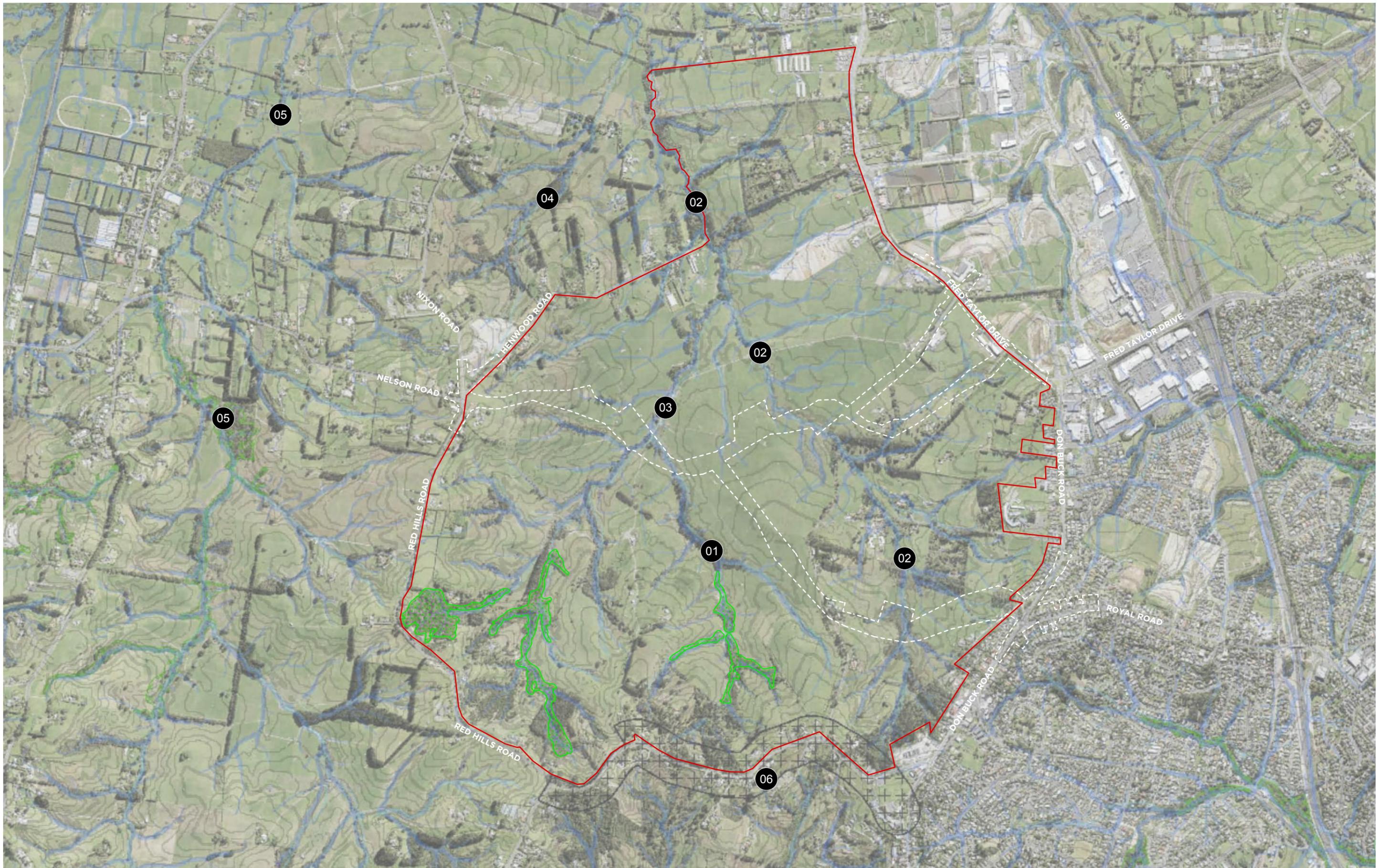


LEGEND

	REDHILLS ARTERIAL TRANSPORT NETWORK (RATN) - PROPOSED DESIGNATION BOUNDARY
01	REDHILLS PRECINCT BOUNDARY
02	WESTGATE SHOPPING CENTRE
03	WESTGATE
04	MASSEY WEST
05	NORTHWEST SHOPPING CENTRE
06	WEST HARBOUR
07	ROYAL HEIGHTS
08	TAUPAKI
09	WAITAKERE
10	HENDERSON CREEK
11	TE ATATU PENINSULA

DATE	AUGUST 2020
SCALE	1:20,000 @ A3
PROJECT ID	NORTH-WEST HIF NOR
DRAWN BY	K. HOLYOAKE
REVISION	FINAL R5

REDHILLS ARTERIAL
TRANSPORT NETWORK
PROJECT LOCATION AND LOCAL CONTEXT

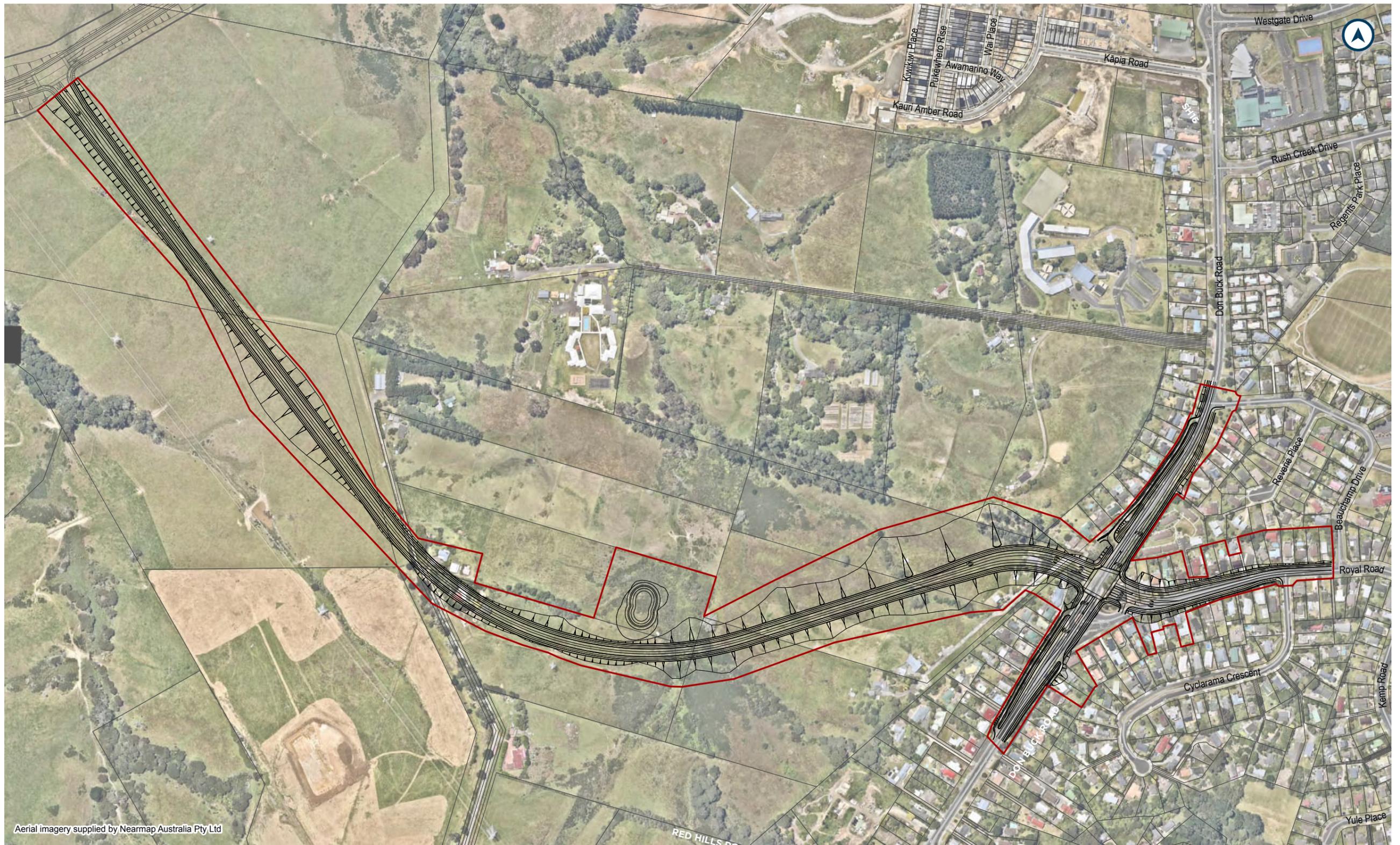


	REDHILLS ARTERIAL TRANSPORT NETWORK (RATN) - PROPOSED DESIGNATION BOUNDARY				
	STREAMS + OVERLAND FLOW PATHS (AUP OIP GIS)	01	RED HILL STREAM	05	PAKINUI STREAM
	SEA (Terrestrial)	02	NGONGETEPARA STREAM	06	RIDGELINE PROTECTION OVERLAY
		03	WAITEPUTA STREAM		
		04	TAKITAKI STREAM		



DATE: AUGUST 2020
 SCALE: 1:15,000 @ A3
 PROJECT ID: NORTH-WEST HIF NOR
 DRAWN BY: K. HOLYOAKE
 REVISION: FINAL R5

**REDHILLS ARTERIAL
 TRANSPORT NETWORK**
 BASELINE LANDSCAPE - LOCAL LANDSCAPE

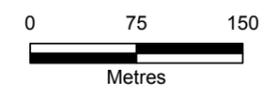


Aerial imagery supplied by Nearmap Australia Pty Ltd

LEGEND

-  North-South Alignment
-  East-West Alignment

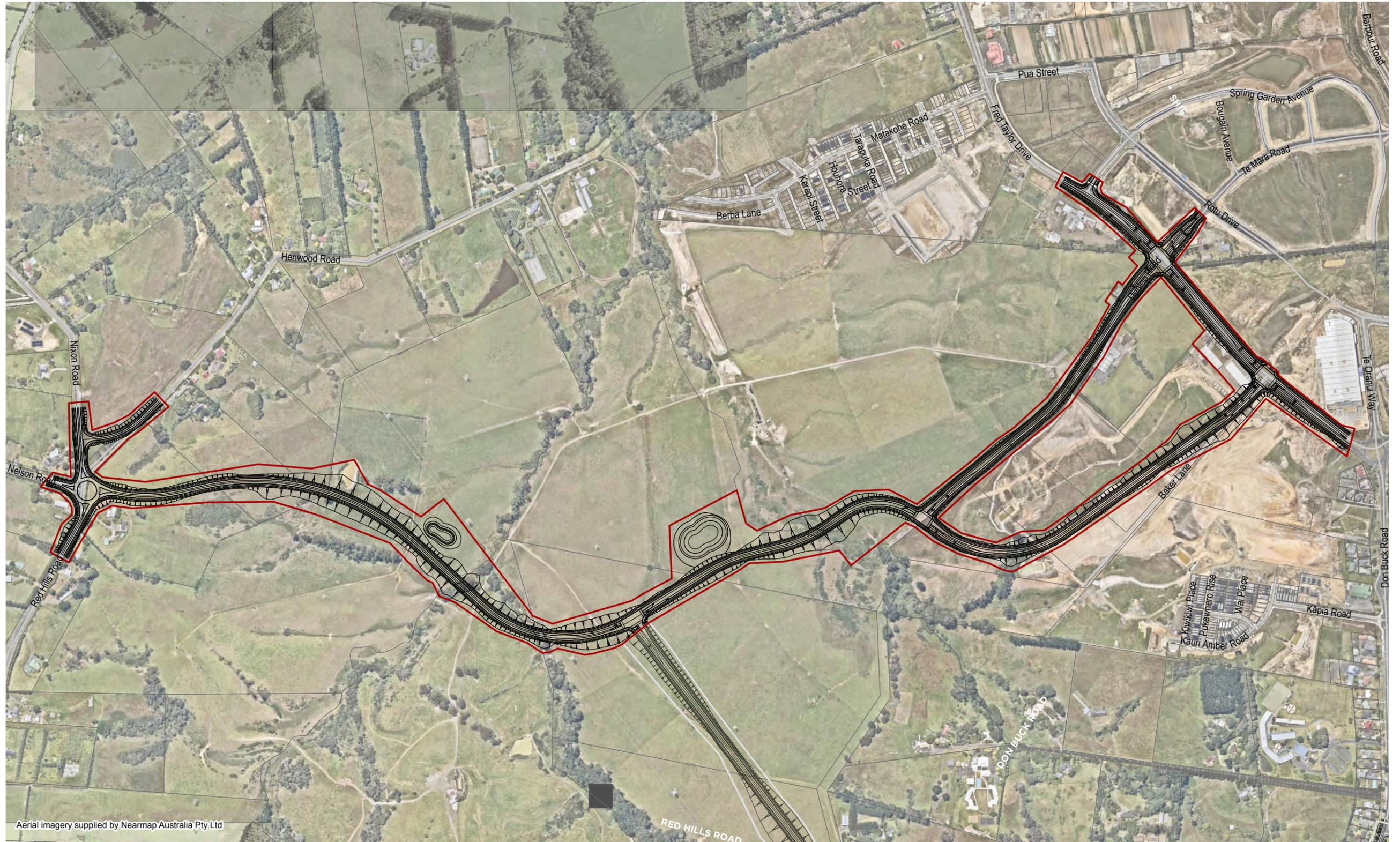
-  North-South Portion of Designation Boundary
-  East-West Portion of Designation Boundary



01	REDHILL STREAM	05	PAKINUI STREAM
02	NGONGETEPARA STREAM	06	RIDGELINE PROTECTION OVERLAY
03	WAITEPUTA STREAM		
04	TAKITAKI STREAM		

DATE	AUGUST 2020
SCALE	1:5000 @ A3
PROJECT ID	NORTH-WEST HIF NOR
DRAWN BY	SGA
REVISION	FINAL R5

**REDHILLS ARTERIAL
TRANSPORT NETWORK**
NORTH-SOUTH CORRIDOR - AERIAL BASE



Aerial imagery supplied by Nearmap Australia Pty Ltd

LEGEND

- East-West Alignment
- North-South Alignment

- ▭ East-West Portion of Designation Boundary
- ▭ North-South Portion of Designation Boundary



01	REDHILL STREAM	05	PAKINUI STREAM
02	NGONGTEPARA STREAM	06	RIDGELINE PROTECTION OVERLAY
03	WAITEPUTA STREAM		
04	TAKITAKI STREAM		

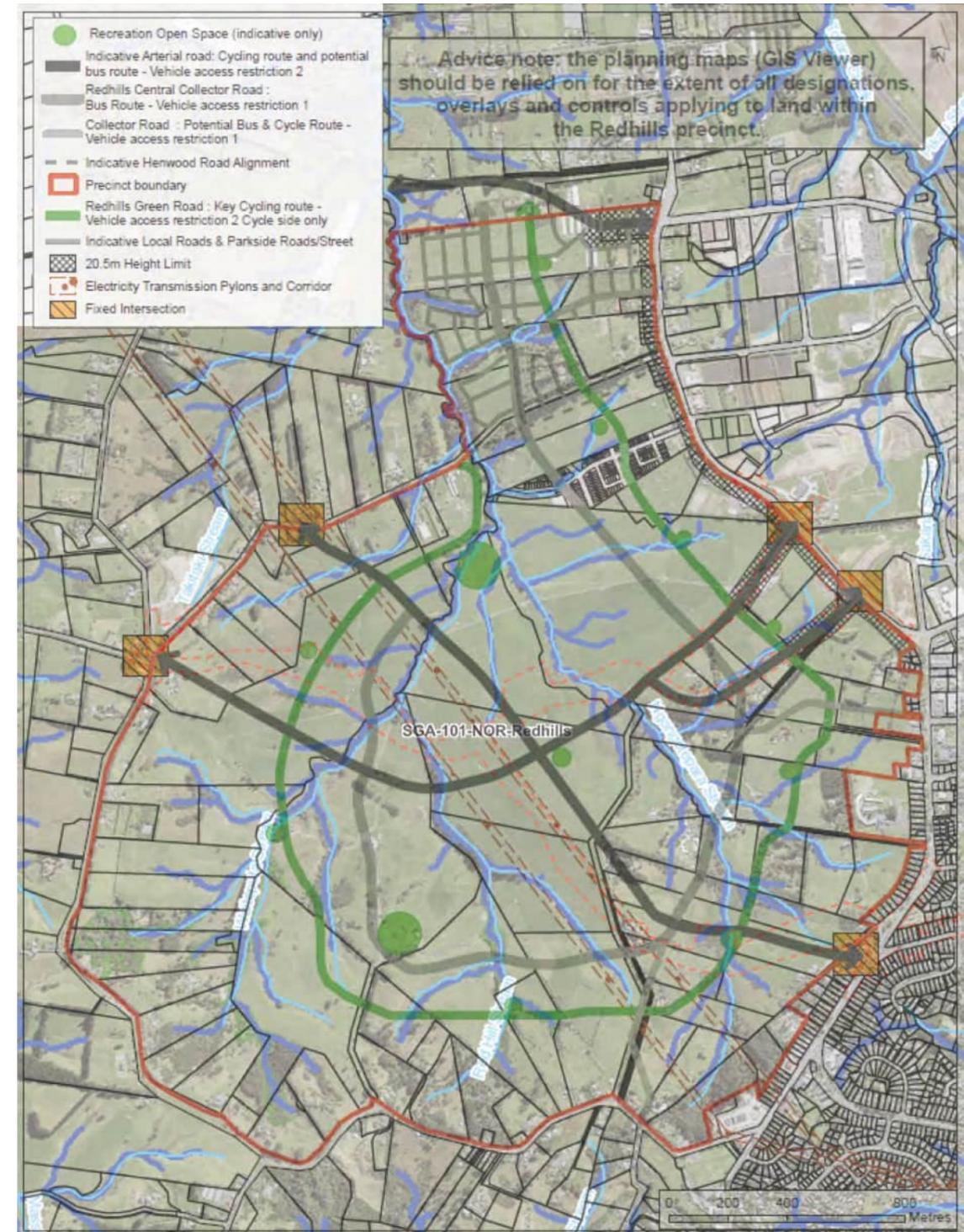
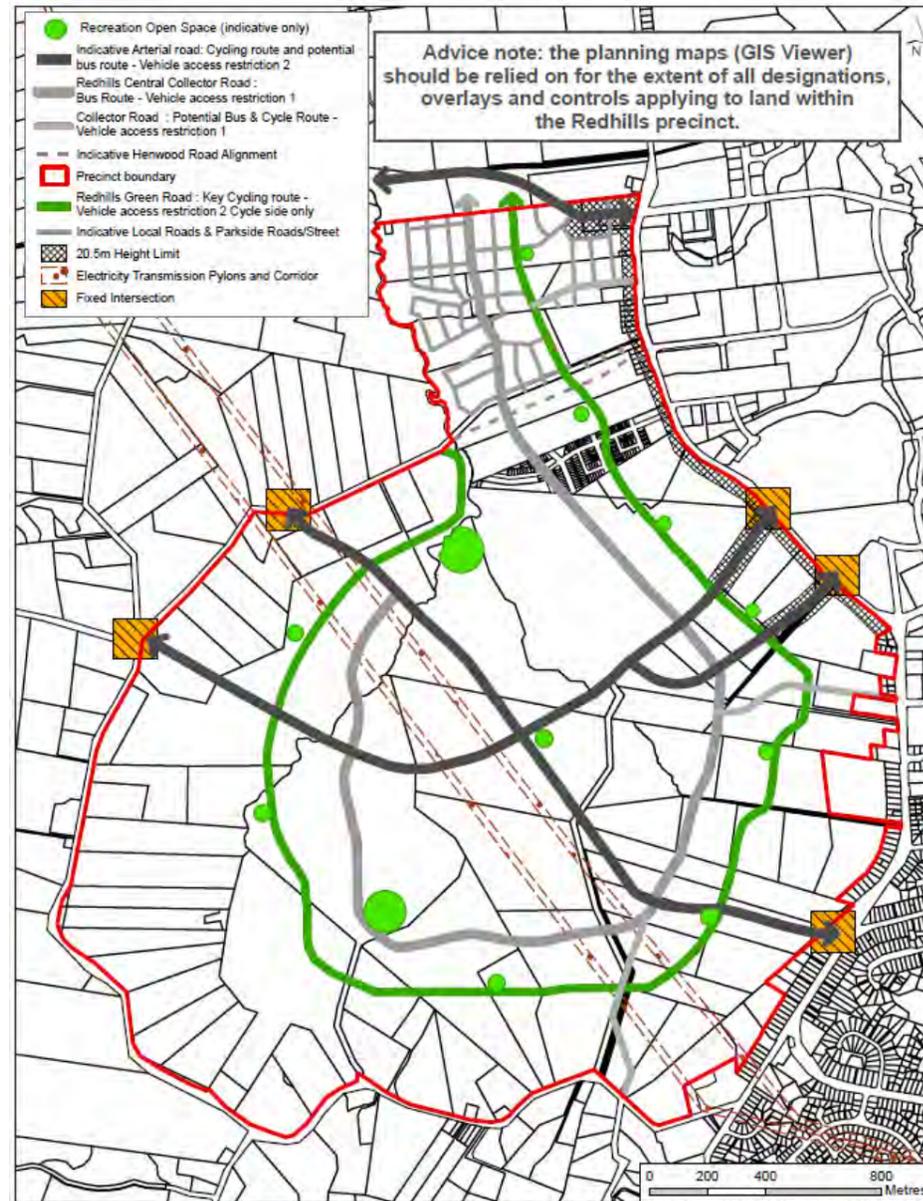
DATE	AUGUST 2020
SCALE	1:5000 @ A3
PROJECT ID	NORTH-WEST HIF NOR
DRAWN BY	SGA
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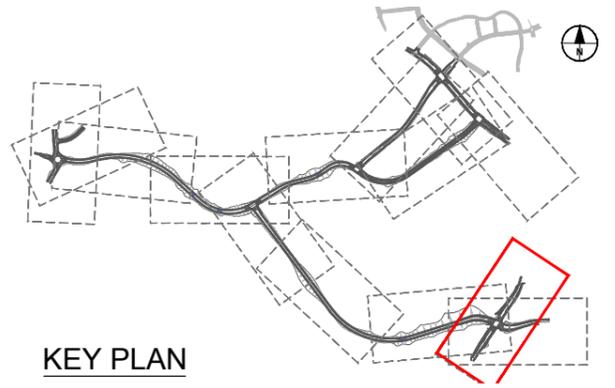
REDHILLS ARTERIAL
TRANSPORT NETWORK
EAST-WEST CORRIDOR - AERIAL BASE

not the infrastructure works identified in Table I610.6.1.1 and Table I610.6.2.1 will be triggered by the subdivision and/or development.

I610.10. Precinct plans

I610.10.1. Redhills Precinct: Precinct Plan 1

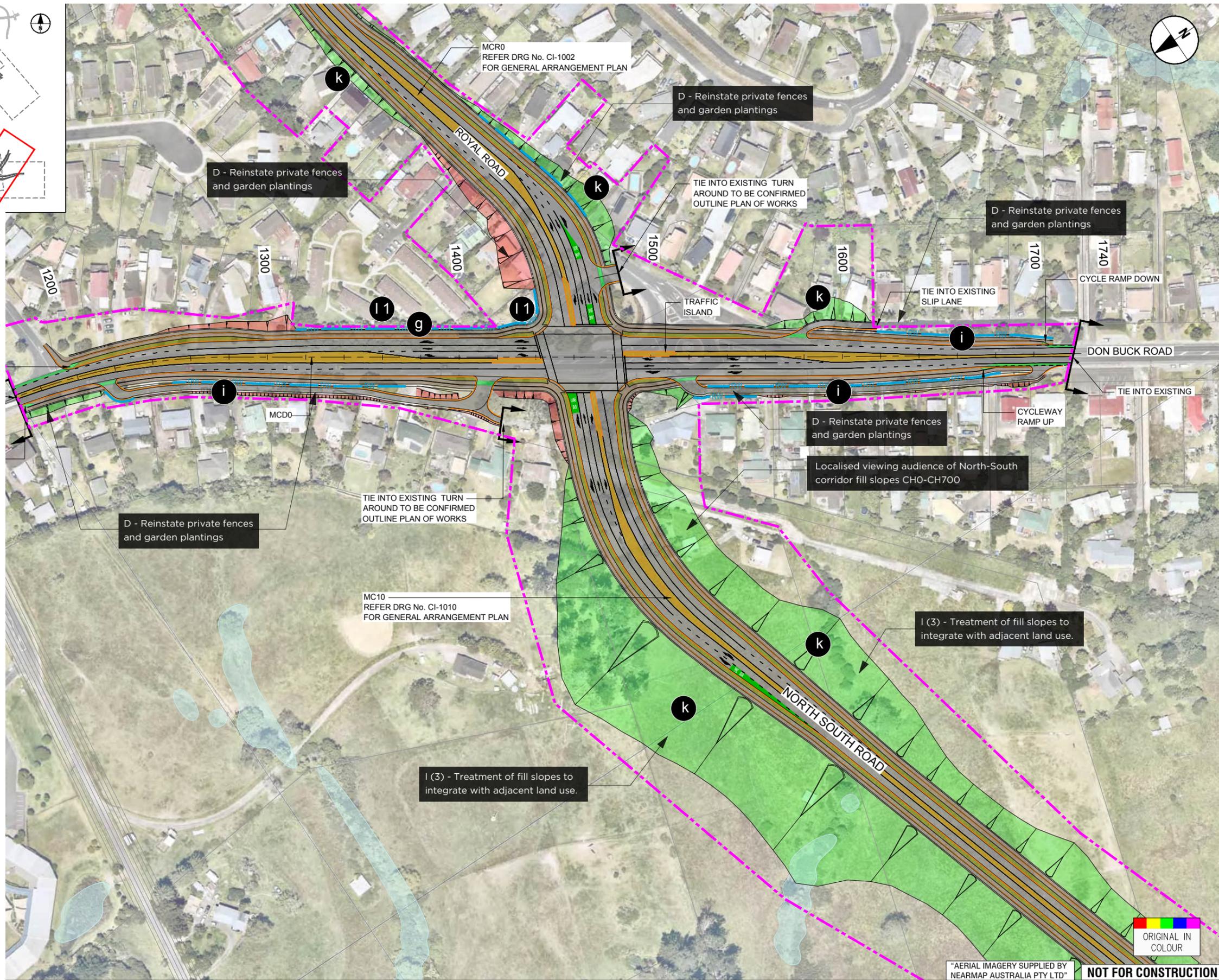




KEY PLAN

LANDSCAPE MITIGATION KEY

- a) Reinstall site compounds and construction yards by removing any left-over fill and shaping ground to integrate with surrounding landform. Reinstall with grass at the completion of works.
- b) Retain noteworthy trees and vegetation identified within the Project area where practicable.
- c) Reinstall the retaining wall and native and exotic buffer planting above the existing timber retaining wall at the Don Buck Road / Royal Road intersection.
- d) Reinstall private fences and garden plantings (with the exception of required properties) for existing, remaining dwellings affected by Project works.
- e) For affected private properties, where existing dwellings are assumed to be removed, it is recommended that, after completion of the works affecting the property, the remnant land be grassed and maintained within the road corridor to mitigate adverse visual amenity effects potentially arising from residual land.
- f) Bridges (if applicable) - to be designed to contribute to the local sense of place and urban amenity of the future urban landscape.
- g) Retaining wall (Don Buck / Royal Road intersection) - It is recommended that the new retaining wall be designed to contribute to the local sense of place and urban amenity of the future urban landscape.
- h) Walking and cycling connectivity: investigate opportunities to integrate with existing and future open space (as indicated by the Precinct Plan)
- i) Noise mitigation measures / retaining walls - designed to integrate with private boundary fencing (i.e. to avoid double layering of noise walls and boundary fences). It is also recommended that noise mitigation measures and retaining walls incorporate existing and reinstatement planting in a way that contributes to the streetscape character, minimises visual amenity effects on residents and integrates with the layout and design of outdoor living spaces.
- j) The 27m long x 1.8m high noise mitigation wall proposed to mitigate the noise effects for 25 Red Hills Road should be designed to integrate with the contextual features of the road corridor and be designed (with a high level of design input) as a purposeful streetscape feature within the road corridor.
- k) Cut and fill slopes should be shaped to a natural profile to integrate into the surrounding natural landform. Fill slopes associated with proposed bridge (or culvert crossings) are recommended to be shaped to natural landform at a suitable gradient to allow riparian planting to be established.
- l) Planting Plan: a planting plan should be prepared for the Project including for:
 1. Reinstatement planting of the Don Buck Road / Royal Road buffer planting.
 2. Reinstatement planting in relation to private properties.
 3. Treatment of fill slopes to integrate them with adjacent land use. Specific areas for assessment include the following locations:
 - North-South corridor (CH0 - CH700)
 - East-West corridor (CH350 - CH1050)
 - East-West corridor (CH1600-1700)
 4. Street trees - ecological analysis to determine species selection relative to local landscape context and ecological opportunities.



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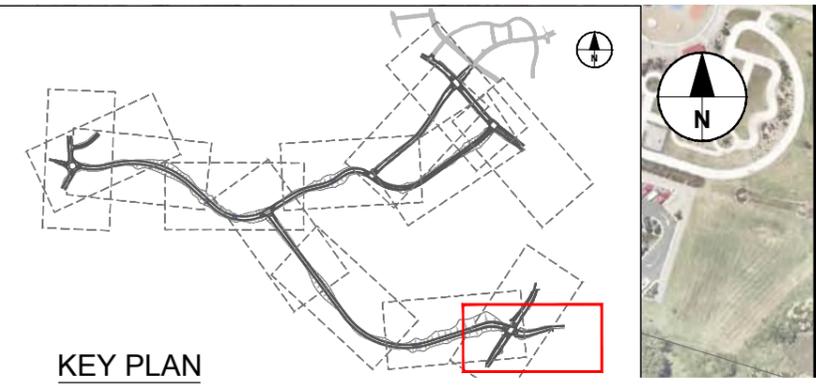
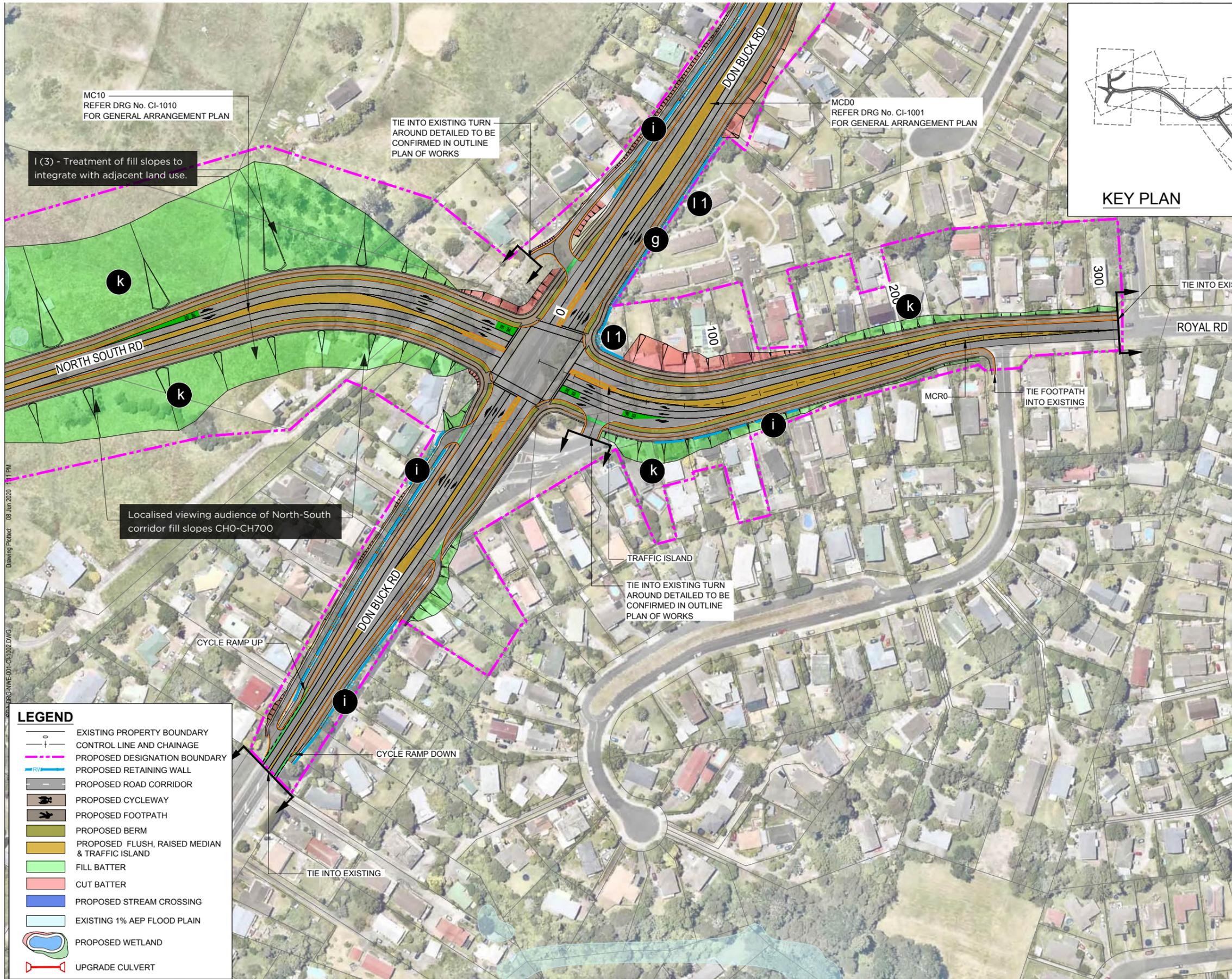
01	REDHILL STREAM	05	PAKINUI STREAM
02	NGONGETEPARA STREAM	06	RIDGELINE PROTECTION OVERLAY
03	WAITEPUTA STREAM		
04	TAKITAKI STREAM		

● APPROXIMATE LOCATION OF MITIGATION MEASURES

DATE: AUGUST 2020
 SCALE: 1:2000 @ A3
 PROJECT ID: NORTH-WEST HIF NOR
 DRAWN BY: K. HOLYOAKE
 REVISION: FINAL R5

REDHILLS ARTERIAL TRANSPORT NETWORK
 GENERAL ARRANGEMENT LAYOUT PLAN (1 OF 14)

06



LANDSCAPE MITIGATION KEY

- a) Reinstatement of site compounds and construction yards by removing any left-over fill and shaping ground to integrate with surrounding landscape. Reinstatement with grass at the completion of works.
- b) Retain noteworthy trees and vegetation identified within the Project area where practicable.
- c) Reinstatement of the retaining wall and native and exotic buffer planting above the existing timber retaining wall at the Don Buck Road / Royal Road intersection.
- d) Reinstatement of private fences and garden plantings (with the exception of required properties) for existing, remaining dwellings affected by Project works.
- e) For affected private properties, where existing dwellings are assumed to be removed, it is recommended that, after completion of the works affecting the property, the remnant land be grassed and maintained within the road corridor to mitigate adverse visual amenity effects potentially arising from residual land.
- f) Bridges (if applicable) - to be designed to contribute to the local sense of place and urban amenity of the future urban landscape.
- g) Retaining wall (Don Buck / Royal Road intersection) - It is recommended that the new retaining wall be designed to contribute to the local sense of place and urban amenity of the future urban landscape.
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- j) The 27m long x 1.8m high noise mitigation wall proposed to mitigate the noise effects for 25 Red Hills Road should be designed to integrate with the contextual features of the road corridor and be designed (with a high level of design input) as a purposeful streetscape feature within the road corridor.
- k) Cut and fill slopes should be shaped to a natural profile to integrate into the surrounding natural landscape. Fill slopes associated with proposed bridge (or culvert crossings) are recommended to be shaped to natural landscape at a suitable gradient to allow riparian planting to be established.
- l) Planting Plan: a planting plan should be prepared for the Project including for:
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 - East-West corridor (CH350 - CH1050)
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 4. Street trees - ecological analysis to determine species selection relative to local landscape context and ecological opportunities.

Drawing Path: 08 Jun 2020 11:11 PM
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LEGEND

	EXISTING PROPERTY BOUNDARY
	CONTROL LINE AND CHAINAGE
	PROPOSED DESIGNATION BOUNDARY
	PROPOSED RETAINING WALL
	PROPOSED ROAD CORRIDOR
	PROPOSED CYCLEWAY
	PROPOSED FOOTPATH
	PROPOSED BERM
	PROPOSED FLUSH, RAISED MEDIAN & TRAFFIC ISLAND
	FILL BATTER
	CUT BATTER
	PROPOSED STREAM CROSSING
	EXISTING 1% AEP FLOOD PLAIN
	PROPOSED WETLAND
	UPGRADE CULVERT

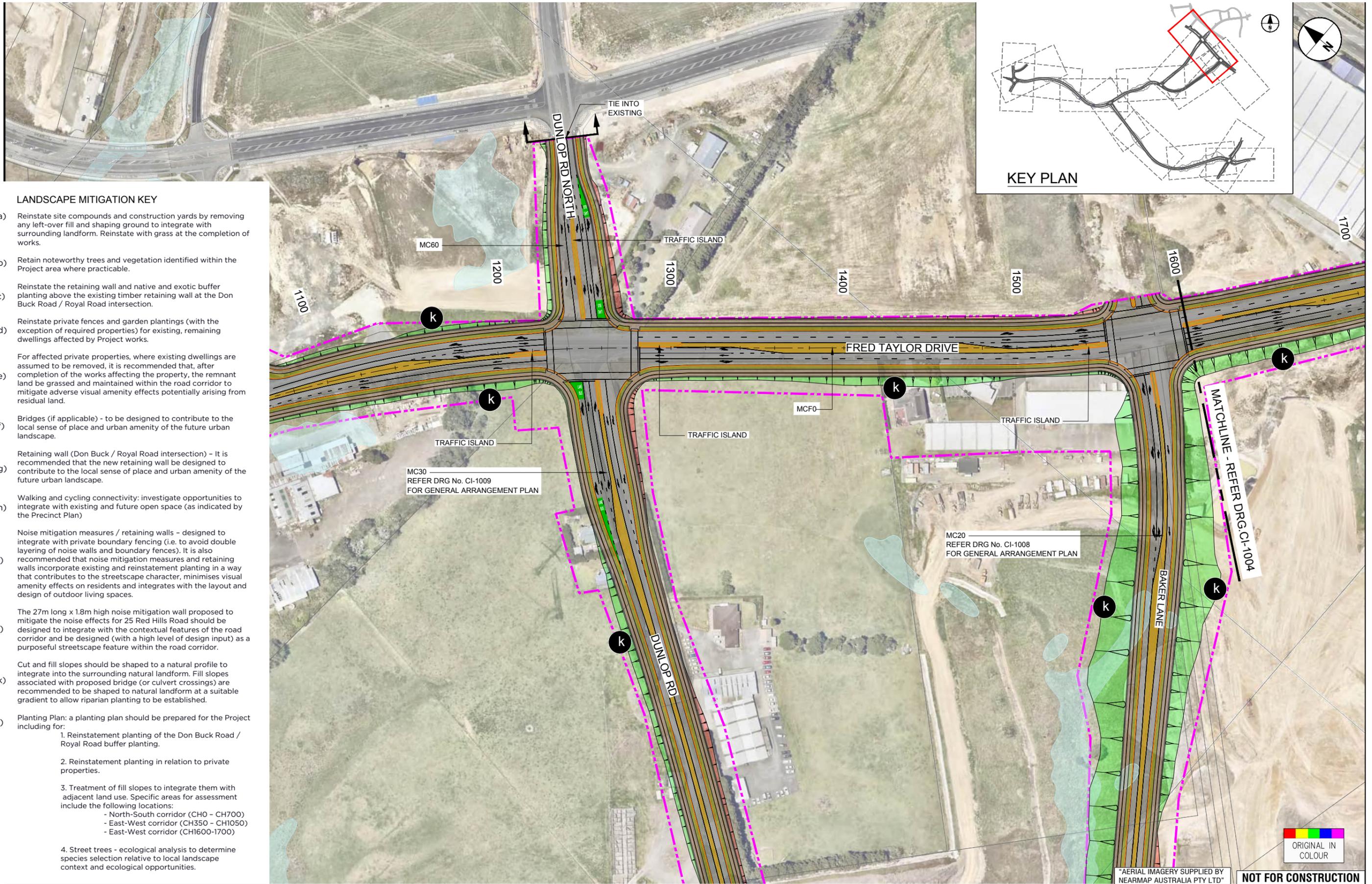
01	REDHILL STREAM	05	PAKINUI STREAM
02	NGONGETEPARA STREAM	06	RIDGELINE PROTECTION OVERLAY
03	WAITEPUTA STREAM		
04	TAKITAKI STREAM		

APPROXIMATE LOCATION OF MITIGATION MEASURES

DATE: AUGUST 2020
 SCALE: 1:2000 @ A3
 PROJECT ID: NORTH-WEST HIF NOR
 DRAWN BY: K. HOLYOAKE
 REVISION: FINAL R5

REDHILLS ARTERIAL TRANSPORT NETWORK
 GENERAL ARRANGEMENT LAYOUT PLAN (2 OF 14)

07



LANDSCAPE MITIGATION KEY

- a) Reinstatement of site compounds and construction yards by removing any left-over fill and shaping ground to integrate with surrounding landform. Reinstatement with grass at the completion of works.
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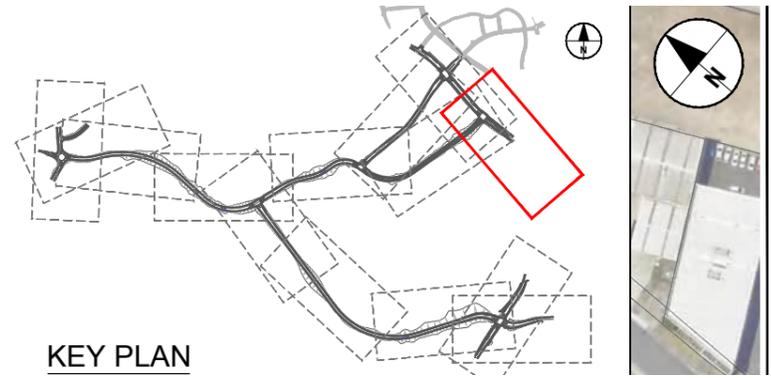
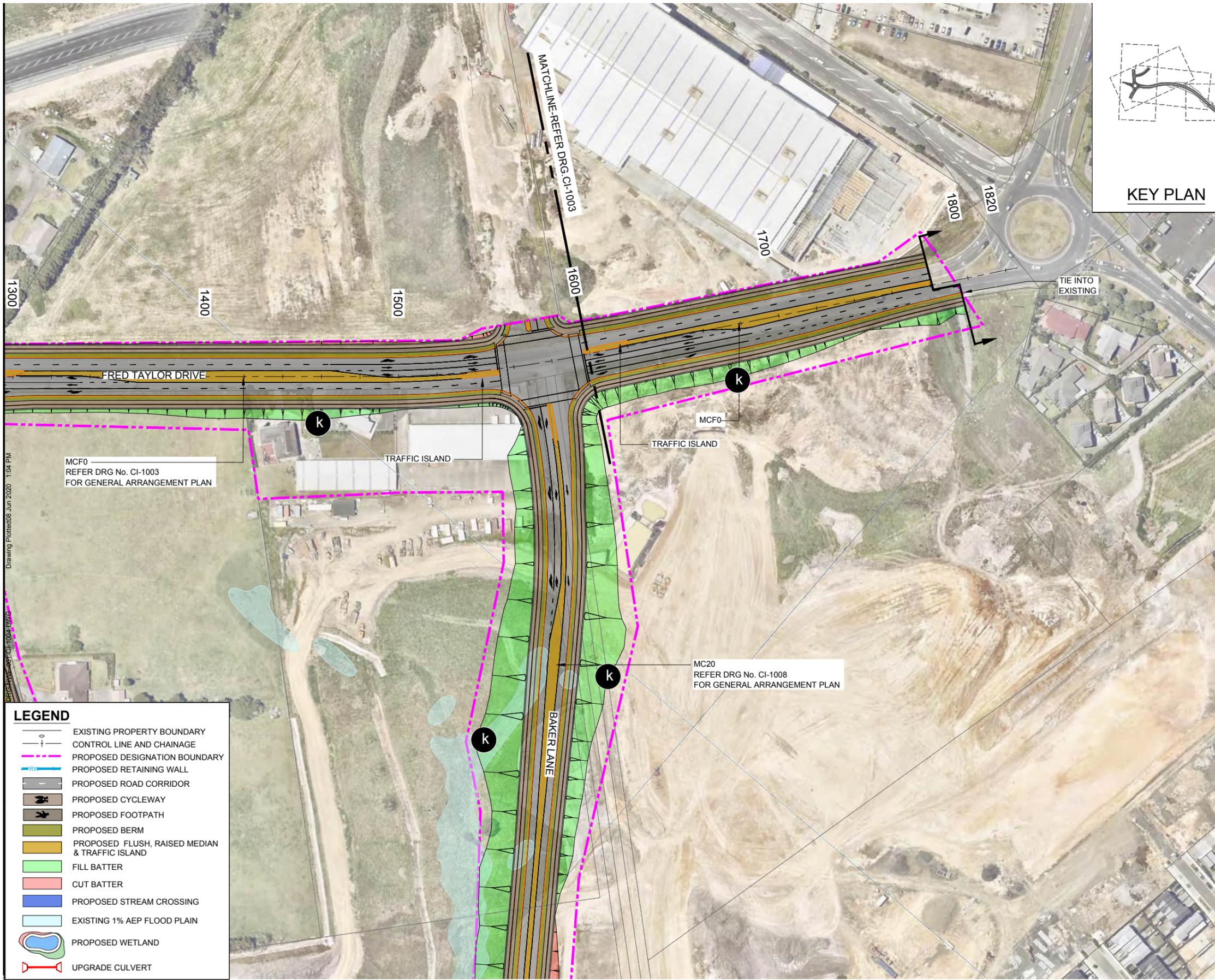
01	REDHILL STREAM	05	PAKINUI STREAM
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03	WAITEPUTA STREAM		
04	TAKITAKI STREAM		

● APPROXIMATE LOCATION OF MITIGATION MEASURES

DATE: AUGUST 2020
 SCALE: 1:2000 @ A3
 PROJECT ID: NORTH-WEST HIF NOR
 DRAWN BY: K. HOLYOAKE
 REVISION: FINAL R5

REDHILLS ARTERIAL TRANSPORT NETWORK
 GENERAL ARRANGEMENT LAYOUT PLAN (3 OF 14)

08



- ### LANDSCAPE MITIGATION KEY
- a) Reinstatement site compounds and construction yards by removing any left-over fill and shaping ground to integrate with surrounding landform. Reinstatement with grass at the completion of works.
 - b) Retain noteworthy trees and vegetation identified within the Project area where practicable.
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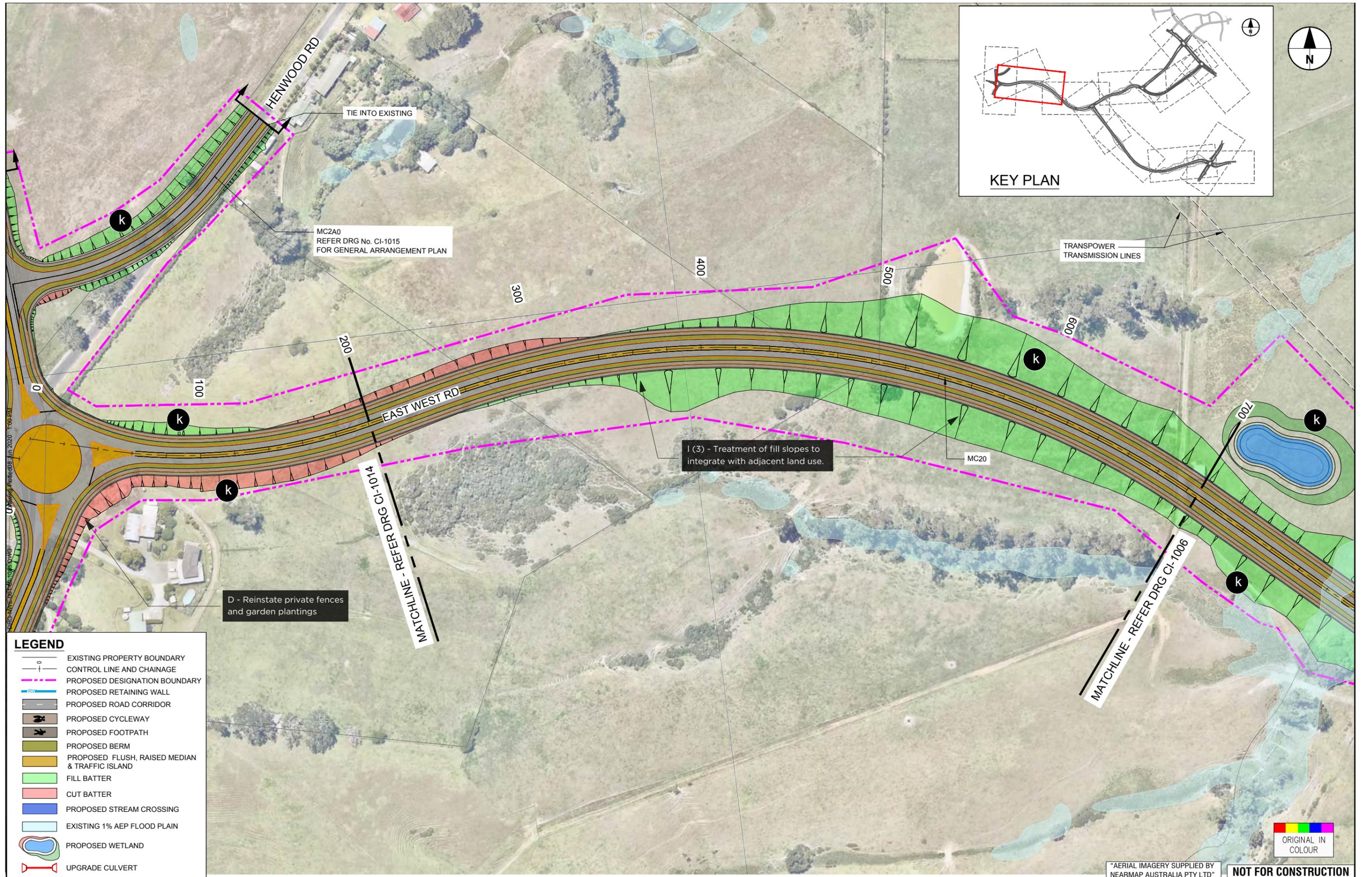
LEGEND	
	EXISTING PROPERTY BOUNDARY
	CONTROL LINE AND CHAINAGE
	PROPOSED DESIGNATION BOUNDARY
	PROPOSED RETAINING WALL
	PROPOSED ROAD CORRIDOR
	PROPOSED CYCLEWAY
	PROPOSED FOOTPATH
	PROPOSED BERM
	PROPOSED FLUSH, RAISED MEDIAN & TRAFFIC ISLAND
	FILL BATTER
	CUT BATTER
	PROPOSED STREAM CROSSING
	EXISTING 1% AEP FLOOD PLAIN
	PROPOSED WETLAND
	UPGRADE CULVERT

01 REDHILL STREAM	05 PAKINUI STREAM
02 NGONGETEPARA STREAM	06 RIDGELINE PROTECTION OVERLAY
03 WAITEPUTA STREAM	
04 TAKITAKI STREAM	

APPROXIMATE LOCATION OF MITIGATION MEASURES

DATE: AUGUST 2020
 SCALE: 1:2000 @ A3
 PROJECT ID: NORTH-WEST HIF NOR
 DRAWN BY: K. HOLYOAKE
 REVISION: FINAL R5

REDHILLS ARTERIAL TRANSPORT NETWORK
 GENERAL ARRANGEMENT LAYOUT PLAN (4 OF 14)



LEGEND

	EXISTING PROPERTY BOUNDARY
	CONTROL LINE AND CHAINAGE
	PROPOSED DESIGNATION BOUNDARY
	PROPOSED RETAINING WALL
	PROPOSED ROAD CORRIDOR
	PROPOSED CYCLEWAY
	PROPOSED FOOTPATH
	PROPOSED BERM
	PROPOSED FLUSH, RAISED MEDIAN & TRAFFIC ISLAND
	FILL BATTER
	CUT BATTER
	PROPOSED STREAM CROSSING
	EXISTING 1% AEP FLOOD PLAIN
	PROPOSED WETLAND
	UPGRADE CULVERT

01	REDHILL STREAM	05	PAKINUI STREAM
02	NGONGETEPARA STREAM	06	RIDGELINE PROTECTION OVERLAY
03	WAITEPUTA STREAM		
04	TAKITAKI STREAM		

APPROXIMATE LOCATION OF MITIGATION MEASURES

DATE: AUGUST 2020
 SCALE: 1:2000 @ A3
 PROJECT ID: NORTH-WEST HIF NOR
 DRAWN BY: K. HOLYOAKE
 REVISION: FINAL R5

REDHILLS ARTERIAL TRANSPORT NETWORK
 GENERAL ARRANGEMENT LAYOUT PLAN (5 OF 14)

NOT FOR CONSTRUCTION

10

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ORIGINAL IN COLOUR