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Environmental Site Assessment: Preliminary Site Investigation
Potential School Site – 1043 Linwood Road, Kingseat

Job No. 20198 | 14 May 2020





**ENVIRONMENTAL SITE ASSESSMENT:
PRELIMINARY SITE INVESTIGATION**
Potential School Site – 1043 Linwood Road, Kingseat

Job Number:	20198
Name of Project:	Potential School Site – 1043 Linwood Road, Kingseat
Client:	Ministry of Education
Document Version:	B
Printed:	14 May 2020
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Distribution List

Version	Quantity	Issued to	Date
B	PDF	Ministry of Education c/- Incite	14 May 2020
B	PDF	Soil & Rock Consultants (file copy)	14 May 2020

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Executive Summary

Soil & Rock Consultants (S&RC) was engaged by the Ministry of Education (MoE) (the 'Client'), to carry out a Preliminary Site Investigation (PSI) (Contamination Assessment) for a potential school site at 1043 Linwood Road, Kingseat, Auckland.

The site was historically part of a larger land estate and a number of subdivisions have occurred over the years. Built development includes a residential dwelling and a number of sheds utilised as part of a piggery operation during the 1970s, with most of the structures still present onsite to date. The site is currently utilised as an equestrian centre. Facilities include horse shelters/stables and an exercise/training area, with the larger part of the property (grassed) utilised as paddocks.

Historical information reviewed as part of the PSI shows Hazardous Activities and Industries List (HAIL) activities have, or may have, occurred onsite, including:

- Areas within the existing structures/built development onsite – potentially containing Asbestos / Asbestos-Containing Material (ACM). Depending on the nature of the material, this could pose a potential risk during the development stage (Cat. E.1);
- Buildings and areas utilised for chemical storage and/or utilised for vehicle maintenance (Cat. F.3);
- The western section of the property, potentially affected by the adjacent horticulture land to the west (Cat. H);
- Other areas of potential contamination include areas subject to filling, and areas used as dump pits and burn pads which are common in rural areas (Cat. I).

Based on these findings, it is recommended:

- A Detailed Site Investigation (DSI) be carried out for the site, including soil sampling and analyses for potential Contaminants of Concern. This is proposed but not limited to the area of:
 - Existing buildings/sheds;
 - Western section of the site (potentially affected by the adjacent property subject to horticulture use); and
 - Potential hotspots including (but not limited to) burn piles/dump pits, stockpiled soils/fill areas;
- Preparation of a detailed Site Management Plan (SMP) and/or Remediation Action Plan (RAP), specifying controls and management of impacted/contaminated soils (if identified).

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Appendix B:	Property Ownership (LINZ)
Appendix C:	Property Files
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Appendix F:	Proposed Development (Scheme Plan) Subdivision Plan (Section 1 of Title Plan SO 544696)

1.0 Introduction

Soil & Rock Consultants (S&RC) was engaged by James Puketapu of the Ministry of Education (MoE) (the 'Client'), to carry out an Environmental Site Assessment (ESA) for the site at 1043 Linwood Road, Kingseat.

This report is in accordance with the requirements of a Preliminary Site Investigation (PSI – Desktop Study), as described under the National Environmental Standard (NES¹) Soil regulations, the Ministry for the Environment's (MfE) Contaminated Land Management Guidelines and Auckland Council (AC) requirements. The investigation and reporting have been prepared, reviewed and authorised by Suitably Qualified and Experienced Practitioners (SQEPs), as required under the NES Soil regulations.

This report supersedes S&RC's PSI Report (S&RC Ref. 20198, Revision A, 'Environmental Site Assessment: Preliminary Site Investigation, Potential School Site – 1043 Linwood Road, Kingseat', 23 April 2020).

1.1 Proposed Development

The northern part of the property has been acquired by 'The Crown' and is proposed for school development. Information forwarded to S&RC shows subdivision of the property is underway and the proposed development area is situated within the property's northern section, as shown in Figure 1.



Figure 1: Proposed Site and Surrounding Areas

Information provided by the client (attached in Appendix F) includes:

- A Title Plan (Ref. SO 544696) showing the site referred as Section 1 and covers an area of 4.44 Ha;
- A feasibility sketch showing the proposed school development and corresponding amenities.

¹ Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011.

1.2 Scope and Brief

This investigation comprises a PSI, as outlined in S&RC's fee proposal dated 25 March 2020. The objective is to determine the site background and assess whether any activities listed under the Hazardous Activities and Industries List (HAIL) have, or may have, occurred onsite. In summary, the investigation scope comprised:

- Review of historical land use information (i.e. historical aerial photographs, property files, land titles);
- Enquiry to AC regarding records of contamination or pollution incidents;
- Collect information pertaining to historical land use data gaps that may exist for the site;
- Provide an assessment on any potential adverse effects based on previous/current site use;
- Preparation of this PSI report.

1.3 Limitations

This report has been prepared by Soil & Rock Consultants for the sole benefit of our client, the Ministry of Education (MoE), with respect to the proposed site at 1043 Linwood Road, Kingseat, and the particular brief given to us. This report may be used by Auckland Council or their appointed Consultants if required and may be relied upon when considering a Resource Consent application in association with the proposed development. The data and/or opinions contained in this report may not be used in other context or for any other purpose without our prior review and agreement. Any additional future development may require further work.

2.0 Site Description and Setting

2.1 Site Information

The site being considered for school development is located at 1043 Linwood Road, Kingseat, legally described as Lot 2 DP 417814. The site covers the northern part of the property (Section 1 of Title Plan SO 544696) and covers a total area of 4.44 Ha.

Under the Auckland Unitary Plan (AUP) Operative in part, the proposed development site is zoned Residential (partially 'Large Lot' and 'Single House'). Figure 2 shows the respective zoning within the area of the site.

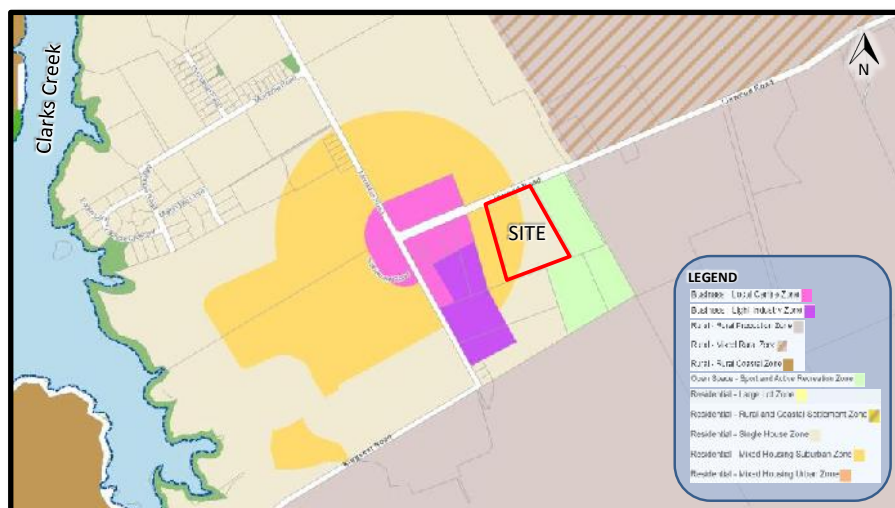


Figure 2: Auckland Unitary Plan Zoning

2.2 Site Condition and Environment Setting

Existing site features are described in Table 1.

Table 1: Environmental Setting

	Source	Description
Topography	AC Geomaps	The site is surrounded by rural farmlands, with the general area sloping down to the south at moderate inclinations. Local tributaries cuts through the south-western section of the site, which flows in a westerly direction.
Local Setting	AUP Geomaps	The proposed site is accessible from the north from Linwood Road via a gravelled access driveway. The larger part of the property is in pasture. The proposed development areas comprise the northern part of the property. Built development onsite is located within the western section of the site, including a dwelling and multiple sheds.
Nearby Surface Water	NZ Topo Map, AUP Geomaps	CClarks Creek (approximately 1.3km west of the site) and Te Hihi Creek (approximately 1.1km east of the site); both tributaries discharge at the Manukau Harbour to the north.
Built Development	Aerial Images (AC Geomaps)	Residential dwelling and multiple sheds.
AUP Management Areas	AUP Geomaps	<ul style="list-style-type: none"> No identified 'Natural Resources Management Area' within 500m radius of the proposed development site. No identified 'Natural Heritage Areas' (e.g. natural landscape areas) within 1km radius the site. Areas of Historic Heritage within Kingseat Hospital, approximately 250m west of the site. No areas identified of significance to Mana Whenua.

2.3 Geology

According to the New Zealand Geology Web Map (14:250K Geology, GNS website) the general area is underlain by Puketoka Formation deposits of the Tauranga Group of Pliocene to Pleistocene age. These soils are described as light grey to orange brown pumiceous mud, sand and gravel with black muddy peat and lignite.

These soil deposits are generally variable in strength ranging from soft to very stiff and are typically over consolidated or normally consolidated. They have been deposited for a longer geological time scale than any more recent localised alluvial deposits and therefore are generally more consolidated and of higher strength.

3.0 Historical Information Review

Historical information was established through a review of information held by AC (property files, contamination incident files) and a search of available historical aerial photographs.

3.1 Historical Aerial Photographs

Aerial photographs of the site were obtained from the AC *Geomaps*, *Retrolens* Historical Resource website and Google Earth. Available photographs are dated between 1942 and 2019 and are included in Appendix A.

- **1942 (Retrolens)**. A number of structures (inferred dwelling, sheds) are observed onsite. A garden patch is observed along the western site boundary. The larger part of site was undeveloped rural land (paddocks), sections of the site demarcated by shelterbelts. A gully feature encroaches along the western site boundary, indicatively discharging westwards towards Clarks Creek.
- **1961 (Retrolens)**. A few of the structures (dwelling, sheds) observed from the 1942 image are still visible, with one of the structures replaced/refurbished. The larger part of the site remained unchanged, with similar site features as observed from the 1942 image.
- **1975 (Retrolens)**. Land disturbance is observed adjacent to the structures onsite, indicating development additions (additional buildings) during this period. Previous dwelling observed in the between the 1942 – 1961 images has been replaced by a new structure. Former shelterbelts situated along the western boundary (1942 and 1961 images) have been removed. The larger part of the site remained unchanged, utilised as paddocks.
- **1981 (Retrolens)**. A number of structures have been built onsite, situated approximately within the north-western quarter of the property. The rest of the property remained in pasture.
- **1988 (Retrolens)**. No visible change in relation to land use is observed within the site. Structures observed in the 1981 image are still visible during this period. An indicative pond is visible to the south of the structures. The rest of the property remained in pasture.
- **2004 – 2010 (AC Geomaps)**. A rectangular pad (inferred horse training area) is visible in the south-western section of the site. Previous structures (dwelling and sheds) observed were still visible during this period. The eastern part of the property remained as pasture. Adjacent property to the west appears to be utilised for horticultural purposes.
- **2012 – 2019 (Google Earth)**. No visible change in relation to land use is observed onsite, as compared to previous image (2010).

3.2 Site Ownership

Information held by Land Information New Zealand (LINZ) in relation to site proprietors are described below. A copy is provided in Appendix B.

LINZ Ref. 468658: Lot 2 DP 417814, 8.0150 Ha

- The property was registered to Linwood Acres Limited in February 2012;
- Subsequent proprietors comprise various individuals in 2017;
- Transfer of ownership to Kingseat Village Limited in March 2018, referred as current proprietor (at the time of writing this report).

Prior References

The site was formerly part of a larger land estate comprising adjacent properties in the surrounding areas. A number of land subdivisions have occurred over the years. Historical references which comprised the site under this report include:

- LINZ Ref. 451210: Lot 3 DP 413639, 4.9730 Ha, registered to Linwood Acres Limited, February 2009;
- LINZ Ref. 321088: Lot 2 DP 380126, 8.1384 Ha, registered to Linwood Acres Limited, March 2007;
- LINZ Ref. NA56C/860: Lot 2 DP 102662, 10.0 Ha, registered to Joseph and Constance Gillies, 3 August 1984.

Figure 3 shows the parent property layout in 1984 and the indicative location of the site referred in this report.

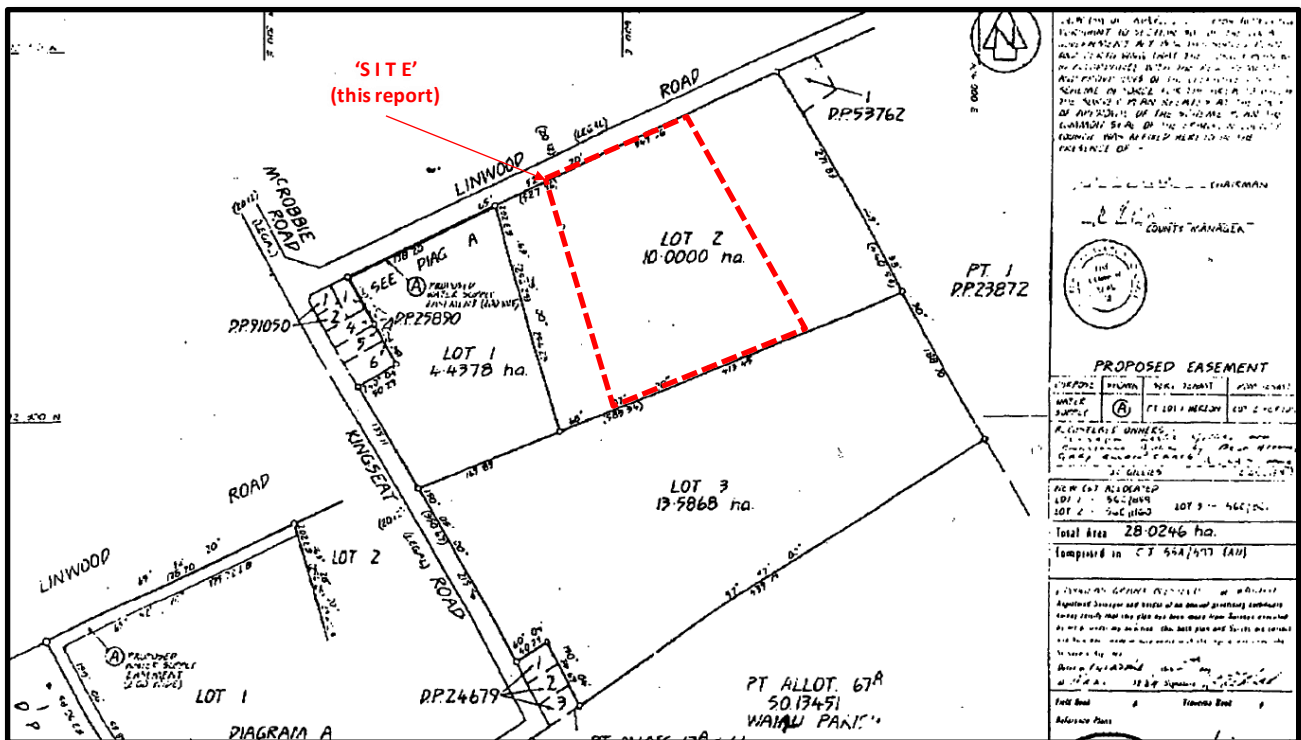


Figure 3: Parent Property Layout (1984)

3.3 Property File

Table 2 presents a summary of information from property files related to the site under this investigation, which includes Subdivision, Resource Consents and Building Consents. A copy of the Consents stated above are attached in Appendix C.

Table 2: Property File Information

Date	Reference	Applicant / Proponent	Description
Building Permits/Consent			
4 Jul 2003	48954	Pamela Gaye Hallam	New Frame & Roof over Existing Concrete Slab
25 Nov 1982	8547	F.L. Gillies	Install shower in basement
4 Nov 1980	K000313	F.L. Gillies	Erect a 'weaner' building
11 Mar 1980	J040454	F.L. Gillies	Build new pig shed
29 Mar 1979	I076953	F.L. Gillies	Erect farm building (Dry sow shed)
8 Mar 1977	H73805	F.L. Gillies	Erect a Farrowing House
25 Feb 1976	H27404	F.L. Gillies	Erect Piggery
18 Aug 1975	G117409	F.L. Gillies	Add to Farm Building
8 Feb 1973	E73589	F.L. Gillies	Convert Cowshed into a farrowing unit
28 Jul 1966	B076872	Todd Farms Ltd.	Erect Haybarn
1 Sep 1966	B076938	L.J. Todd	Erect Dwelling
Subdivision Consents			
24 Mar 2009	SUB-60209814	Linwood Acres Ltd.	Common Boundary Relocation between two Rural Lots (1023 and 1043 Linwood Road)
18 Jun 2008	SUB-60214994	Linwood Acres Ltd.	Boundary Relocation between two Rural Lots
10 Oct 2006	S06243	Linwood Acres Ltd.	Boundary Relocation between two adjoining Rural Lots
Resource Consent			
30 Jun 2009	36735, 36828, 36829	Linwood Acres Ltd.	To take up to 1440m ³ /day of groundwater from three bores from the Te Hahi Waitemata sandstone aquifer for market garden irrigation. Production Bore PB1 is located onsite (this report) while the other two bores are situated offsite (further north of Linwood Road).

Figure 4 shows the built development onsite in 1980 (image sourced from Property Files).

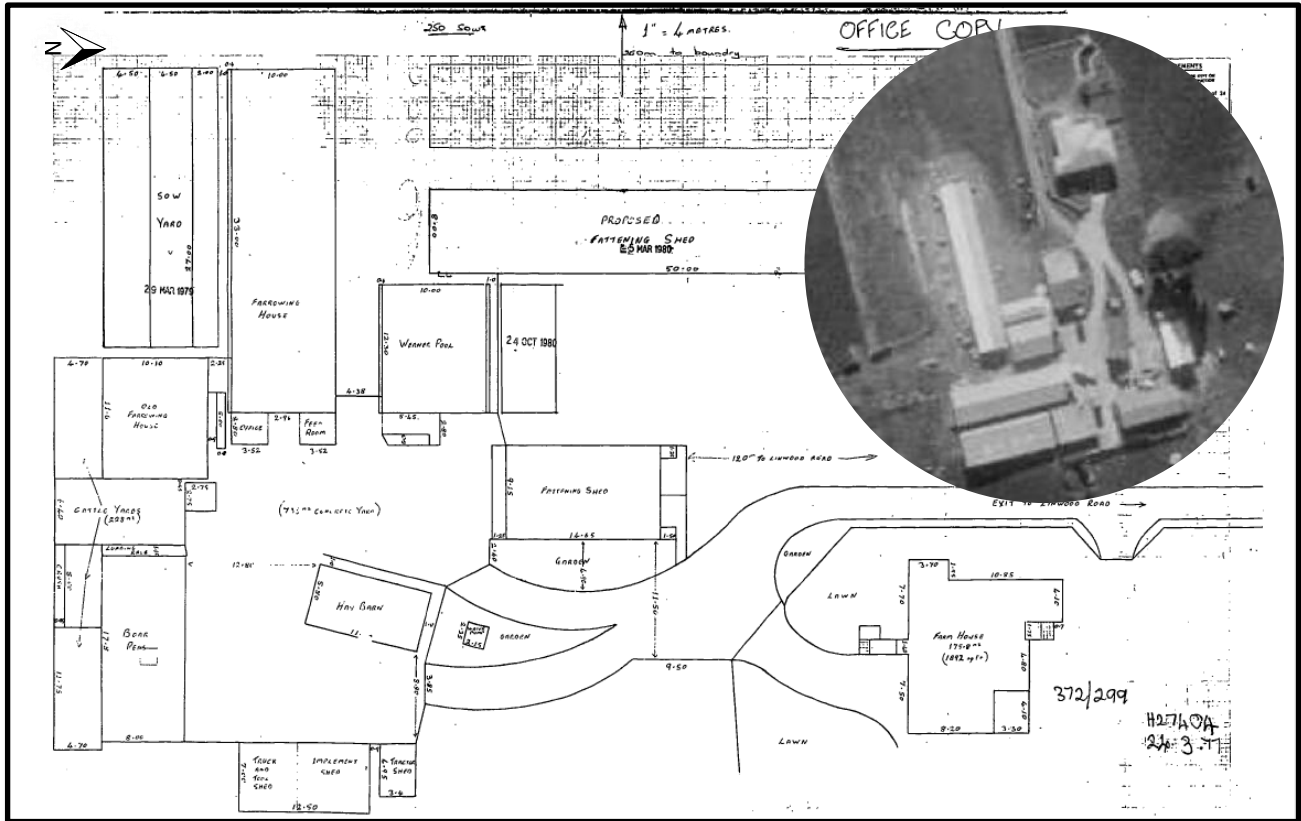


Figure 4: Built Development (1980)

3.4 Contaminated Land Enquiry

A Site Contamination Enquiry was requested from the *Auckland Council Natural Resources and Specialist Input (NRSI) Unit*. Information obtained from their database relates to incident files and records of pollution incidents (if any). Further information was provided relating to records of landfilling, bores, air discharge, industrial and trade process consents, contaminated discharge consents and environmental assessments within approximately 200m of the site.

No information was reported in relation to spills and/or pollution incidents, specific to the site under this investigation. Available consents within 200m of the site are described in Table 3 overleaf.

Table 3: Consents

Within the site	Consents within 200m from the site
<p><u>Bore Construction</u></p> <ul style="list-style-type: none"> (Bore ID: 3356, Drilled 1989) – Bore construction related to extraction of groundwater for stock and domestic supply. 	<p><u>Bore Construction</u></p> <ul style="list-style-type: none"> (Bore ID: 3354, Drilled pre-1987). (Bore ID: 369, Drilled 1989) – Bore construction related to extraction of groundwater for a piggery. (Bore ID: 23336, Drilled 2009) – Bore construction related to extraction of groundwater for domestic supply.

<p><u>Consents</u></p> <ul style="list-style-type: none"> • Consent No. 6898 (Granted 1991, Expired) – To take groundwater to supply a piggery. • Consent No. 36735 (Granted 2009, Issued) - To take up to 480 m³/day and 32,200 m³/year of groundwater for irrigation of 59.4ha of market garden crops. 	<p><u>Consents</u></p> <ul style="list-style-type: none"> • Consent No. 10541 (Granted 1989, Expired) – Authorise the construction of a bore for the extraction of groundwater for a piggery. • Consent No. 36806 (Granted 2009, Expired) – To authorise the construction of one bore for domestic supply.
--	--

Consent No. 36735 (located onsite) is part of a Resource Consent bundle (further information in Table 3), which permits groundwater take from three production bores (one onsite and two situated further north of Linwood Road) for use in irrigation of proposed market gardens. Based on available aerial images in the recent years, no market gardening operations appears to have occurred onsite, apart from the adjacent property (1060 Linwood Road) to the west of the site.

A copy of the Contaminated Land Enquiry is attached in Appendix D.

4.0 Current Site Conditions

A site walkover was carried out on 6 May 2020. The site is currently utilised as an equestrian centre. Facilities include horse shelters/stables, an exercise/training area, while the larger part of the property (grassed) is utilised as paddocks. Observations made during S&RC's visit include:

- Existing buildings onsite are still intact, including the existing dwelling which is still inhabited;
- Multiple sheds onsite have the following use:
 - Hay barns, open steel sheds, feed storage;
 - Horse shed and livestock pens;
 - Vehicle storage (a boat, farm tractors, trucks, etc.) and potential workshop area;
 - Miscellaneous material storage. Adjacent to one of the sheds are empty oil drums;
 - A general observation of the existing sheds was of concrete base (mostly to midway of the structure), wooden framing, and corrugated iron roofing / exterior wall cladding;
- To the rear of one of the sheds is an open bay storage (3 bays). Material observed within this area includes sawdust (covered), piled rubbish (plastics, wire mesh, etc.) and overgrown grass;
- A rectangular pad located south-west of the site is utilised as a horse training/exercise area. To the south of this area is a former pond (dry at the time of the visit);
- Existing paddocks are near level;
 - The southern section was observed of a rubbish pile (old couch, wooden poles, plastics, etc) and overgrown vegetation;

- Fill mounds and/or soil stockpiles were observed within various areas of the paddocks;
- The adjacent property to the west of the site (1060 Linwood Rd) is an active horticulture site (vegetable plantation). The property's midsection (west of the site) was observed of rubbish dump).

Photo documentation is attached in Appendix E.

5.0 Summary of Historical Land Use

The HAIL is a list of industries and activities which typically use or store hazardous substances which have been attributed as a potential cause of contamination if released into and/or disposed to the environment. The HAIL (in its current format) was originally published by the MfE in 2003 and updated in 2011 reflecting inclusion of new categories. A summary of historical land use and activities reported within the site(s) are shown in Table 4.

Table 4: Historical Land Use

Time	Information Source	Land Use / Activity	Potential HAIL Category
Pre-1942 – c. 2006	Aerial Photos	<ul style="list-style-type: none"> - Vacant Land (Pastoral) within the larger part of the site - Piggery / Farm Operations (1960s – c. 2006) - Existing and previous structures (dwelling, sheds) built prior to 1990 – potentially containing Asbestos/Asbestos Containing Material (AMC) building materials (buildings appear intact) - Selected sheds potentially used as chemical storage (primarily farm use) and maintenance areas for farm vehicles 	<ul style="list-style-type: none"> - - Cat. E.1 Cat. F.3
c. 2006 – Present	Property Files	<ul style="list-style-type: none"> - Residential / Horse Farm and Grazing - Adjacent horticulture land at 1060 Linwood Road 	<ul style="list-style-type: none"> - Cat. H
-	Recent Images	<ul style="list-style-type: none"> - Undocumented Filling - Selected sheds potentially used as chemical storage (primarily farm use) and maintenance areas for farm vehicles 	<ul style="list-style-type: none"> Cat. I Cat. F.3

6.0 Discussions and Conclusions

A PSI was carried out to assess the potential for contamination within the site. The investigation was completed in accordance with MfE's Guidelines for Contaminated Site Investigations and Auckland Council requirements. The investigation and reporting were prepared, reviewed and authorised by SQEP, as required under the NES.

The investigation comprised a desktop review of available site information. The site was historically part of a larger land estate and a number of land subdivisions has occurred over the years. Built development includes a dwelling and a number of sheds utilised as part of a piggery operation during the 1970s, with most of the structures still present onsite to date. The site is currently utilised as an equestrian centre. Facilities include horse shelters/stables, an exercise/training area, while the larger part of the property (grassed) is utilised as paddocks.

Historical information reviewed as part of the PSI shows HAIL activities have, or may have, occurred onsite, including:

- Areas within the existing structures/built development onsite – potentially containing Asbestos / ACM. Depending on the nature of the material, this could pose a potential risk during the development stage (Cat. E.1);
- Buildings and areas utilised for chemical storage and/or utilised for vehicle maintenance (Cat. F.3);
- The western section of the property, potentially affected by the adjacent horticulture land to the west (Cat. H);
- Other areas of potential contamination include areas subject to filling, and areas used as dump pits and burn pads which are common in rural areas (Cat. I).

7.0 Recommendations

Based on these findings, it is recommended:

- A Detailed Site Investigation (DSI) be carried out for the site, including soil sampling and analyses for potential Contaminants of Concern. This would be conducted within but targeted to the areas of potential soil contamination, including:
 - Existing buildings/sheds;
 - Western section of the site (potentially affected by the adjacent property subject to horticulture use);
 - Potential hotspots, including burn piles/dump pits, stockpiled soils/fill areas;
- Based on findings from the DSI, preparation of a detailed Site Management Plan (SMP) and/or Remediation Action Plan (RAP), specifying controls and management of impacted/contaminated soils (in accordance to identified contaminants).

End of Report

Appendix A

Historical Aerial Photographs







Job No. 20198 – 1043 Linwood Road, Kingseat (MoE Potential School Site)

Retrolens

1974

Historic Aerial Photography

Sourced from <http://retrolens.nz> and licensed by LINZ CC-BY 3.0









NZTM : 1760102, 5889870

POWERED BY
esri



Auckland Council

2004

Historic Aerial Photography
Auckland Council GeoMaps

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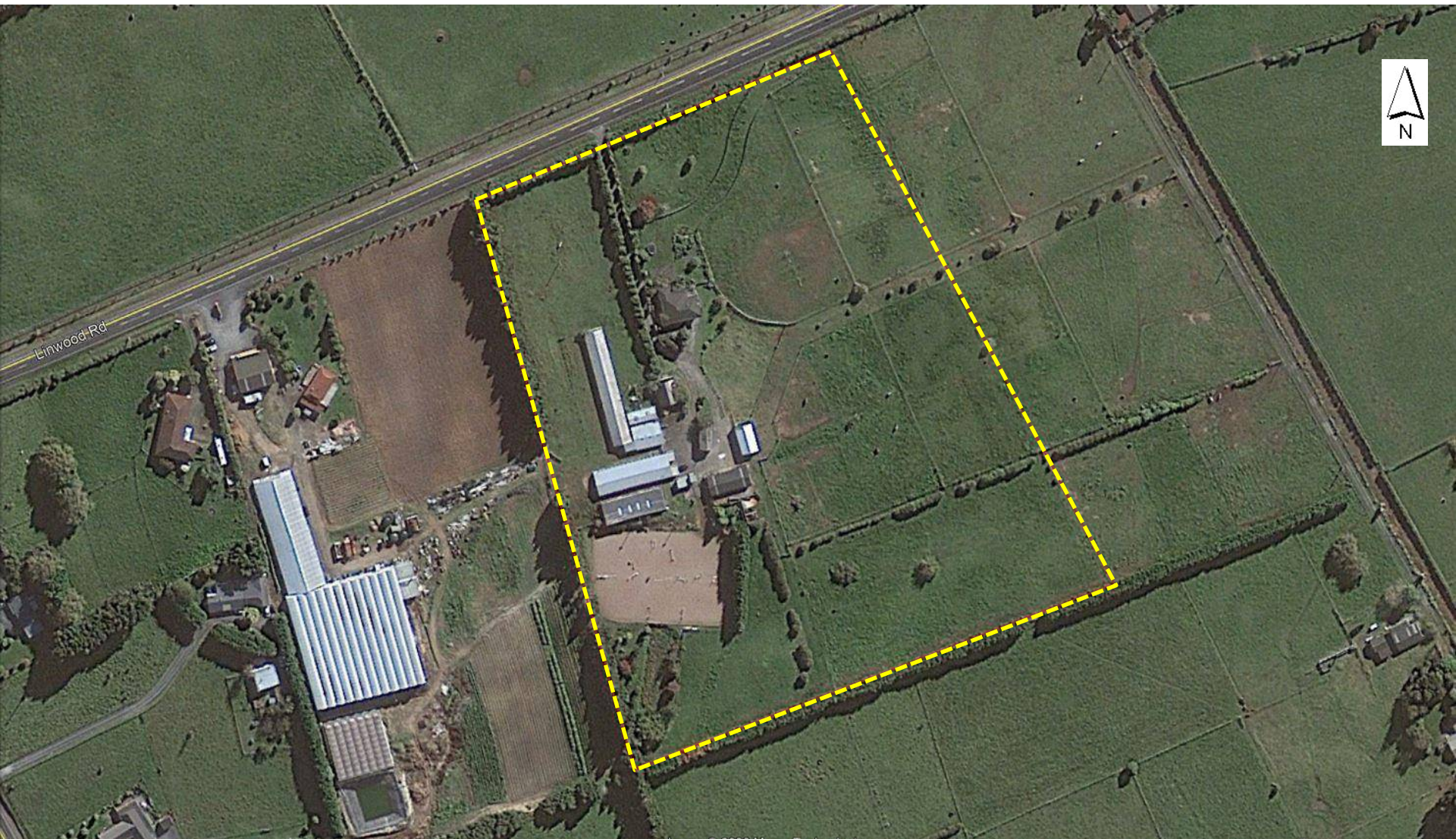
Job No. **20198** – 1043 Linwood Road, Kingseat (MoE Potential School Site)

Auckland Council

2010

Historic Aerial Photography
Auckland Council GeoMaps

POWERED BY
esri



Soil & Rock Consultants
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Google Earth

2012

Historic Aerial Photography

Google Inc.



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Job No. **20198** – 1043 Linwood Road, Kingseat (MoE Potential School Site)

Google Earth

2013

Historic Aerial Photography

Google Inc.



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Job No. **20198** – 1043 Linwood Road, Kingseat (MoE Potential School Site)

Google Earth

2015

Historic Aerial Photography

Google Inc.



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Job No. **20198** – 1043 Linwood Road, Kingseat (MoE Potential School Site)

Google Earth

2017

Historic Aerial Photography

Google Inc.



Job No. **20198** – 1043 Linwood Road, Kingseat (MoE Potential School Site)

Google Earth

2019

Historic Aerial Photography

Google Inc.

Appendix B

Property Ownership (Land Titles)



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Historical Search Copy**




R.W. Muir
Registrar-General
of Land

Constituted as a Record of Title pursuant to Sections 7 and 12 of the Land Transfer Act 2017 - 12 November 2018

Identifier **468658**
Land Registration District **North Auckland**
Date Issued 29 February 2012

Prior References

451209 451210

Estate Fee Simple
Area 8.0150 hectares more or less
Legal Description Lot 2 Deposited Plan 417814

Original Registered Owners

Linwood Acres Limited

Interests

Appurtenant to part formerly Lot 3 DP 413639 is a water supply right specified in Easement Certificate B422360.2 - 7.6.1985 at 2:30 pm

Appurtenant to part formerly Lot 3 DP 413639 is a water supply easement created by Easement Instrument 7274834.5 - 14.3.2007 at 9:00 am

Subject to a right to convey water over part marked D on DP 417814 created by Transfer B677903.2 - 22.6.1987 at 10:08 am

10739801.1 Transfer to Martyn Douglas Brown, Lesleigh Joyce Brown, Hugh Gregory Kasper, Debra Louise Kidd, Zane Martyn Brown and Aaron Douglas Brown (1/2 share), Francis Miles Reynolds and Juliet Linnell Reynolds (1/4 share) and Francis Miles Reynolds and Juliet Linnell Reynolds (1/4 share) - 20.4.2017 at 12:05 pm

11062680.1 Transfer to Kingseat Village Limited - 28.3.2018 at 10:50 am

11602149.1 Compensation Certificate pursuant to Section 19 Public Works Act 1981 by Her Majesty the Queen - 7.11.2019 at 3:24 pm



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy

R. W. Mair
Registrar-General
of Land

Identifier 451210
Land Registration District North Auckland
Date Issued 27 February 2009

Prior References

321088

Estate Fee Simple
Area 4.9730 hectares more or less
Legal Description Lot 3 Deposited Plan 413639

Proprietors

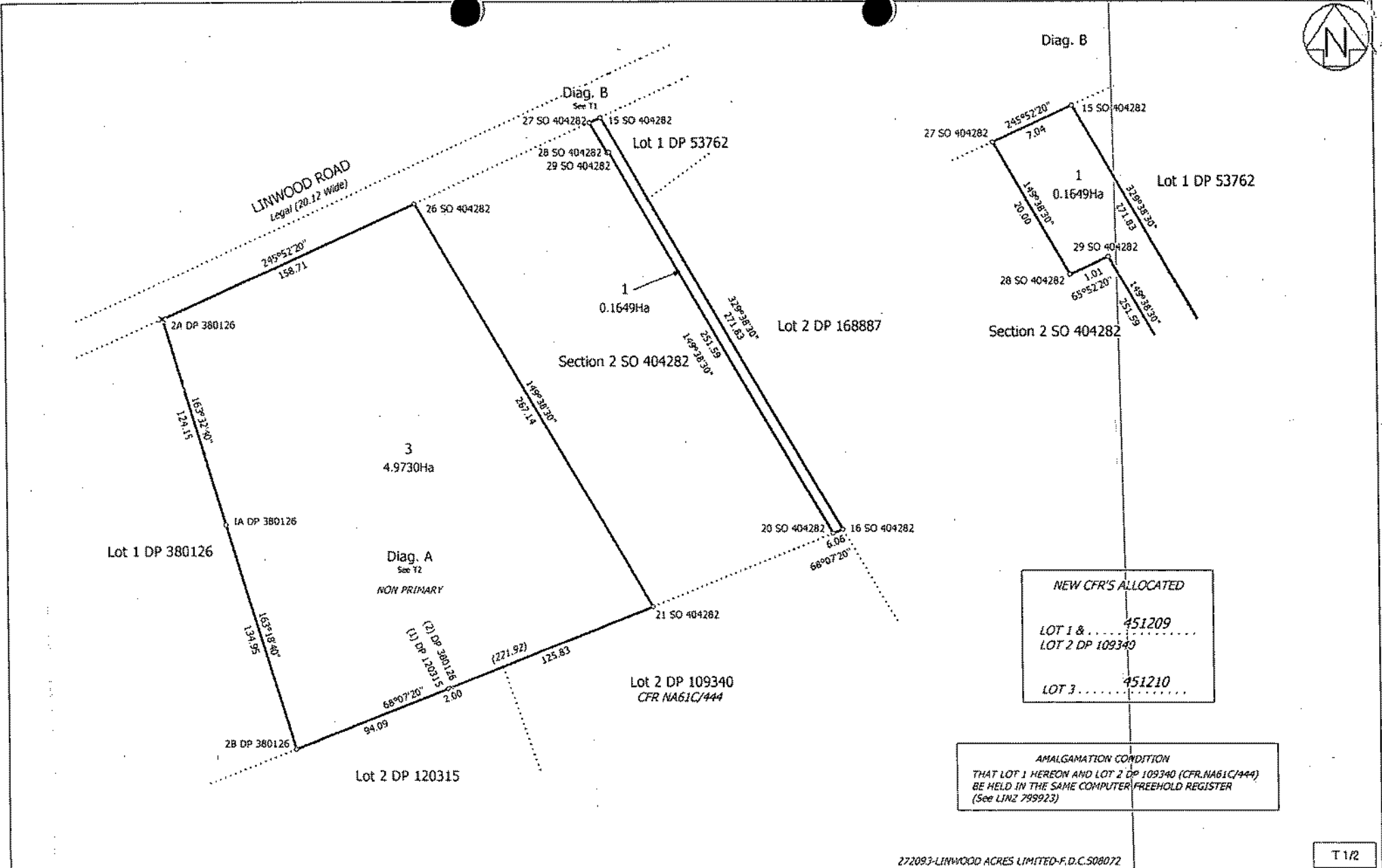
Linwood Acres Limited

Interests

Appurtenant hereto is a water supply right specified in Easement Certificate B422360.2 - 7.6.1985 at 2.30 pm
Subject to a right to convey water over part D on DP 413639 created by Transfer B677903.2 - 22.6.1987 at 10.08
am

Appurtenant hereto is a water supply easement created by Easement Instrument 7274834.5 - 14.3.2007 at 9:00
am

7606903.1 Compensation Certificate pursuant to Section 19 Public Works Act 1981 - 7.11.2007 at 9:00 am



NEW CFR'S ALLOCATED

LOT 1 & 451209
 LOT 2 DP 109340
 LOT 3 451210

AMALGAMATION CONDITION
 THAT LOT 1 HEREON AND LOT 2 DP 109340 (CFR NA61C/444)
 BE HELD IN THE SAME COMPUTER FREEHOLD REGISTER
 (See LINZ 799923)

272093-LINWOOD ACRES LIMITED-F.D.C.508072

T 1/2

Lend District North Auckland
 Dataset Type: Compiled
 Digitally Generated Plan
 Generated on: 03/02/2009 11:37am Page 4 of 5

LOTS 1 & 3 BEING A SUBDIVISION OF PARTS LOT 2 DP 380126

Surveyor: Bradley Mark Mowat
 Firm: The Surveying Company Ltd (Pukekohe)
 Survey Date: 24/10/2008

Digital Survey Plan
 LT 413639
 Approved on: 3/02/2009



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy

R. W. Muir
Registrar-General
of Land

Identifier 451209
Land Registration District North Auckland
Date Issued 27 February 2009

Prior References

321088 NA61C/444

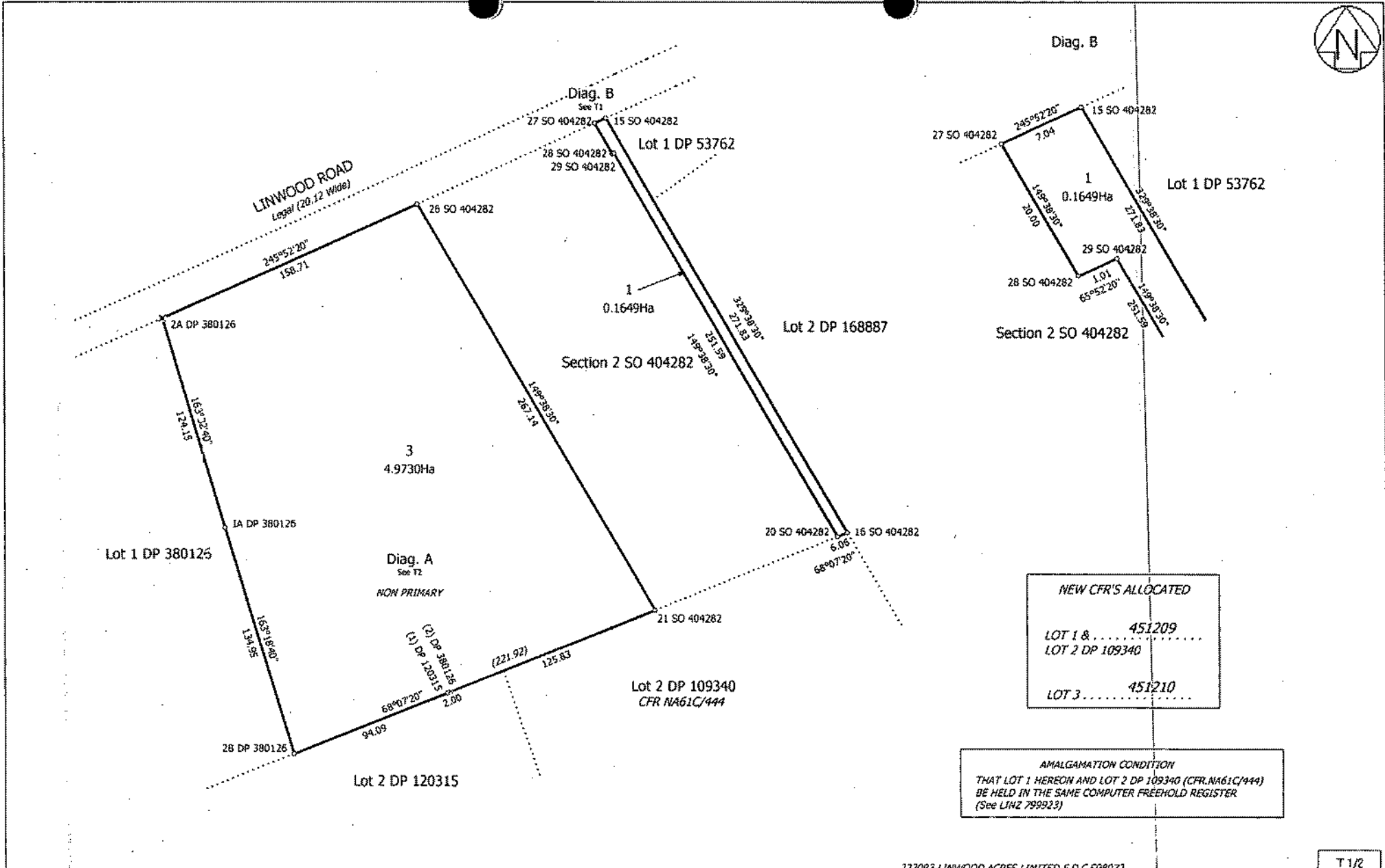
Estate Fee Simple
Area 5.0424 hectares more or less
Legal Description Lot 1 Deposited Plan 413639 and Lot 2
Deposited Plan 109340

Proprietors

Linwood Acres Limited

Interests

Appurtenant as to Lot 1 DP 413639 herein is a water supply right specified in Easement Certificate B422360.2 - 7.6.1985 at 2.30 pm
Appurtenant as to Lot 1 DP 413639 herein is a water supply easement created by Easement Instrument 7274834.5 - 14.3.2007 at 9:00 am
7606903.1 Compensation Certificate pursuant to Section 19 Public Works Act 1981 - 7.11.2007 at 9:00 am (affects Lot 1 DP 413639 herein)
7857047.4 Mortgage of Lot 2 DP 109340 to ANZ National Bank Limited - 27.6.2008 at 1:51 pm
Subject to Section 241(2) and Sections 242(1) Resource Management Act 1991(affects DP 413639)



NEW CFR'S ALLOCATED

LOT 1 & 451209

LOT 2 DP 109340

LOT 3 451210

AMALGAMATION CONDITION

THAT LOT 1 HEREOF AND LOT 2 DP 109340 (CFR.NA61C/444)

BE HELD IN THE SAME COMPUTER FREEHOLD REGISTER

(See LINZ 799923)

272093-LINWOOD ACRES LIMITED-F.D.C.508072

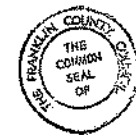
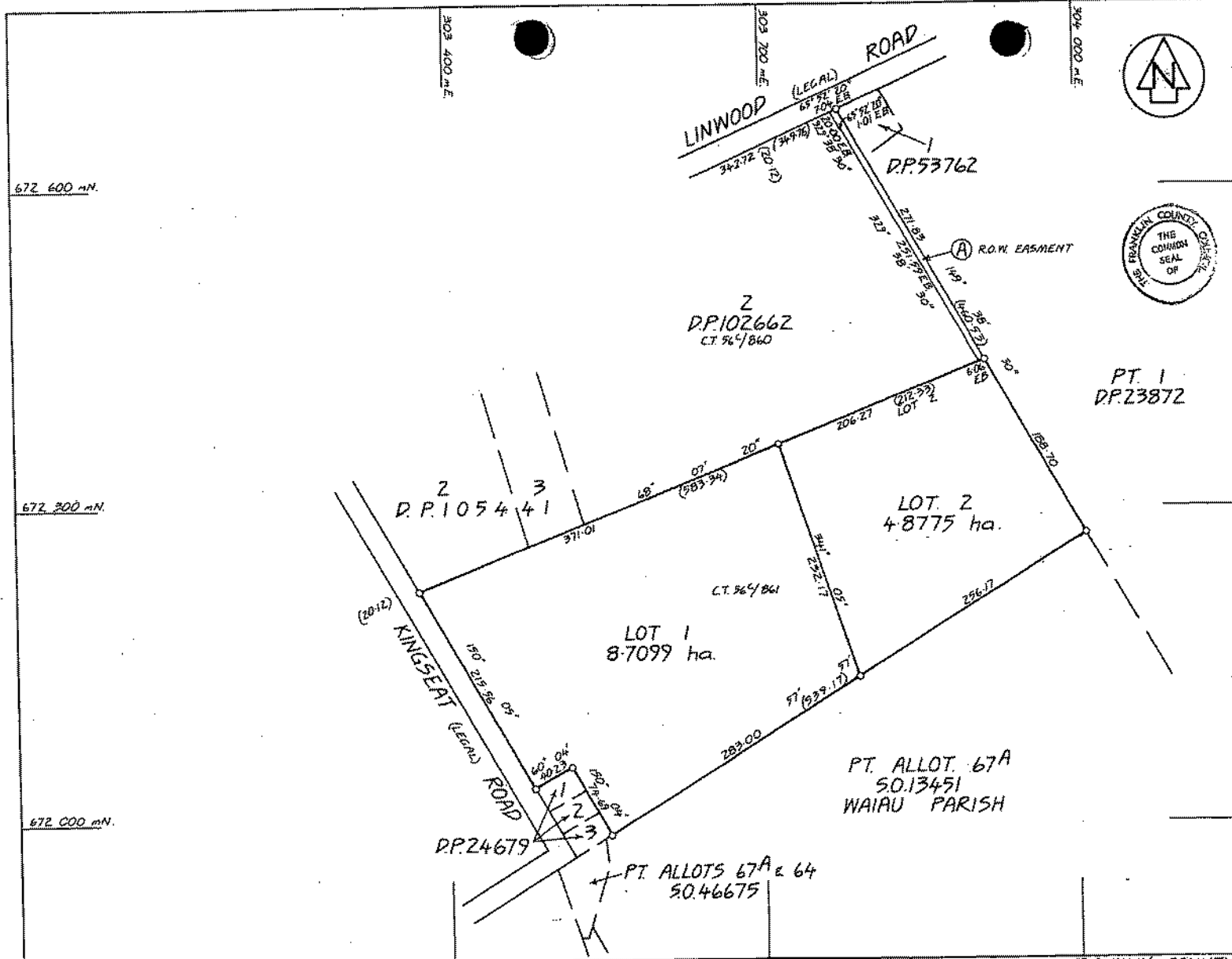
T 1/2

Land District North Auckland
 Dataset Type: Compiled
 Digitally Generated Plan
 Generated on: 03/02/2009 11:37am Page 4 of 5

LOTS 1 & 3 BEING A SUBDIVISION OF PARTS LOT 2 DP 380126

Surveyor: Bradley Mark Mowat
 Firm: The Surveying Company Ltd (Pukekohe)
 Survey Date: 24/10/2008

Digital Survey Plan
 LIT 413639
 Approved on: 3/02/2009



APPROVED PURSUANT TO A RESOLUTION OF THE FRANKLIN COUNTY COUNCIL PASSED ON THE 2ND DAY OF APRIL 1985 APPROVING PURSUANT TO SECTION 305 OF THE LOCAL GOVERNMENT ACT 1974 THIS SURVEY PLAN CONDITIONAL UPON THE GRANTING OR RESERVING OF THE EASEMENT SHOWN IN THE MEMORANDUM ENDORSED HERETO AND CERTIFYING THAT THE SURVEY PLAN WAS IN ACCORDANCE WITH THE REQUIREMENTS AND PROVISIONS OF THE OPERATIVE DISTRICT SCHEME IN FORCE FOR THE AREA TO WHICH THE SURVEY PLAN RELATED AT THE DATE OF APPROVAL OF THE SCHEME PLAN THE COMMON SEAL OF THE FRANKLIN COUNTY COUNCIL WAS AFFIXED HERETO IN THE PRESENCE OF:-

[Signature] CHAIRMAN
[Signature] COUNTY MANAGER

MEMORANDUM OF EASEMENT

PURPOSE	SHOWN	SERV. TENANT	DOM. TENANT
R.O.W.	(A)	PT. LOT 2 DP.102662	LOT 2 HEREOF

PT. 1 DP.23872

REGISTERED OWNERS:-

As to CT 94860 (ROW) - FL GILLIES - J.L. & C. G. 11/4 by their Attorney GARY ALAN CRATE
 As to CT 94861 - J.L. GILLIES

NEW COT. ALLOCATED
 LOT 1 - 61°/443 LOT 2 - 61°/444

Total Area 12.5874 ha.

Comprised in CT 94861 (ROW) & CT 94860 (PA ROW)

L. DAVIE ALEXANDER, LANDRI, OF PUNEKOHU...
 Registered Surveyor and holder of an annual practicing certificate for who may act as a registered surveyor pursuant to the provisions of section 23(2) of the Surveyors Act 1968 hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972.
 Dated at PUNEKOHU this 11TH day of OCTOBER 1985
[Signature]

Field Book p. Traverse Book p.
 Reference Map

Examined *[Signature]* Correct
 Approved as to Survey
 14. 11. 1985
[Signature] Chief Surveyor

Deposited this 21ST day of April 1985
[Signature] District Land Registrar

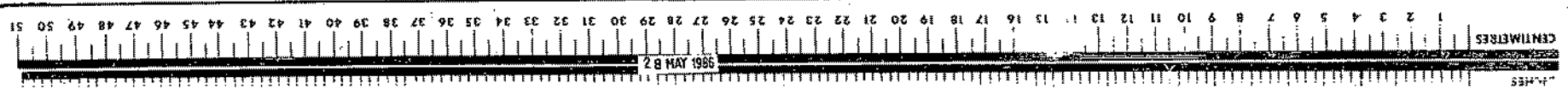
File No. 109340
 Authorised

LAND DISTRICT NORTH AUCKLAND
 SURVEY BLK. & DIST. V. DRURY
 NZMS 261 SH1 RECORD MAP No

LOTS 1 & 2 BEING SUBDIVISION OF LOT 3 DP.102662
 & R.O.W. OVER PT. LOT 2 DP.102662

TERRITORIAL AUTHORITY FRANKLIN COUNTY
 Surveyed by BIRCH, MADSEN & PINRS
 Scale 1:2500 Date JULY 1985

CENTIMETRES





**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy

R. W. Muir
Registrar-General
of Land

Identifier **321088**
Land Registration District **North Auckland**
Date Issued 14 March 2007

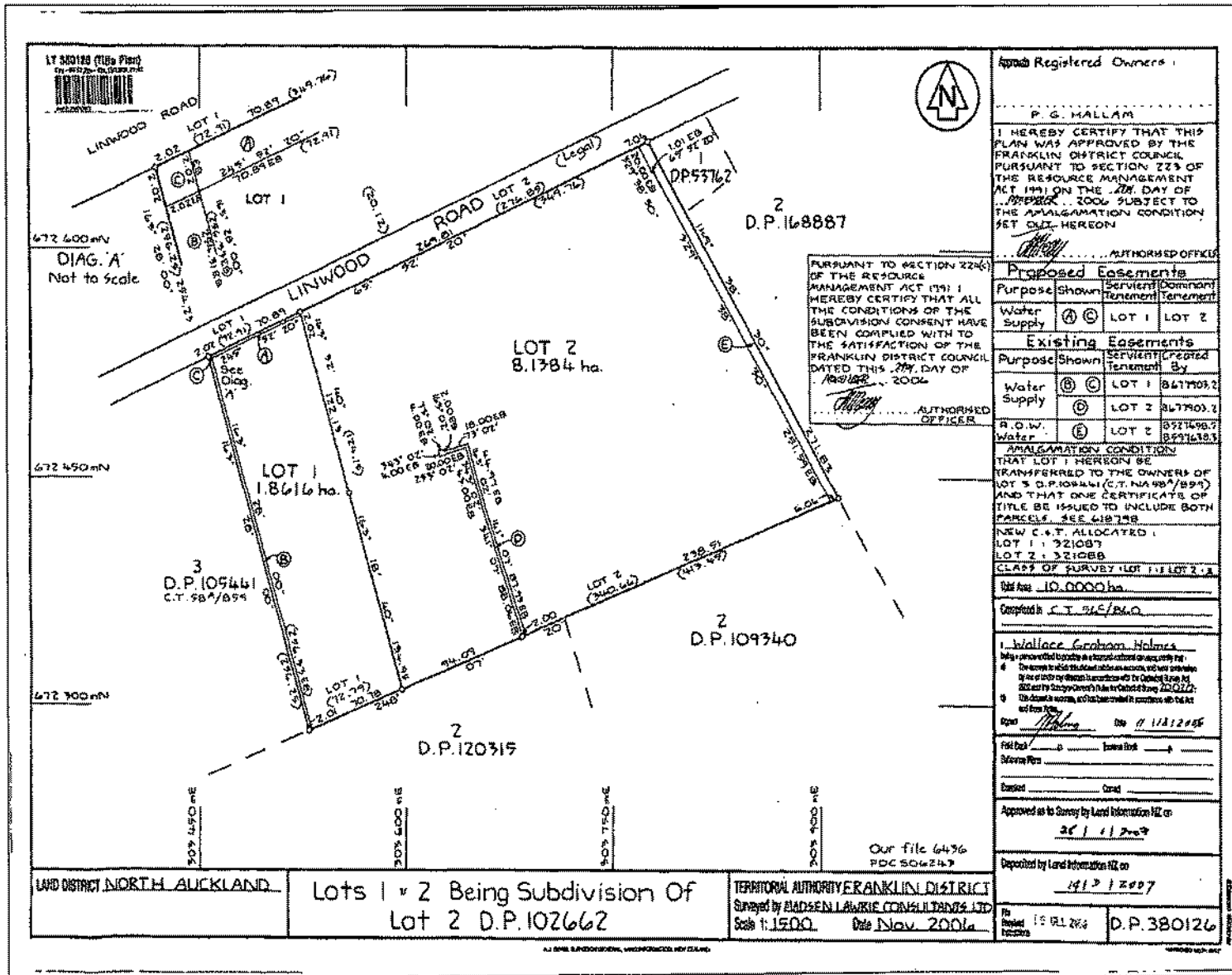
Prior References
NA56C/860

Estate Fee Simple
Area 8.1384 hectares more or less
Legal Description Lot 2 Deposited Plan 380126

Proprietors
Linwood Acres Limited

Interests

Appurtenant hereto is a water supply right specified in Easement Certificate B422360.2 - 7.6.1985 at 2.30 pm
Subject to a right of way over part marked E on DP 380126 specified in Easement Certificate B527458.5 -
21.4.1986 at 1.49 pm
The easements specified in Easement Certificate B527458.5 are subject to Section 309 (1) (a) Local Government
Act 1974
Subject to a right to convey electricity over part marked E on DP 380126 created by Transfer B597638.3 -
29.10.1986 at 1.58 pm
Subject to a right to convey water over part D on DP 380126 created by Transfer B677903.2 - 22.6.1987 at 10.08
am
Appurtenant hereto is a water supply easement created by Easement Instrument 7274834.5 - 14.3.2007 at 9:00
am
7606903.1 Compensation Certificate pursuant to Section 19 Public Works Act 1981 - 7.11.2007 at 9:00 am





**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy

R. W. Muir
Registrar-General
of Land

Identifier **NA61C/444**
Land Registration District **North Auckland**
Date Issued 21 April 1986

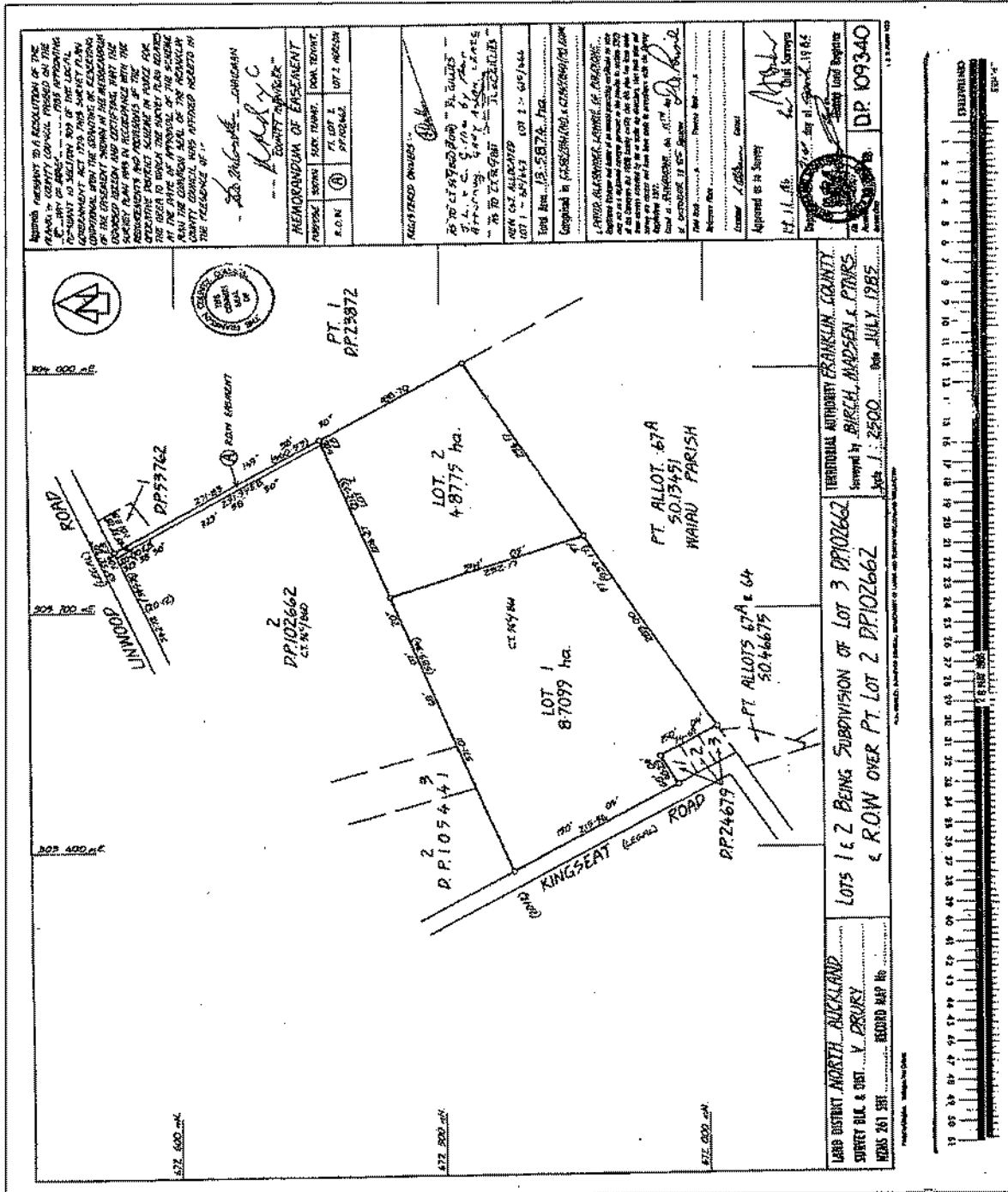
Prior References
NA56C/861

Estate Fee Simple
Area 4.8775 hectares more or less
Legal Description Lot 2 Deposited Plan 109340

Proprietors
Kenneth Allan Lockhart and Professional Trustee Services Limited

Interests

B527458.1 Certificate pursuant to Section 321(3)(c) Local Government Act 1974 - 21.4.1986 at 1.49 pm
Appurtenant hereto is a right of way specified in Easement Certificate B527458.5 - 21.4.1986 at 1.49 pm
The easements specified in Easement Certificate B527458.5 are subject to Section 309 (1) (a) Local Government Act 1974
Appurtenant hereto is a right to convey electricity created by Transfer B597638.3 - 29.10.1986 at 1.58 pm
D639265.3 Mortgage to ANZ Banking Group (New Zealand) Limited - 11.9.2001 at 3.11 pm
7317617.2 CAVEAT BY LINWOOD ACRES LIMITED - 12.4.2007 at 9:00 am



Amount necessary to a resolution of the Council to grant a consent issued on the basis of the information provided in the application for the proposed subdivision of the land shown on the plan. The Council has resolved to grant the consent on the basis of the information provided in the application for the proposed subdivision of the land shown on the plan. The Council has resolved to grant the consent on the basis of the information provided in the application for the proposed subdivision of the land shown on the plan.

MEMORANDUM OF EASEMENT
 RE: [Name] [Address]
 [Signature]
 [Date]

REGISTERED OWNERS
 [Name]
 [Address]

APPROVED AS TO SURVEY
 [Signature]
 [Date]

APPROVED AS TO CONTENT
 [Signature]
 [Date]

RECORDED
 [Signature]
 [Date]

TERMINAL AUTHORITY FRANKLIN COUNTY.
 Surveyed by **BIRCH, MADSEN & PINKS**
 DATE: **JULY 1985**
LOTS 1 & 2 BEING SUBDIVISION OF LOT 3 PP102662
& ROW OVER PT. LOT 2 PP102662
 LARGE DISTRICT, NORTH RICKLAND
 SURVEY BUC. & DIST. V. BRADY
 RECORD MAP NO. 281 SHEET 12



20 AUG 1988

Land and Deeds 69

References

Prior C/T 55A/597



REGISTERED

56C/860

Transfer No.

N/C. Order No. B.316208.2

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 3rd day of August one thousand nine hundred and eighty-four under the seal of the District Land Registrar of the Land Registration District of NORTH AUCKLAND

WITNESSETH that JOSEPH LESLIE GILLIES of Papakura retired and CONSTANCE GILLIES his wife are

seised of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 10.0000 hectares more or less being Lot 2 Deposited Plan 102662 and being part Allotment 67 Parish of Waiau



Assistant Land Registrar

650817.1 Mortgage to the Bank of New Zealand Finance Corporation of New Zealand - 14.9.1977 at 9.91 o/c

B.597638.1 Transfer to Frederick Leslie Gilles of Karaka South Auckland pig farmer - 29.10.1986 at 1.58 o/c

B.422360.2 Easement Certificate affecting Lots on Plan 102662

Nature	Servient Land	Dominant Land
Water Supply	Pt Lot 1 marked 'A' (CT 56C/859)	herein

B.597638.3 Transfer to Kenneth Whelligan farmer and Newyona Nina Whelligan his wife of Karaka - 29.10.1986 at 1.58 o/c

B.527458.5 Easement Certificate affecting Lots on Plan 102662 and 109340

Nature	Servient Land	Dominant Land
R.O.W.	Pt herein marked lot 2 A on DP 109340	Plan 109340 (C.T. 61C/444)

B.597638.4 Mortgage to Joseph Leslie Gilles and Constance Gilles tenants in common in equal shares - 29.10.1986 at 1.55 o/c

B.597638.5 Mortgage to the Bank of New Zealand - 29.10.1986 at 1.55 o/c

- 21.4.1986 at 1.49 o/c

The above easement when created will be subject to Section 309(1)(a) Local Government Act 1974

B.597638.3 Transfer granting a right to convey electricity over the part marked A on plan 109340 appurtenant to Lot 2 Plan 109340 - 29.10.1986 at 1.58 o/c

56C/860

Measurements are Metric

56475749283

B.597638.4 Mortgage to Joseph Leslie Gilles and Constance Gilles in shares - 29.10.1986 at 1.58 o/c

Discharged by 12/11/88
Printers

Mudren
A.L.R.

B.597638.5 Mortgage to Bank of New Zealand - 29.10.1986 at 1.58 o/c

Discharged by 15/08/88
Printers

Mudren
A.L.R.

B.677903.2 Transfer granting a right to convey water over parts within land appurtenant to Lot 1 Deposited Plan 109340 (C.T 61C/443) - 22.6.1987 at 10.08 o/c

Printers
A.L.R.

B.929915.3 Transfer to John Beaumont Samuel of Auckland solicitor - 15.12.1988 at 10.55 o/c

Printers
A.L.R.

B.929915.4 Mortgage to United Building Society - 15.12.1988 at 10.55 o/c

DISCHARGED 17/08/89
Printers

Printers
A.L.R.

C.176571.4 Transfer to John Beaumont Samuel abovenamed, Stanley James Samuel of Auckland retired and Richard Calderwood Connell of Auckland solicitor as tenants in joint tenants - 17.8.1990 at 1.31 o/c

Printers
A.L.R.

C.176571.5 Transfer to Stanley James Samuel abovenamed, Richard Calderwood Connell abovenamed and Jennifer Gwenth Samuel of Auckland married woman as joint tenants - 17.8.1990 at 1.31 o/c

Printers
A.L.R.

C.176571.10 Mortgage to United Building Society - 17.8.1990 at 1.31 o/c

DISCHARGED 11/08/90
Power of Attorney
Printers

Printers
A.L.R.

C.367828.1 CAVEAT AGAINST MORTGAGE C.176571.10 BY GAVIN WILLIAM JAMES GREY AND MARY PATRICIA GREY - 27.4.1992 at 1.31 o/c

Printers
A.L.R.

C.388974.1 Transfer in exercise of Power of Sale under Mortgage C.176571.10 to Gavin William James Grey engineering contractor and Mary Patricia Grey his wife - 25.6.1992 at 2.23 o/c

A.L.R.

C.388974.2 Mortgage to King Gerrard Securities Limited - 25.6.1992 at 2.23 o/c

A.L.R.

C.388974.3 Mortgage to Parkview Holdings Limited - 25.6.1992 at 2.23 o/c

A.L.R.

C.393140.2 Transfer in Exercise of Power of Sale under Mortgage C.176571.10 to Gavin William James Grey of Papakura engineering contractor and Mary Patricia Grey his wife - 9.7.1992 at 1.38 o/c

Printers
A.L.R.

C.393140.3 Mortgage to King Gerrard Securities Limited - 9.7.1992 at 1.38 o/c

Printers
A.L.R.

C.393140.4 Mortgage to Parkview Holdings Limited - 9.7.1992 at 1.38 o/c

DISCHARGED 5-8-93
Printers

Printers
A.L.R.

C.504791.1 Variation of terms of Mortgage C.393140.3 - 5.8.1993 at 2.54 o/c

Printers
A.L.R.

C.600904.1 Variation of terms of Mortgage C.393140.3 - 16.5.1994 at 2.52 o/c

Printers
A.L.R.

C.600904.2 Mortgage to Bank of New Zealand - 16.5.1994 at 2.52 o/c

Printers
A.L.R.

C.858053.1 CAVEAT BY ELDERS PASTORAL N.Z. LIMITED AND ELDERS RURAL FINANCE N.Z. LIMITED - 26.6.1995 at 1.31 o/c

DISCHARGED 14/08/95
FOR DLR
Printers

A.L.R.

D301917.1 CAVEAT BY BROOKLEE HOLDINGS LIMITED 14.8.1998 AT 9.00

Printers
FOR DLR

D308971.1 CHARGING ORDER ABSOLUTE MADE IN ACTION BETWEEN GAVIN WILLIAM GREY AND MARY PATRICIA GREY AND ELDERS PASTORAL HOLDINGS LIMITED AND ELDERS RURAL FINANCE N.Z. LIMITED 8.9.1998 AT 10.20

Printers
FOR DLR

D376096.1 CHARGING ORDER ABSOLUTE MADE 1.4.1999 IN ACTION BETWEEN GAVIN WILLIAM GREY AND MARY PATRICIA GREY AND ELDERS PASTORAL HOLDINGS LIMITED AND ELDERS RURAL FINANCE N.Z. LIMITED 9.4.1999 at 2.42

Printers
for RGL

Appendix C

Property Files

FRANKLIN COUNTY COUNCIL

Application for Permit for Sanitary Plumbing and Drainage Work

For Office Use
 Receipt No. 63941
 Permit No. 8547
 Date of Permit 25 NOV 1982

FRANKLIN COUNTY COUNCIL
 25 NOV 1982

The COUNTY ENGINEER,
 FRANKLIN COUNTY COUNCIL
 TAIAPU BAY PUNUKONGE

Date 22. 11. 1982

Sir,
 I, the undersigned C R CHADWICK LTD
 (Name in full)

of P.O. Box 64 PAPAURA
 (Address)

hereby apply for permission, for the work described herein, and set out in the plans attached hereto, to

be carried out in the premises situated in LINWOOD ROAD KARAKA

Valuation No. 372/299 Lot No. 5.6

D.P. 25890 BIK. V S.D. DRURY

Name of Owner J. L. GILLIES LINWOOD STOD

Address LINWOOD ROAD R.D.7. PAPAURA

Plumber/Drainlayer T. G. ELLIOTT

Address: 9- C R CHADWICK LTD P.O. Box 64 PAPAURA

Description of work INSTALL SHOWER IN BASEMENT.

Estimated value of Plumbing \$ 95.00 Fees \$ 7.00

Drainage \$ _____ Fees \$ _____

Total \$ _____ Fees \$ _____
 p.p. C. R. CHADWICK LTD.

Signature [Signature] Date 22. 11. 82
 General Manager

SCHEDULE OF FEES ESTIMATED VALUE OF WORK

(Assess Plumbing and Drainage Fees Separately)

Not exceeding \$50	- \$5.00	801 - 1000	- \$30.00
51 - 100	- \$7.00	1001 - 1200	- \$35.00
101 - 200	- \$10.00	1201 - 1400	- \$39.00
201 - 400	- \$15.00	1401 - 1600	- \$43.00
401 - 600	- \$20.00	1601 - 1800	- \$47.00
601 - 800	- \$25.00	1801 - 2000	- \$51.00

Plus \$3.00 for every \$200 or part thereof.

Note : Where the value of work excluding materials is not supplied with the application, this will be assessed as 40% of total cost in case of plumbing and 60% for drainage work.

OK - [Signature]

Application for Building Permit

Application No. Permit No. K000313. Date of Permit 4.11.80.

The COUNTY CLERK, FRANKLIN COUNTY COUNCIL,

Date 24-10-80.

Sir,

I hereby apply for permission to erect a sweener post building at Linwood Road for F.L. Gillies.

according to locality plan and detailed plans, elevations, cross-sections and specifications of building deposited herewith, in duplicate.

Particulars of Land:

No. on Valuation Roll 372/299 Section No. Allotment No.

Lot No. 5+6 D.P. No. 25890. Blk No. Drury

Length of Boundaries:

Front Sides

Back Area

Particulars of Building:

Foundations concrete Roof iron Area of ground floor 60 m^2

Walls concrete block + iron Floor concrete Area of outbuildings

Estimated Value:

Building \$ 5000 Plumbing \$ Drainage \$ TOTAL \$ 5000

Fees \$ 35 Building Levy \$ 5 Water Connection \$ Sewer Connection \$ Footpath Damage \$ TOTAL \$ 40

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) Nature of ground on which building is to be placed and of the adjacent strata

Yours faithfully,

Per F.L. Gillies Owner R.O.L. PAPA KURA (Owner's address)

Builder (Builder's address)

150 extra pgs (1100 all sold)

OK

For Schedule of Fees See Back

Table with columns for APPROVED BY (BRDG INSP, HEALTH INSP, T. PLANNING, STRUCT ENGR), FOR OFFICE USE ONLY (BUILDING, PLUMBING & DRAINAGE, WATER CONNECTION, FOOTPATH DEPOSIT), RECEIPT NO (28064), and DATE (24/10/80).

Fees payable on the value of the building work and my Building Permit according to the estimated

From \$	TO \$	\$	From \$	TO \$	\$
			14,001	16,000	90
1	400	4	16,001	18,000	100
401	600	6	18,001	20,000	110
601	800	8	20,001	25,000	125
801	1,000	10	25,001	30,000	140
1002	1,200	12	30,001	35,000	155
1201	1,400	14	35,001	40,000	170
1401	1,600	16	40,001	50,000	185
1601	1,800	18	50,001	60,000	200
1801	2,000	20	60,001	70,000	215
2001	3,000	25	70,001	80,000	230
3001	4,000	30	80,001	90,000	245
4001	5,000	35	90,001	100,000	260
5001	6,000	40	100,001	120,000	275
6001	7,000	45	120,001	140,000	290
7001	8,000	50	140,001	160,000	305
8001	9,000	55	160,001	180,000	320
9001	10,000	60	180,001	200,000	335
10,001	12,000	70	200,001	240,000	350
12,001	14,000	80	240,000	280,000	365

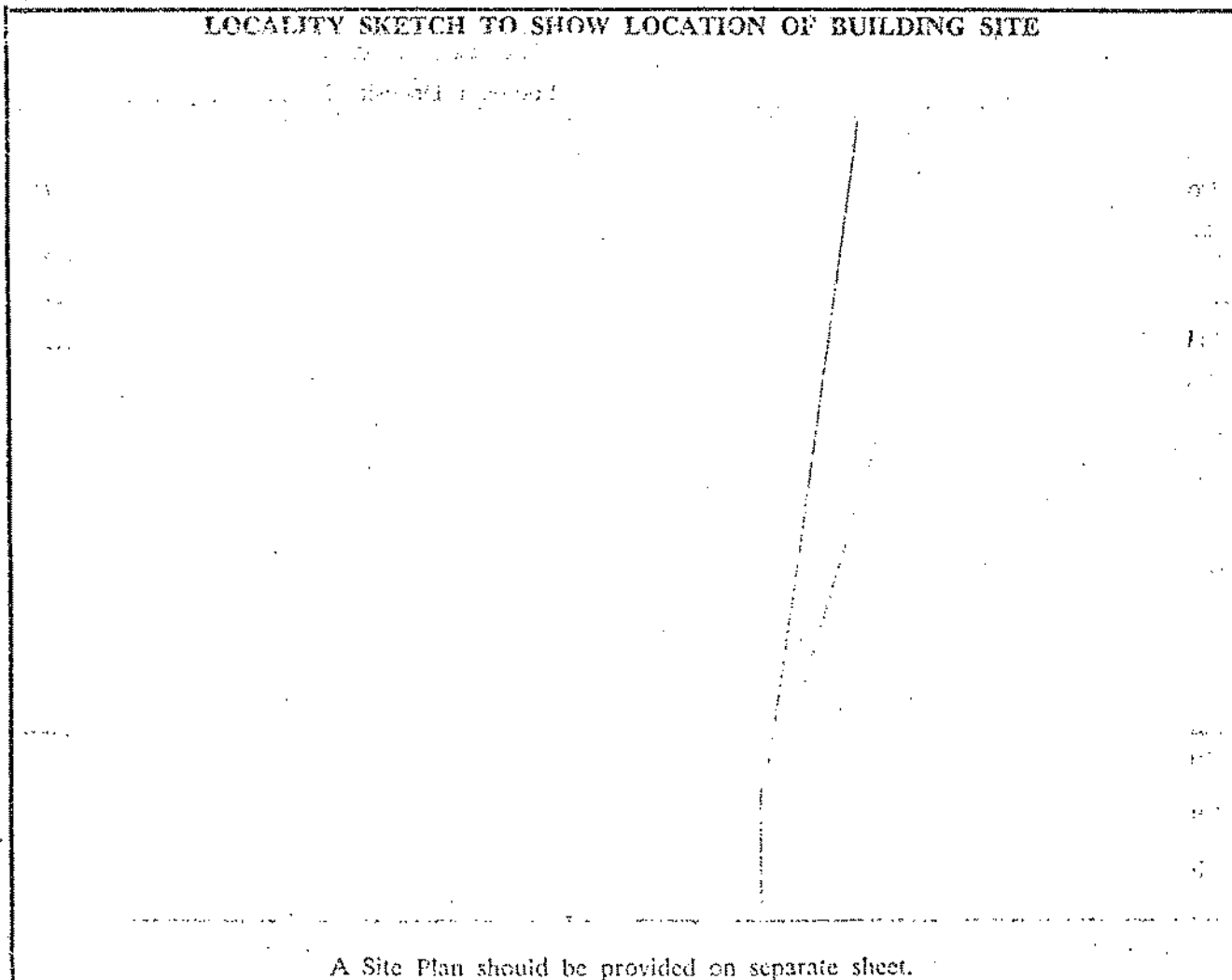
For every \$40,000 or part thereof in excess of \$280,000 an additional fee of \$15.00

In any dispute the Engineer shall have the absolute determination of the value of such work.

Fees payable for Special Duties:—

Nature of Duty	Fees
For inspection required in the case of proposed structural alterations before plans are submitted for approval	\$6.00
For inspecting old timber before re-using the same in a new building	\$6.00
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid	\$6.00
For searching drawings and other documents after completion of work	\$2.00
For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building	\$6.00

LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE



A Site Plan should be provided on separate sheet.

FRANKLIN COUNTY COUNCIL

For Office Use

Application for Building Permit

Application No.
 Permit No. J040.454
 Date of Permit 11-3-80

The COUNTY CLERK,
 FRANKLIN COUNTY COUNCIL,
 Sir,

Date 29th February 19 80

I hereby apply for permission to Build New Pig Shed
 at LINWOOD ROAD, KARAKA, R.D. 1, PAPAURA for J.L. Gillies
(Full address) (Nature of work) (Owner)

according to locality plan and detailed plans, elevations, cross-sections and specifications of building deposited herewith, in duplicate.

Particulars of Land:

No. on Valuation Roll 372/299 Lot No. 546
 Section No. D.P. No. 25890
 Allotment No. Blk No.

Length of Boundaries:

Front Back
 Sides Area

Particulars of Building:

Foundations Core Walls Block
 Roof Al Floor Core
 Area of ground floor Area of outbuildings 400

Estimated Value:

Building \$ 40,000
 Plumbing \$
 Drainage \$
 TOTAL \$ 40,000

Fees

Building Levy \$ 170
 Water Connection \$
 Sewer Connection \$
 Footpath Damage \$
 TOTAL \$ 210-00

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose)

Nature of ground on which building is to be placed and of the adjacent strata

*Regional Water Board notified
 5-3-80*

Yours faithfully,
F. L. GILLIES Owner
 Per LINWOOD ROAD, KARAKA, R.D. 1, PAPAURA
(Owner's address)

Area of land 70 acres - It is not considered that the farming of this area is too intensive to require Council approval. For Schedule of Fees See Back

Builder
(Builder's address)

FOR OFFICE USE ONLY	Receipt No.	Date		Receipt No.	Date
Building	15381	29	Water Connection		
Plumbing & Drainage		2/80	Footpath Deposit		
Approved by <u>[Signature]</u> 5/3/80			Building Inspector.		
Approved by <u>[Signature]</u> 5/3/80			T. Planning.		

LE OF FEES

Fees payable on the issue of any Building Permit according to the estimated value of the building work:—

ESTIMATED VALUE OF BUILDING WORK			FEE		
From \$	To \$	\$	From \$	To \$	\$
0	200	1	12.001	14,000	44
201	400	2	14.001	16,000	48
401	600	3	16.001	18,000	52
601	800	4	18.001	20,000	56
801	1,000	5	20.001	25,000	64
1.001	1,200	6	25.001	30,000	72
1.201	1,400	7	30.001	35,000	80
1.401	1,600	8	35.001	40,000	88
1.601	1,800	9	40.001	50,000	98
1.801	2,000	10	50.001	60,000	108
2.001	2,500	12	60.001	70,000	118
2.501	3,000	14	70.001	80,000	128
3.001	3,500	16	80.001	90,000	138
3.501	4,000	18	90.001	100,000	148
4.001	5,000	21	100.001	120,000	158
5.001	6,000	24	120.001	140,000	168
6.001	7,000	27	140.001	160,000	178
7.001	8,000	30	160.001	180,000	188
8.001	9,000	33	180.001	200,000	198
9.001	10,000	36	200.001	240,000	210
10.001	12,000	40	240.001	280,000	220

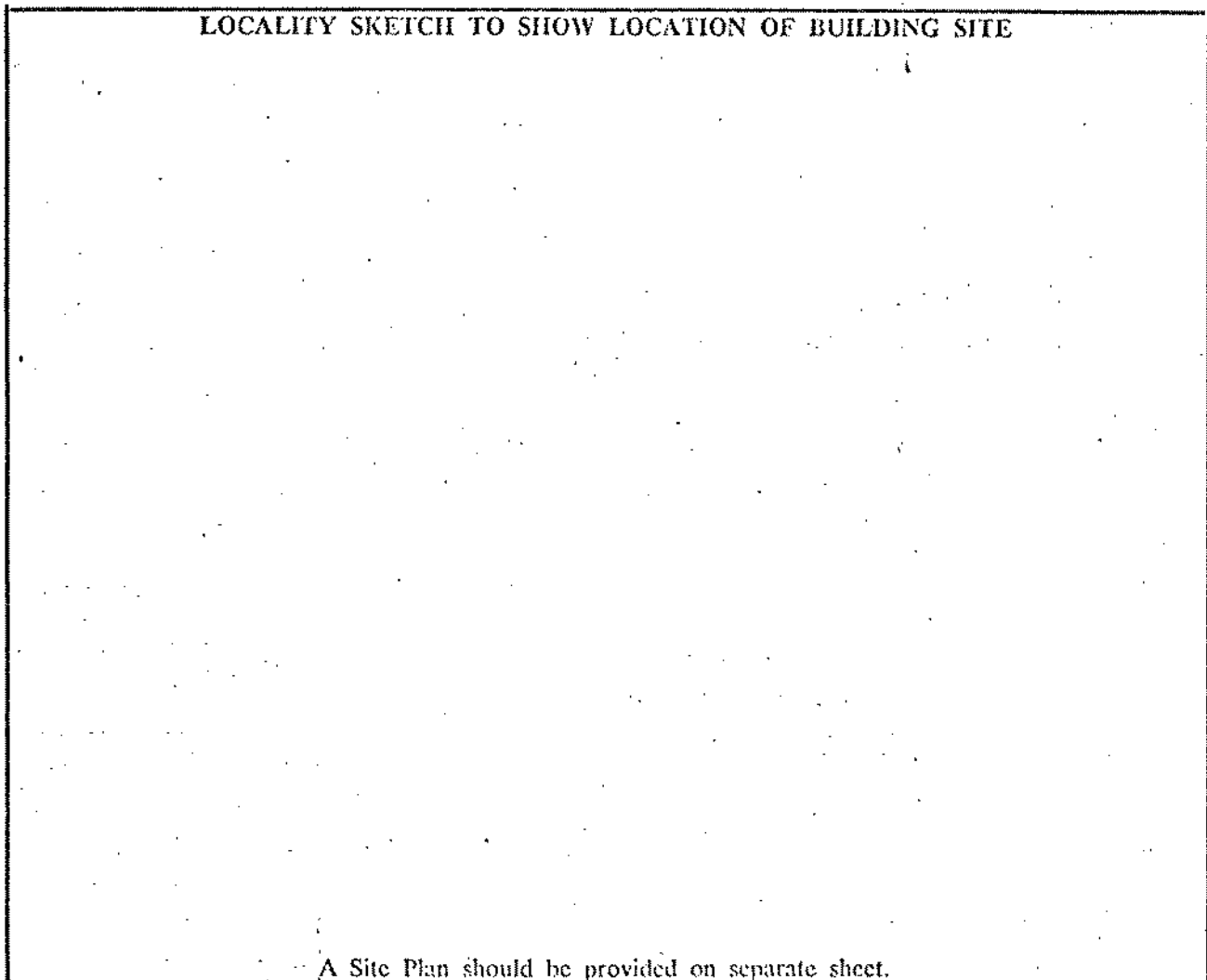
For every \$40,000 or part thereof in excess of \$280,000 an additional fee of \$10.00.

In any dispute the Engineer shall have the absolute determination of the value of such work.

Fees payable for Special Duties:—

Nature of Duty	Fees
For inspection required in the case of proposed structural alterations before plans are submitted for approval	\$4.00
For inspecting old timber before re-using the same in a new building	\$4.00
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid	\$2.00
For searching drawings and other documents after completion of work	\$1.00
For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building	\$2.00

LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE



A Site Plan should be provided on separate sheet.

FRANKLIN COUNTY COUNCIL

For Office Use

Application for Building Permit

Application No.
 Permit No. 1070953
 Date of Permit 29 MAR 1979

The COUNTY CLERK,
 FRANKLIN COUNTY COUNCIL,
 Sir,



Date 27th March 1979.

I hereby apply for permission to (Farm Building) Dry Saw Shed
 (Nature of work)
 at Rd 1, PAPA KURA, for F. L. GILLIES
 (Full address) (Owner)

according to locality plan and detailed plans, elevations, cross-sections and specifications of building deposited herewith, in duplicate.

Particulars of Land:

No. on Valuation Roll 372/290 Lot No. 546
 Section No. D.P. No. 75264 25290
 Allotment No. Blk. No.

Length of Boundaries:

Front 27m Back
 Sides 4.5m Area

Particulars of Building:

Foundations 300mm x 300mm + 2-15mm rods Walls Block
 Roof corrugated iron Floor Concrete
 Area of ground floor 121.5 m² Area of outbuildings

Estimated Value:

Building	\$ <u>2500</u>	Fees	\$ <u>25-00</u>
Plumbing	\$		\$
Drainage	\$		\$
TOTAL	\$ <u>2,500</u>	Building Levy	\$
		Water Connection	\$
		Sewer Connection	\$
		Footpath Damage	\$
		TOTAL	\$ <u>25-00</u>

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) ... PIG HOUSING

Nature of ground on which building is to be placed and of the adjacent strata

Yours faithfully,

Per F. L. Gillies Owner

AS ABOVE
 (Owner's address)

F. L. Gillies Builder

(Builder's address)

*Looking Born for Saws.
 No Increase in No. of
 Pigs*

For Schedule of Fees See Back

FOR OFFICE USE ONLY	Receipt No.	Date		Receipt No.	Date
Building	<u>25578</u>	<u>27</u>	Water Connection		
Plumbing & Drainage		<u>3</u>	Footpath Deposit		
		<u>79</u>			
Approved by			H. and Building Inspector.		
Approved by	<u>28/3/79</u>		T. Planning.		

SCHEDULE OF FEES

Fees payable on the issue of any Building Permit according to the estimated value of the building work:—

ESTIMATED VALUE OF BUILDING WORK			FEE		
From \$	To \$	\$	From \$	To \$	
0	200	1	12.001	14,000	
201	400	2	14.001	16,000	
401	600	3	16.001	18,000	
601	800	4	18.001	20,000	
801	1,000	5	20.001	25,000	
1.001	1,200	6	25.001	30,000	
1.201	1,400	7	30.001	35,000	
1.401	1,600	8	35.001	40,000	
1.601	1,800	9	40.001	50,000	
1.801	2,000	10	50.001	60,000	
2.001	2,500	12	60.001	70,000	
2.501	3,000	14	70.001	80,000	
3.001	3,500	16	80.001	90,000	
3.501	4,000	18	90.001	100,000	
4.001	5,000	21	100.001	120,000	158
5.001	6,000	24	120.001	140,000	168
6.001	7,000	27	140.001	160,000	178
7.001	8,000	30	160.001	180,000	188
8.001	9,000	33	180.001	200,000	193
9.001	10,000	36	200.001	240,000	210
10.001	12,000	40	240.001	280,000	220

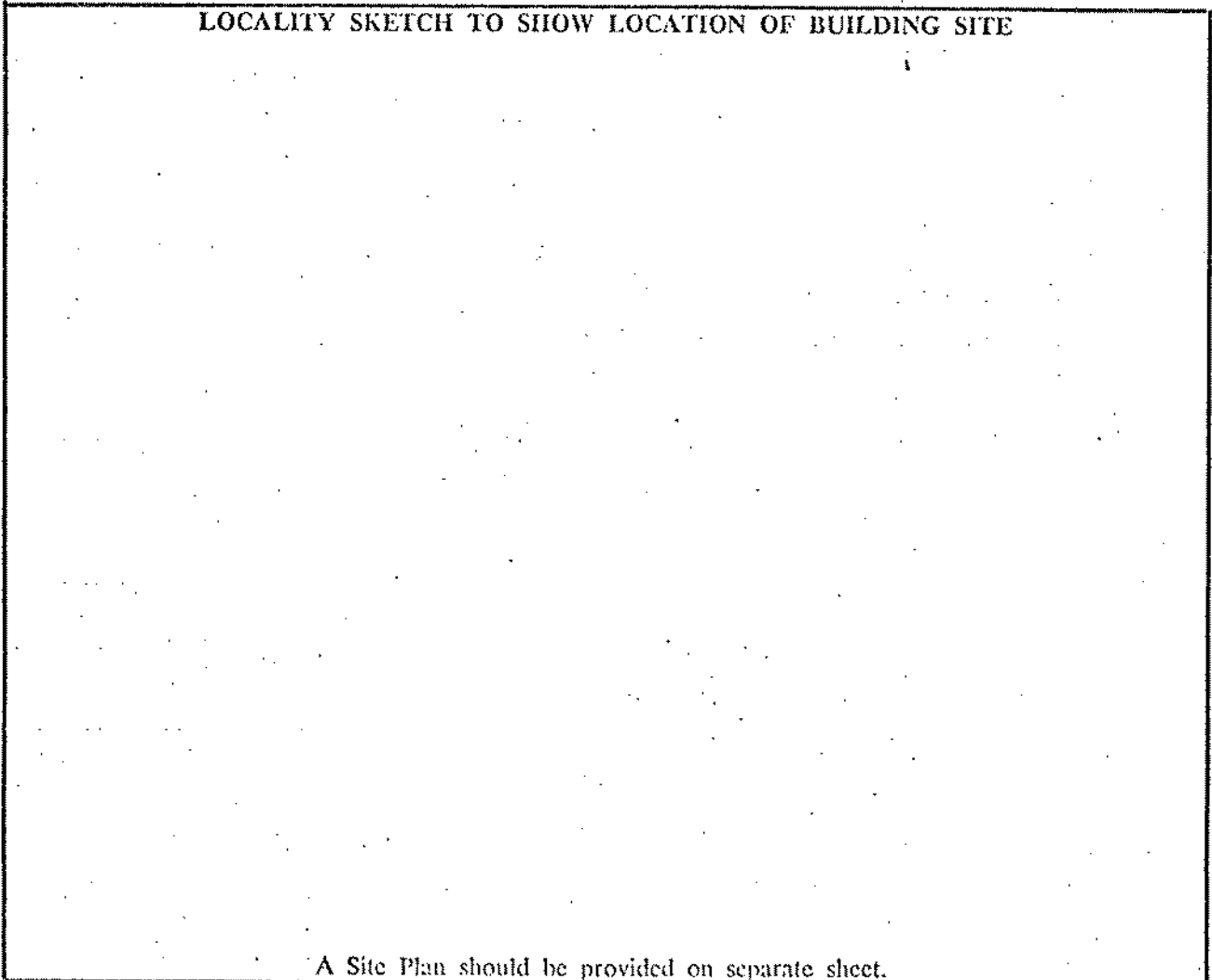
For every \$40,000 or part thereof in excess of \$280,000 an additional fee of \$10.00.

In any dispute the Engineer shall have the absolute determination of the value of such work.

Fees payable for Special Duties:—

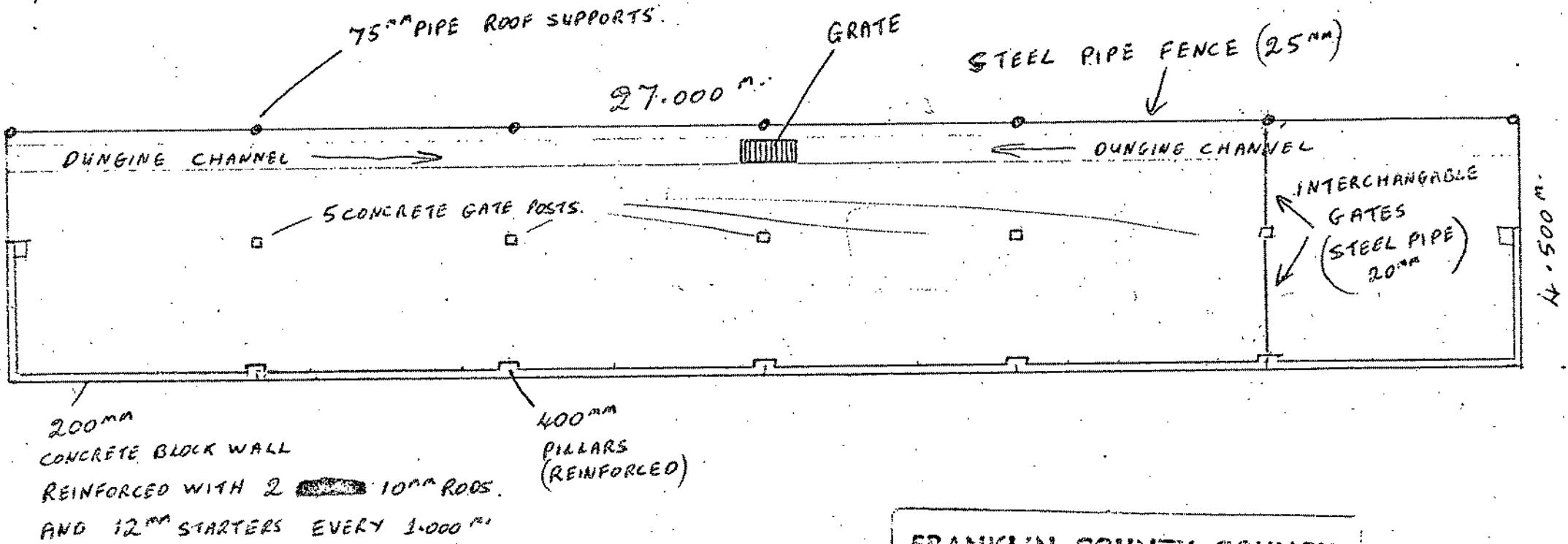
Nature of Duty	Fees
For inspection required in the case of proposed structural alterations before plans are submitted for approval	\$4.00
For inspecting old timber before re-using the same in a new building	\$4.00
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid	\$2.00
For searching drawings and other documents after completion of work	\$1.00
For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building	\$2.00

LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE

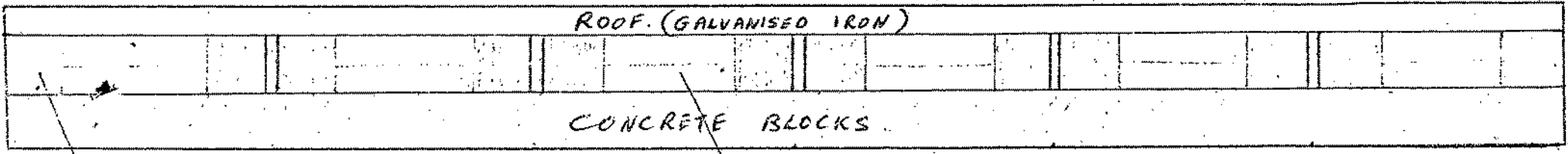


A Site Plan should be provided on separate sheet.

EXISTING SHED.



FRANKLIN COUNTY COUNCIL
Approved subject to all work being carried out in accordance with the Counties' Act and the County By-Laws.
E. J. H. [Signature] Building Inspector



BACK OF SHED (CORRUGATED IRON)

VENTILATION

FRANKLIN COUNTY COUNCIL

For Office Use

Application for Building Permit



Application No.
 Permit No. H73805
 Date of Permit 24.3.77

The COUNTY CLERK,
 FRANKLIN COUNTY COUNCIL

Date 8.3.77

Sir,

I hereby apply for permission to erect a Farming House, Wear
 (Nature of work)

at Linwood Rd. for F. L. Gillies
 (Full address) (Owner)

according to locality plan and detailed plans, elevations, cross-sections and specifications of building deposited herewith, in duplicate.

Particulars of Land:

No. on Valuation Roll 372/299 Lot No. 5.6
 Section No. D.P. No. 25890
 Allotment No. Blk. No. N. Dunc.

Length of Boundaries:

Front Back
 Sides Area

Particulars of Building:

Foundations Walls
 Roof Floor
 Area of ground floor Area of outbuildings 451 m

Estimated Value:

Building	\$ <u>20000</u>	Fees	\$ <u>56.00</u>
Plumbing	\$		\$
Drainage	\$		\$
Building Levy	\$ <u>10.00</u>		
Water Connection	\$		
Sewer Connection	\$		
Footpath Damage	\$		
TOTAL			\$ <u>66.00</u>

FRANKLIN COUNTY COUNCIL	
STRUCTURAL CHECK	DATE
<u>OK. As amended</u>	<u>23/3/77</u>
FIRE SAFETY & EGRESS CHECK	DATE

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose)

Nature of ground on which building is to be placed and of the adjacent strata

Yours faithfully,

Per F. L. Gillies Owner
Linwood Stud, Karaka,
 (Owner's address)
CANBAY PIC DEV Builder
RD 6 TAURANGA
 (Builder's address)

OK for extension of support

For Schedule of Fees See Back

FOR OFFICE USE ONLY	Receipt No.	Date	Receipt No.	Date
Building	<u>13528</u>	<u>9/3/77</u>		
Plumbing & Drainage		<u>3/77</u>		
Water Connection				
Footpath Deposit				
Approved by <u>[Signature]</u>	<u>24/3/77</u>	H. and Building Inspector.		
Approved by <u>[Signature]</u>	<u>21.3.77</u>	T. Planning.		

LE OF FEES

Fees payable on the issue of any Building Permit according to the estimated value of the building work:—

ESTIMATED VALUE OF BUILDING WORK			FEE		
From \$	To \$	\$	From \$	To \$	\$
0	200	1	12.001	14,000	44
201	400	2	14.001	16,000	48
401	600	3	16.001	18,000	52
601	800	4	18.001	20,000	56
801	1,000	5	20.001	25,000	64
1.001	1,200	6	25.001	30,000	72
1.201	1,400	7	30.001	35,000	80
1.401	1,600	8	35.001	40,000	88
1.601	1,800	9	40.001	50,000	98
1.801	2,000	10	50.001	60,000	108
2.001	2,500	12	60.001	70,000	118
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10.001	12,000	40	240.001	280,000	220

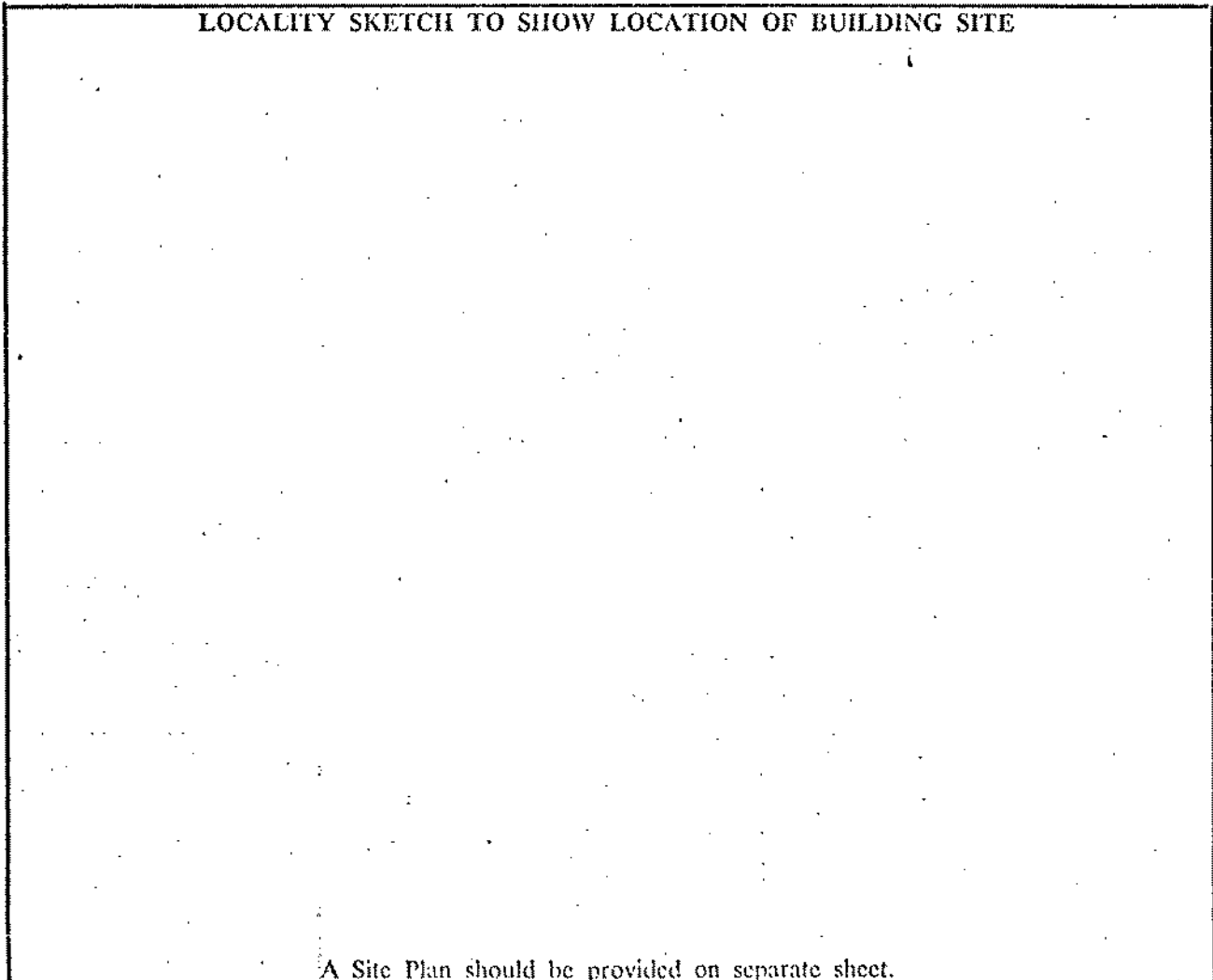
For every \$40,000 or part thereof in excess of \$280,000 an additional fee of \$10.00.

In any dispute the Engineer shall have the absolute determination of the value of such work.

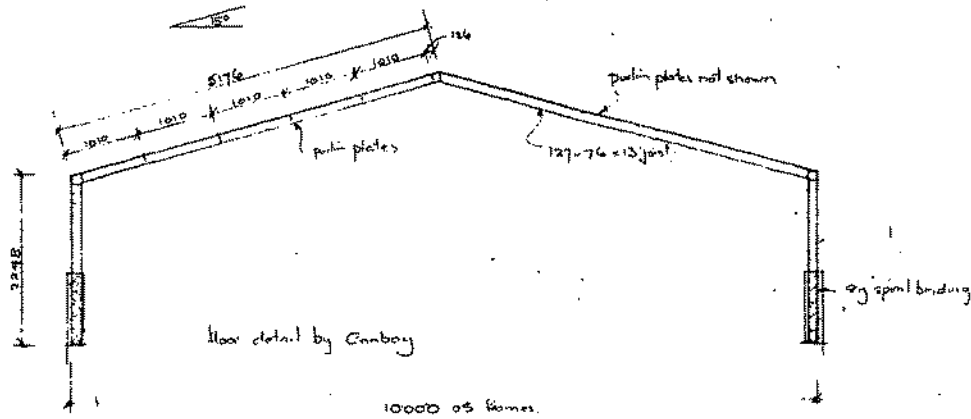
Fees payable for Special Duties:—

Nature of Duty	Fees
For inspection required in the case of proposed structural alterations before plans are submitted for approval	\$4.00
For inspecting old timber before re-using the same in a new building	\$4.00
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid	\$2.00
For searching drawings and other documents after completion of work	\$1.00
For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building	\$2.00

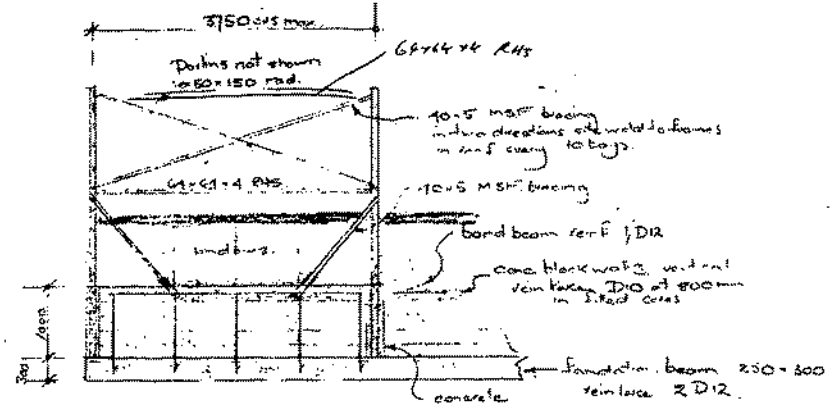
LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE



A Site Plan should be provided on separate sheet.

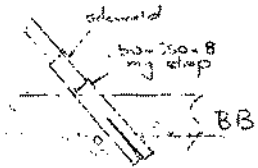
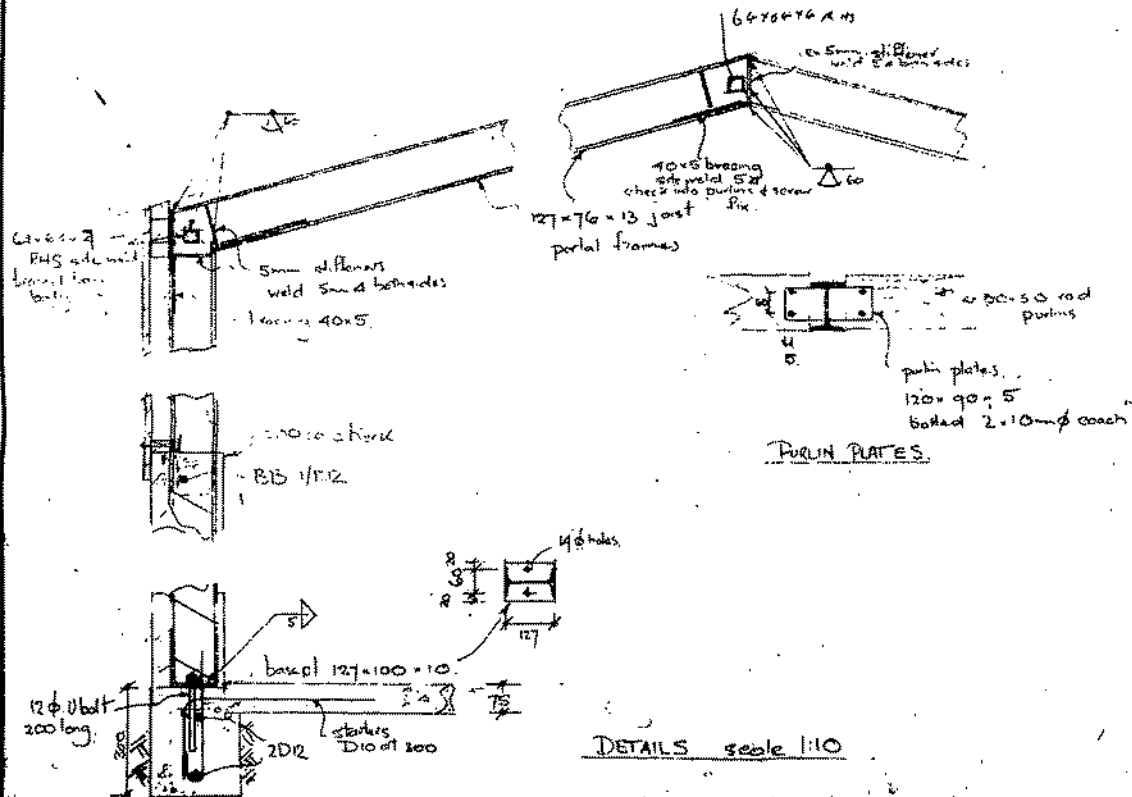


PORTAL FRAMES scale 1:50



bay
one only per 10 bays position as req.

ELEVATION scale 1:50



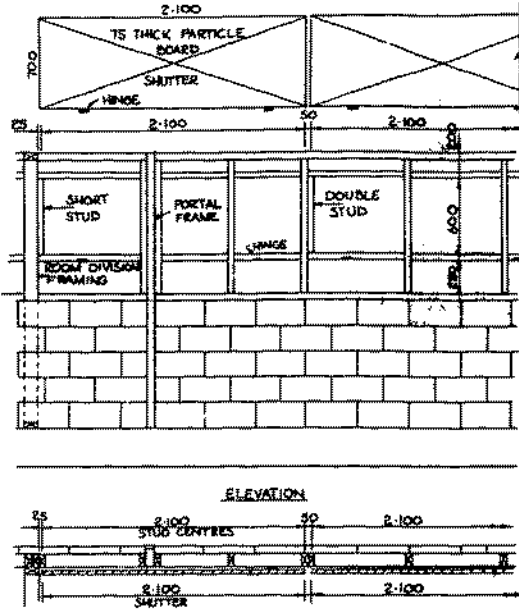
372/299
H73805
24.3.77
1 of 3

All concrete to be 17.5 Hpc
All welds not specifically shown to be Sd continuous at round

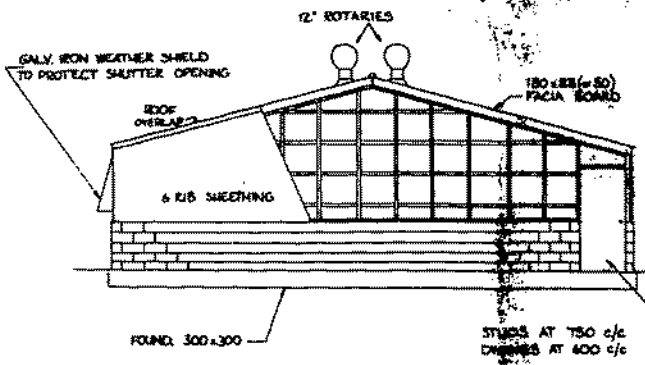
NOTE: The Contractor shall check all dimensions to site

FARM BUILDING STRUCTURAL DETAILS	
FOR MR F. GILLIES Main Road - Karaka Kiwitoto.	
CONCRETE DEVELOPMENT CO. LTD.	
TARANAKI	
W. G. MITCHELLSON 100 Main Road, Karaka Taranaki, N.Z.	
DATE: 26/3/76	DATE: 23/5/76
SCALE: 1:50	SCALE: 1:50
BY: [Signature]	BY: [Signature]
CHKD: [Signature]	CHKD: [Signature]

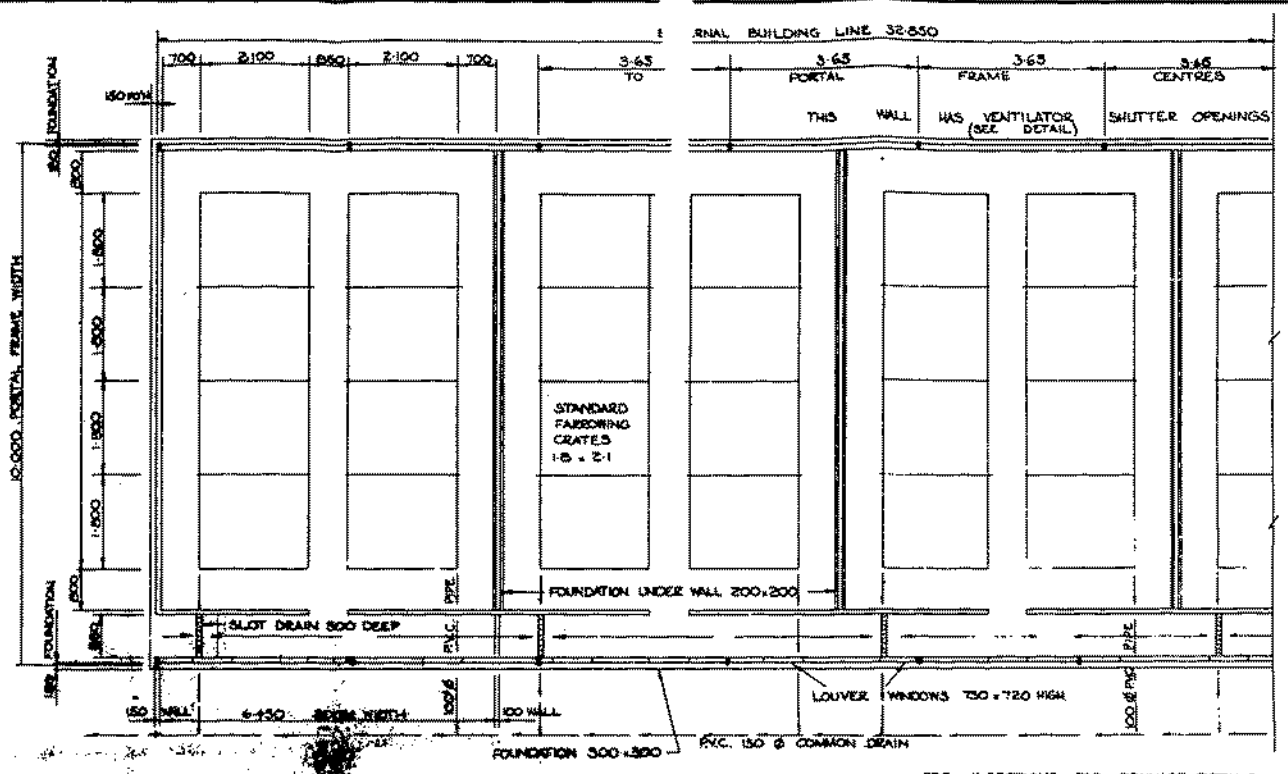
NOTE 3 SHUTTERS (AT 2.100) PER ROOM WIDTH ALLOW STUDS AT 2.100 CENTRES TO TAKE SHUTTERS, BUT USE A SHORT DOUBLE STUD EACH TIME (SEE DIMENSIONS). PUT STUDS BETWEEN TO SUITABLE CENTRES.



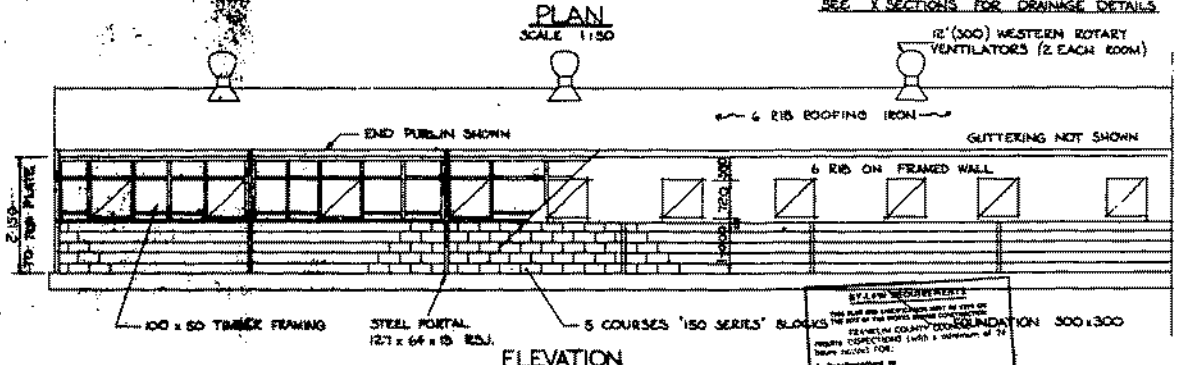
DETAIL OF BACK WALL
SCALE 1:20



END ELEVATION
SCALE 1:50



PLAN
SCALE 1:50



ELEVATION
SCALE 1:50

INSULATION
IN CEILING & LAYERS ISOLATION
2.000 MIN. SHOW LINE OF PORTAL FRAMING
PLAN 700 x 450 BETWEEN PURLINS
SEE DETAIL.

VENTILATION
12" (300) WESTERN ROTARY VENTS,
2 EACH ROOM, PLACED CENTRALLY,
OPENING SHUTTERS 300 x 700 x 75
CONTINUOUS ALONG BACK WALL.
SEE DETAIL.

ALLOW MEASUREMENTS
TO BE TAKEN FROM THE TOP OF THE
125mm COUNTY ROAD FOUNDATION
TO THE CENTRE OF THE SHUTTER
BEAM NOTED FOR:
1. Reinforcement in
2. Frames - prior to brick
3. Guttering from
purlins, plan and column

DRAINAGE
AS SHOWN ON CROSS SECTIONS
EFFLUENT PASSES OUT UNDER
PASSAGE WAY IN 100 Ø PVC PIPE

FRANKLIN COUNTY COUNCIL
Approved subject to all work being carried
out in accordance with the Council's Act
and County Rules
[Signature] Building Inspector

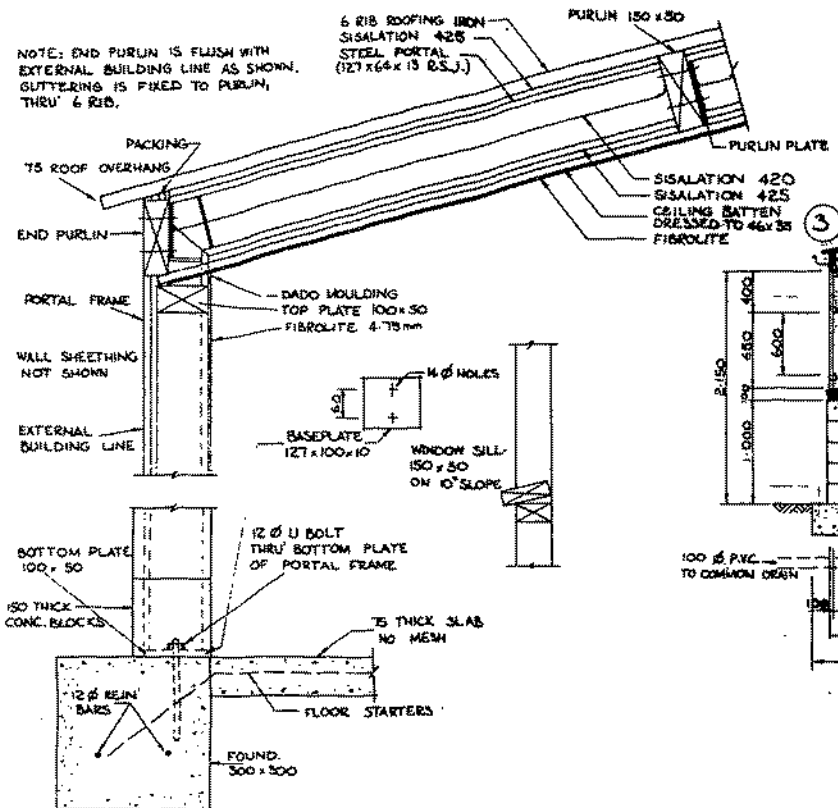
WHOLE NUMBERS = mm
DECIMALISED EXPRESSIONS = m
UNLESS OTHERWISE SHOWN.

CANBAY PIC DEVELOPMENT
COMPANY LIMITED

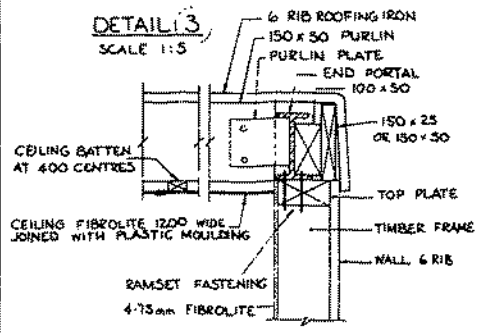
CONSTRUCTION DRAWINGS - 10m PORTAL FRAME
5 x 8 FARROWING UNITS
FLOOR PLAN, ELEVATIONS, WALL FRAMING DETAIL

CLIENT:	MR. F. GILLES	372/299	SHEET	1
OF:	PAPAKURA	175805	IN 2 SHEETS	
DRAWN:		24.3.77	REVISED	
CHECKED:		15/2/77	SCALE	AS SHOWN
DATE:			NO.	CPDL 4

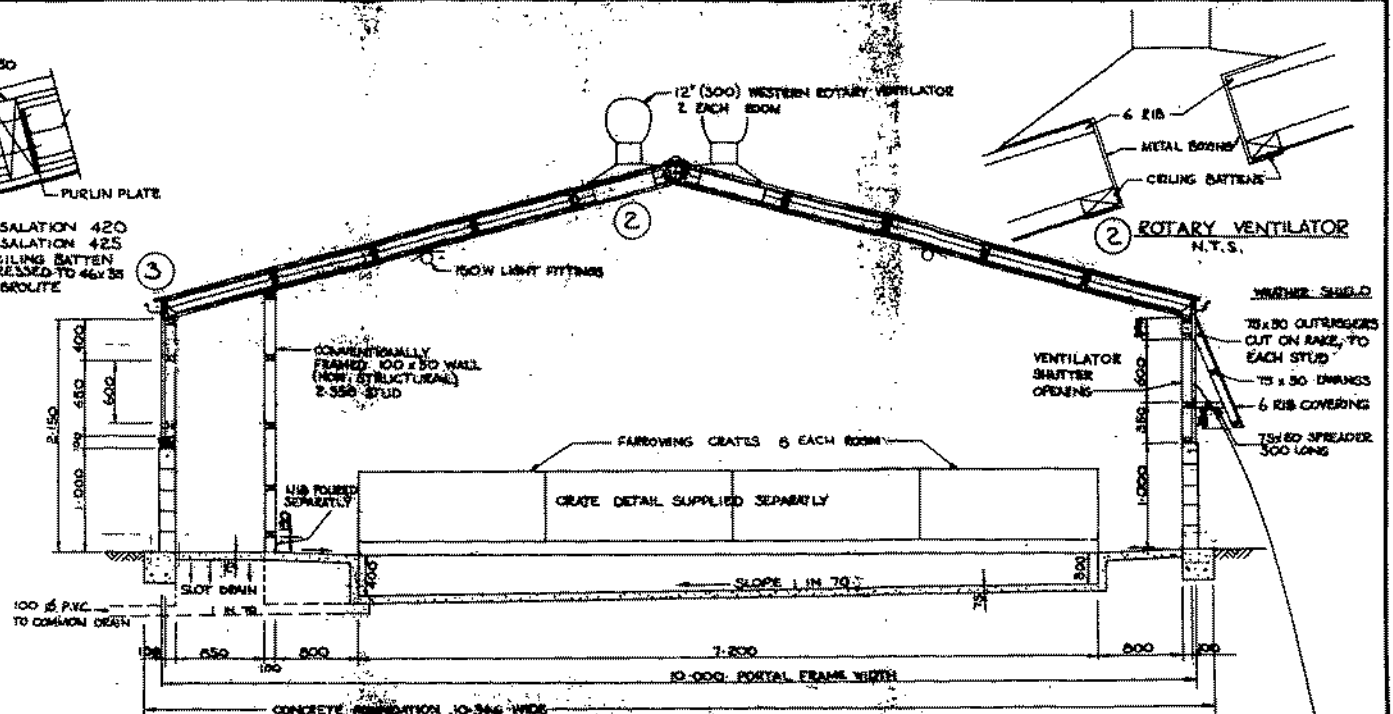
NOTE: END PURLIN IS FLUSH WITH EXTERNAL BUILDING LINE AS SHOWN. GUTTERING IS FIXED TO PURLIN, THRU 6 RIB.



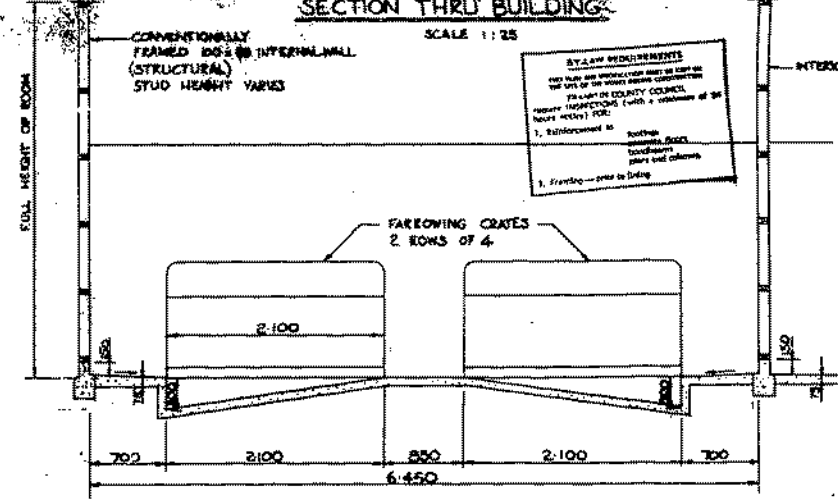
DETAIL 3
SCALE 1:5



DETAIL AT GABLE
SCALE 1:5

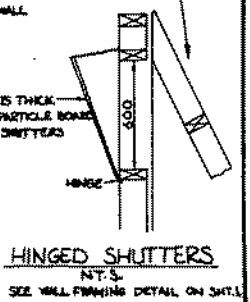


SECTION THRU BUILDING
SCALE 1:25



SECTION THRU ROOM
SCALE 1:25

STEEL REINFORCEMENTS
THIS DRAWING IS APPROVED FOR THE USE OF THE LOCAL GOVERNMENT BY THE FRANKLIN COUNTY COUNCIL. (with a maximum of 30 hours notice) FOR:
1. Reinforcement to
2. Framing - see to liking



HINGED SHUTTERS
N.T.S.
SEE WALL FINISHING DETAIL ON SHEET 2



mark logo

FRANKLIN COUNTY COUNCIL
Approved subject to all work being carried out in accordance with The Counties' Act 1988.
Building Inspector

DECIMALISED EXPRESSIONS = m
WHOLE NUMBERS = mm
UNLESS OTHERWISE SHOWN
378/299
473805
24.3.77
3.07.3

CANBAY PIG DEVELOPMENT
COMPANY LIMITED

CONSTRUCTION DRAWINGS-10m PORTAL FRAME
5 x 8 FARROWING UNITS
CROSS SECTIONS, CONSTRUCTION DETAILS

CLIENT	MR. F. GILLES	SHEET	2
OF	PAPAKURA		
DRAWN	CHECKED	SCALE	SERIES OF 2
TRACED	DATE 6/2/77	AS SHOWN	REF C.R.D.L. 4

FRANKLIN COUNTY COUNCIL

For Office Use

Application for Building Permit



Application No.
 Permit No. H. 27404
 Date of Permit 25.2.76

The COUNTY CLERK,
 FRANKLIN COUNTY COUNCIL,

Date 19

Sir,

I hereby apply for permission to

at Herwood Rd.
 (Full address)

for Street Digging
 (Nature of work)
J. L. Gillies
 (Owner)

according to locality plan and detailed plans, elevations, cross-sections and specifications of building deposited herewith, in duplicate.

Particulars of Land:

No. on Valuation Roll 372/299 Lot No. 5 & 6
 Section No. D.P. No. 25890
 Allotment No. Ben v. Dwyer SD

Length of Boundaries:

Front Back
 Sides Area

Particulars of Building:

Foundations Walls
 Roof Floor
 Area of ground floor 142 m sq. ft. Area of outbuildings sq. ft.
 (1532 sq. ft.)

Estimated Value:

Building	\$	<u>3000</u>	Fees	<u>14.00</u>
Plumbing	\$	.....	
Drainage	\$	.....	
TOTAL	\$	.....	Building Levy	\$
			Water Connection	\$
			Footpath Deposit	\$
			TOTAL	\$ <u>14.00</u>

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose)

Boat pens.

Nature of ground on which building is to be placed and of the adjacent strata

Yours faithfully,

Per J. L. Gillies Owner
R.O.1 Papakura
 (Owner's address)
Dwyer Builder
 (Builder's address)

Fees letter sent 16/2/76

For Schedule of Fees See Back

FOR OFFICE USE ONLY	Receipt No.	Date		Receipt No.	Date
Building	<u>15632</u>	<u>25.2.76</u>	Water Connection		
Plumbing & Drainage			Footpath Deposit		
Approved by <u>[Signature]</u> and Building Inspector.					
Approved by <u>[Signature]</u> T. Planning.					

SCHEDULE OF FEES

Fees payable on the issue of any Building Permit according to the estimated value of the building work:—

ESTIMATED VALUE OF BUILDING WORK			FEE		
From \$	To \$	\$	From \$	To \$	\$
0	200	1	12.001	14,000	44
201	400	2	14.001	16,000	48
401	600	3	16.001	18,000	52
601	800	4	18.001	20,000	56
801	1,000	5	20.001	25,000	64
1.001	1,200	6	25.001	30,000	72
1.201	1,400	7	30.001	35,000	80
1.401	1,600	8	35.001	40,000	88
1.601	1,800	9	40.001	50,000	98
1.801	2,000	10	50.001	60,000	108
2.001	2,500	12	60.001	70,000	118
2.501	3,000	14	70.001	80,000	128
3.001	3,500	16	80.001	90,000	138
3.501	4,000	18	90.001	100,000	148
4.001	5,000	21	100.001	120,000	158
5.001	6,000	24	120.001	140,000	168
6.001	7,000	27	140.001	160,000	178
7.001	8,000	30	160.001	180,000	188
8.001	9,000	33	180.001	200,000	198
9.001	10,000	36	200.001	240,000	210
10.001	12,000	40	240.001	280,000	220

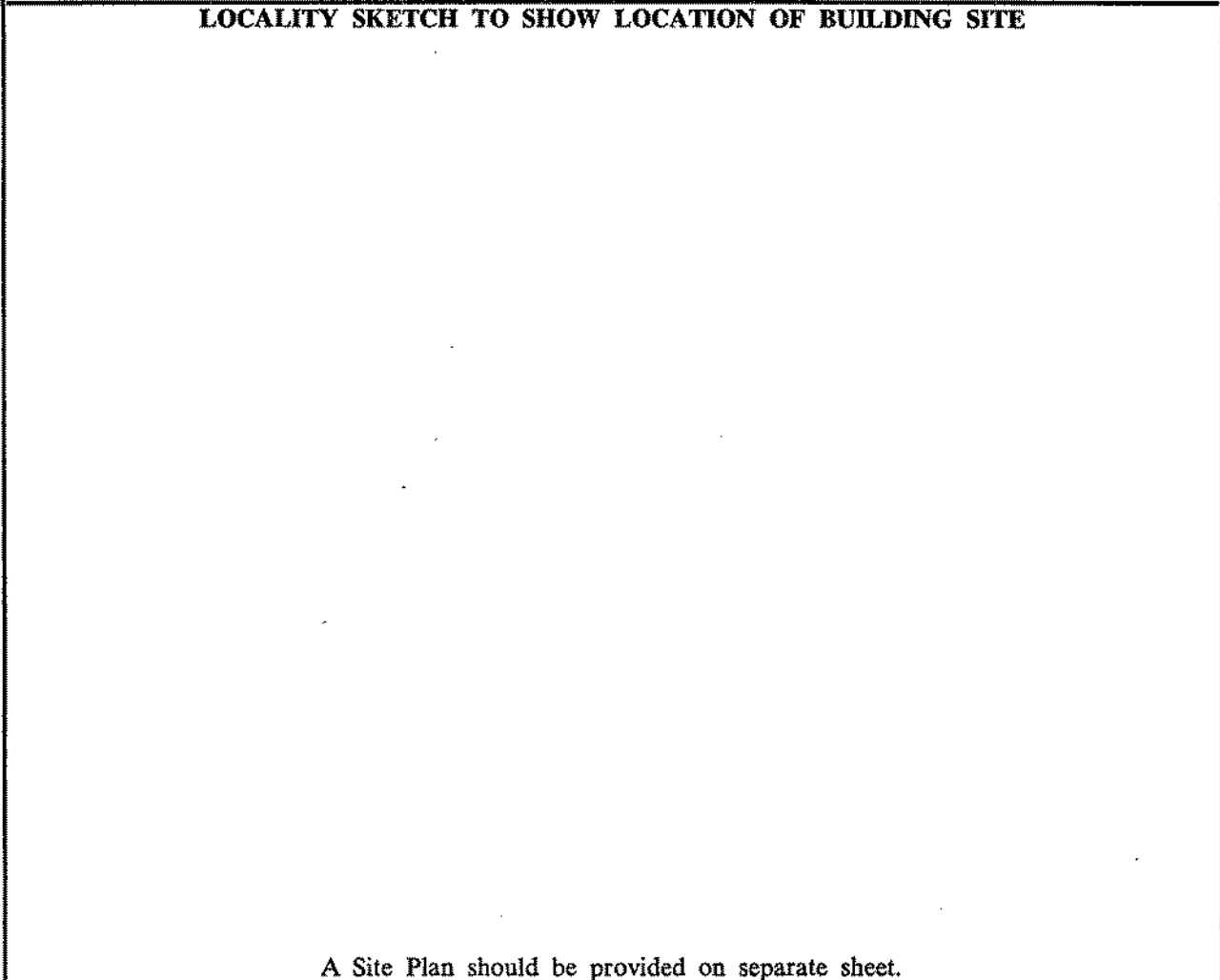
For every \$40,000 or part thereof in excess of \$280,000 an additional fee of \$10.00.

In any dispute the Engineer shall have the absolute determination of the value of such work.

Fees payable for Special Duties:—

Nature of Duty	Fees
For inspection required in the case of proposed structural alterations before plans are submitted for approval	\$4.00
For inspecting old timber before re-using the same in a new building	\$4.00
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid	\$2.00
For searching drawings and other documents after completion of work	\$1.00
For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building	\$2.00

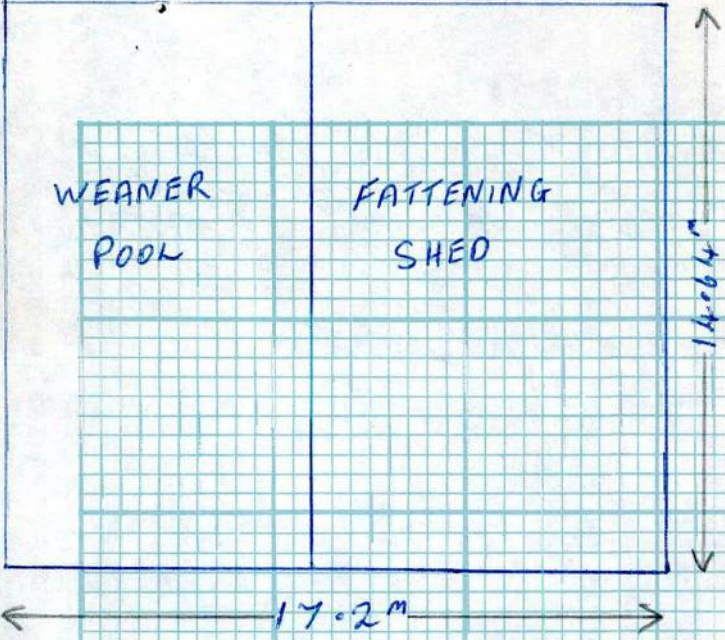
LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE



A Site Plan should be provided on separate sheet.

Scale 1" = 5 METRES $\frac{1}{197}$

To LINWOOD RD



BY-LAW REQUIREMENTS

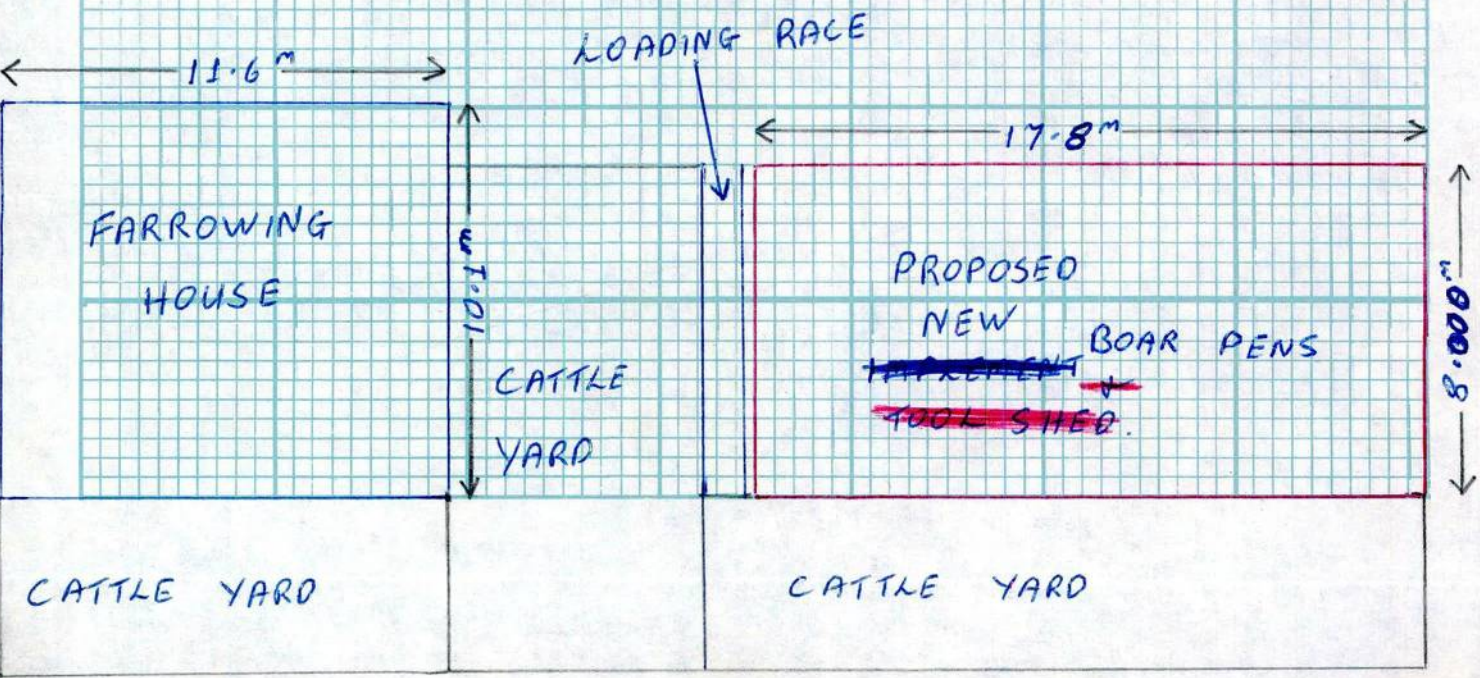
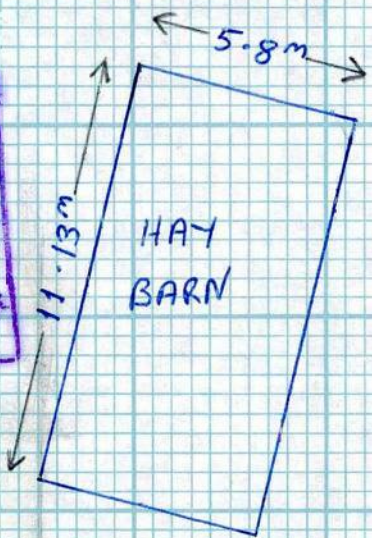
THIS PLAN AND SPECIFICATION MUST BE KEPT ON THE SITE OF THE WORKS DURING CONSTRUCTION.

NO CONCRETE SHALL BE PLACED IN FOUNDATIONS UNTIL THE EXCAVATIONS AND ALL REINFORCEMENTS HAVE BEEN EXAMINED AND PASSED BY THE INSPECTOR.

FRANKLIN COUNTY COUNCIL

Approved subject to all work being carried out in accordance with the Counties Act and the County By-Laws.

E.S. Giffen Building Inspector

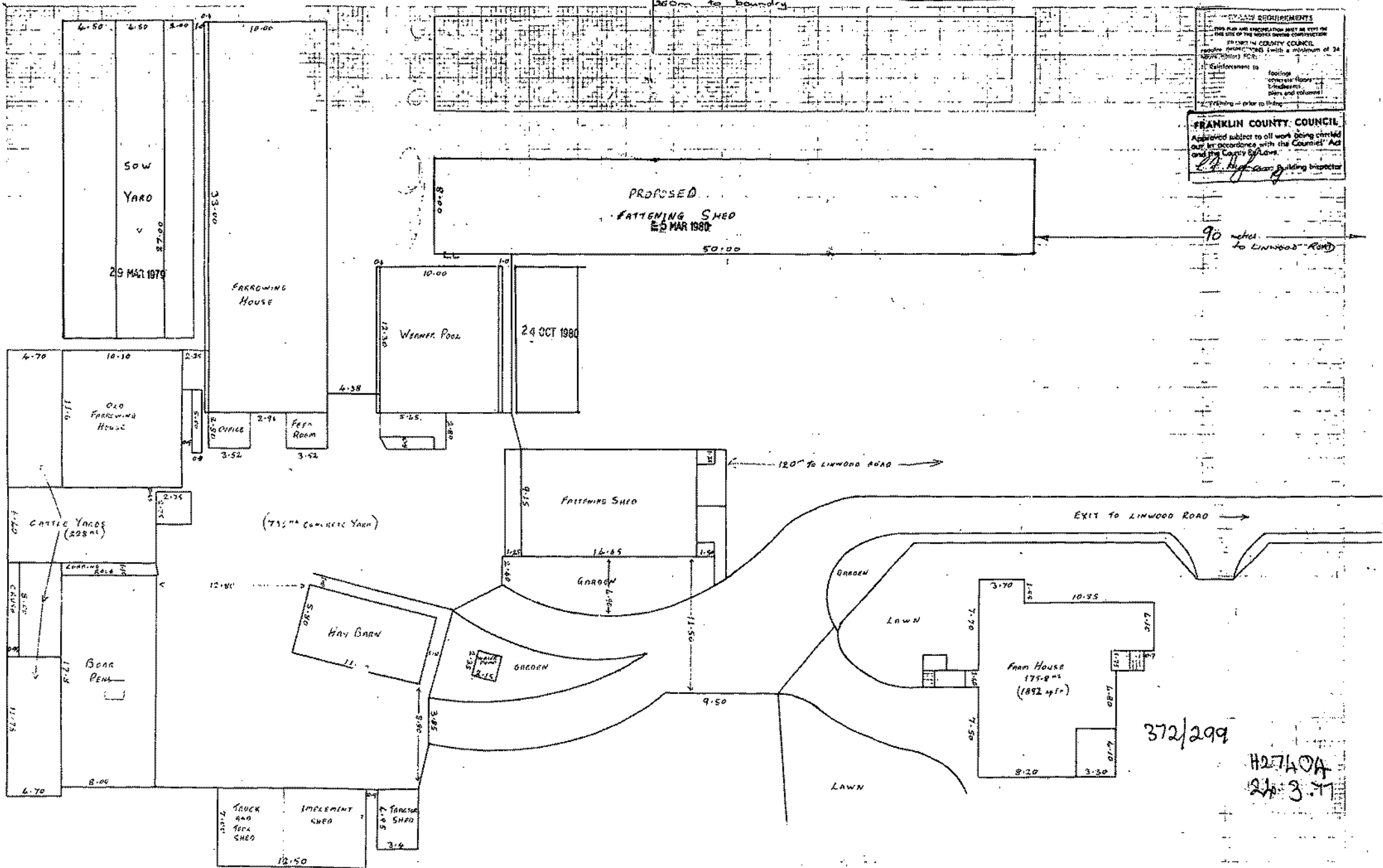


250 Sows

1" = 4 METRES.

OFFICE COPY

200m to boundary



STAIN REQUIREMENTS

THIS PLAN AND SPECIFICATIONS MUST BE KEPT IN VIEW ON THE SITE OF THE WORK DURING CONSTRUCTION

FRANKLIN COUNTY COUNCIL
 APPROVES SPECIFICATIONS (with a maximum of 24 months) FOR:

- Construction to
- Footings
- Concrete floors
- Bricks and
- Plaster and columns

* Training prior to fixing

FRANKLIN COUNTY COUNCIL
 Approved subject to all work being carried out in accordance with the Council's Act and the Local Government Act 1973

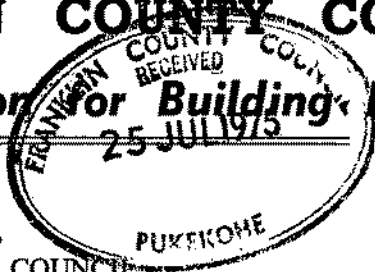
[Signature]
 Building Inspector

372/299

H2740A
24.3.77

FRANKLIN COUNTY COUNCIL

Application for Building Permit



For Office Use

Application No. _____
 Permit No. G 117409
 Date of Permit 18.8.75

The COUNTY CLERK,
 FRANKLIN COUNTY COUNCIL,

Date _____ 19__

Sir,

I hereby apply for permission to

Add to Farm Buildings
 (Nature of work)

at Linwood Rd.
 (Full address)

for J.H. Kellies
 (Owner)

according to locality plan and detailed plans, elevations, cross-sections and specifications of building deposited herewith, in duplicate.

Particulars of Land:

No. on Valuation Roll 372/299. Lot No. 5 & 6
 Section No. _____ D.P. No. 25890 sub 17174
 Allotment No. See survey 10

Length of Boundaries:

Front _____ Back _____
 Sides _____ Area 49.

Particulars of Building:

Foundations _____ Walls _____
 Roof _____ Floor _____
 Area of ground floor _____ sq. ft. Area of outbuildings 112 m² sq. ft.

Estimated Value:

Building	\$ <u>2000</u>	Fees	<u>10.00</u>
Plumbing	\$ _____	Building Levy	\$ _____
Drainage	\$ _____	Water Connection	\$ _____
TOTAL	\$ _____	Footpath Deposit	\$ _____
		TOTAL	\$ _____

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) _____

Wearer shed

Nature of ground on which building is to be placed and of the adjacent strata _____

Yours faithfully,

Per J. Kellies Owner

Linwood Road, Kawara R.D. 11.
 (Owner's address)

Owner Builder KA TELI 743
 (Builder's address)

For Schedule of Fees See Back

FOR OFFICE USE ONLY	Receipt No.	Date	Receipt No.	Date
Building	<u>07366</u>	<u>15/8/75</u>	Water Connection	
Plumbing & Drainage		<u>8/8/75</u>	Footpath Deposit	
Approved by <u>[Signature]</u>		<u>8/8/75</u>	H. and Building Inspector.	
Approved by <u>[Signature]</u>		<u>11/8/75</u>	T. Planning.	

Rec'd by. says that doesn't have to go to Council meeting.

SCHEDULE OF FEES

Fees payable on the issue of any Building Permit according to the estimated value of the building work:—

ESTIMATED VALUE OF BUILDING WORK			FEE		
From \$	To \$	\$	From \$	To \$	\$
0	200	1	12.001	14,000	44
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801	1,000	5	20.001	25,000	64
1.001	1,200	6	25.001	30,000	72
1.201	1,400	7	30.001	35,000	80
1.401	1,600	8	35.001	40,000	88
1.601	1,800	9	40.001	50,000	98
1.801	2,000	10	50.001	60,000	108
2.001	2,500	12	60.001	70,000	118
2.501	3,000	14	70.001	80,000	128
3.001	3,500	16	80.001	90,000	138
3.501	4,000	18	90.001	100,000	148
4.001	5,000	21	100.001	120,000	158
5.001	6,000	24	120.001	140,000	168
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10.001	12,000	40	240.001	280,000	220

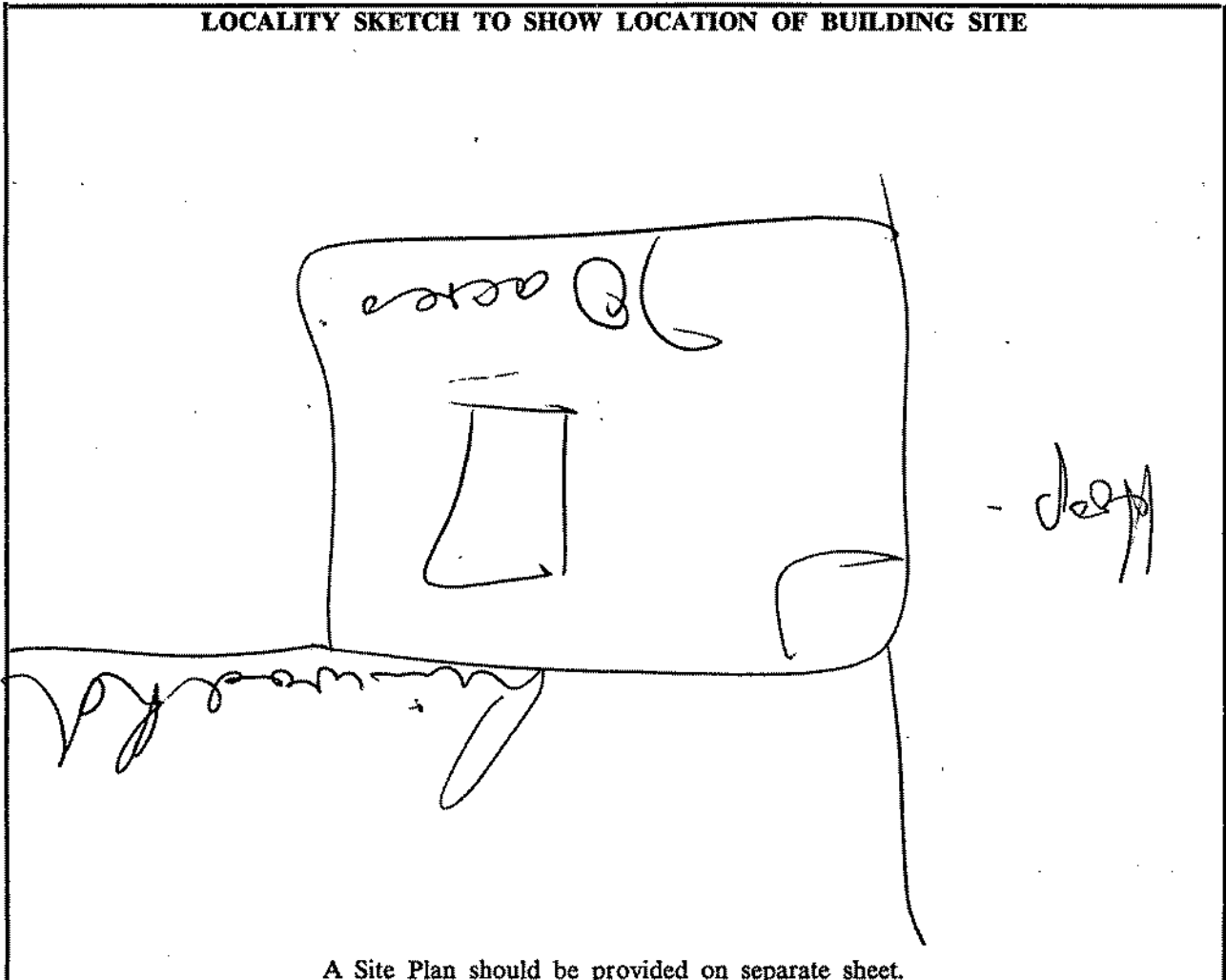
For every \$40,000 or part thereof in excess of \$280,000 an additional fee of \$10.00.

In any dispute the Engineer shall have the absolute determination of the value of such work.

Fees payable for Special Duties:—

Nature of Duty	Fees
For inspection required in the case of proposed structural alterations before plans are submitted for approval	\$4.00
For inspecting old timber before re-using the same in a new building	\$4.00
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid	\$2.00
For searching drawings and other documents after completion of work	\$1.00
For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building	\$2.00

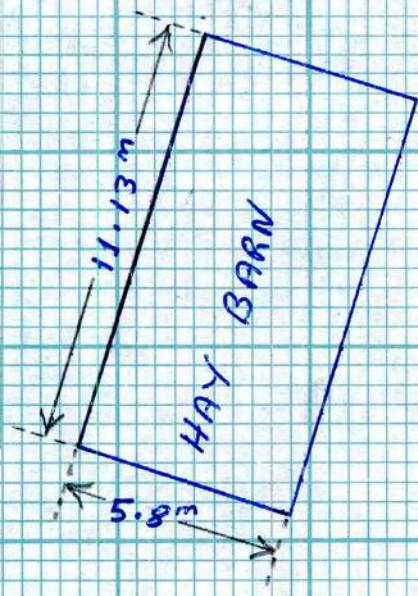
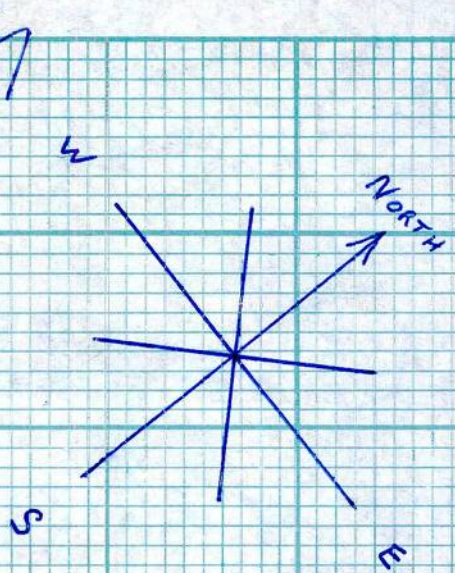
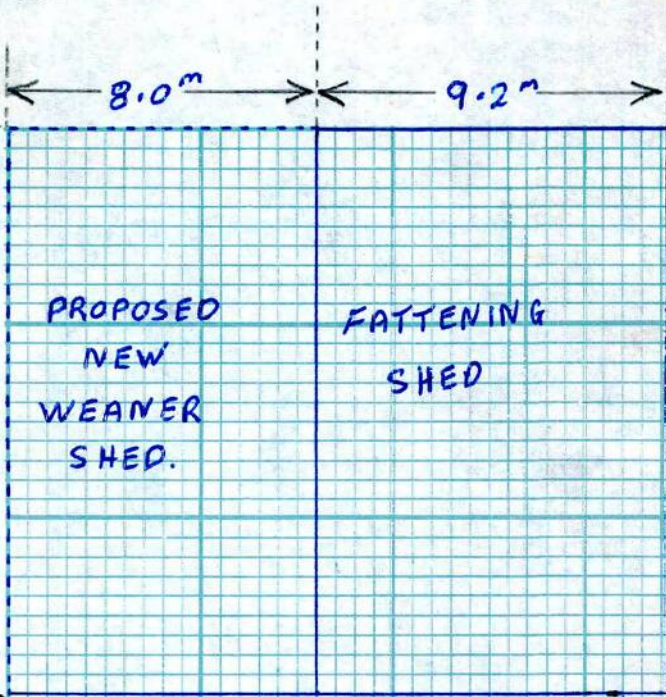
LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE



A Site Plan should be provided on separate sheet.

The existing fattening shed is 120 metres from the centre of Linwood Road, KARAKA.

1" = 5 METRES



3.5m



TO KINGSEAT HOSPITAL

McROBBIES RD. →

LIMWOOD RD.

DRIVEWAY

STOREHOUSE
HOUSE
GARAGE & SHOP



PROPOSED SITE FOR
MANAGERS HOUSE.



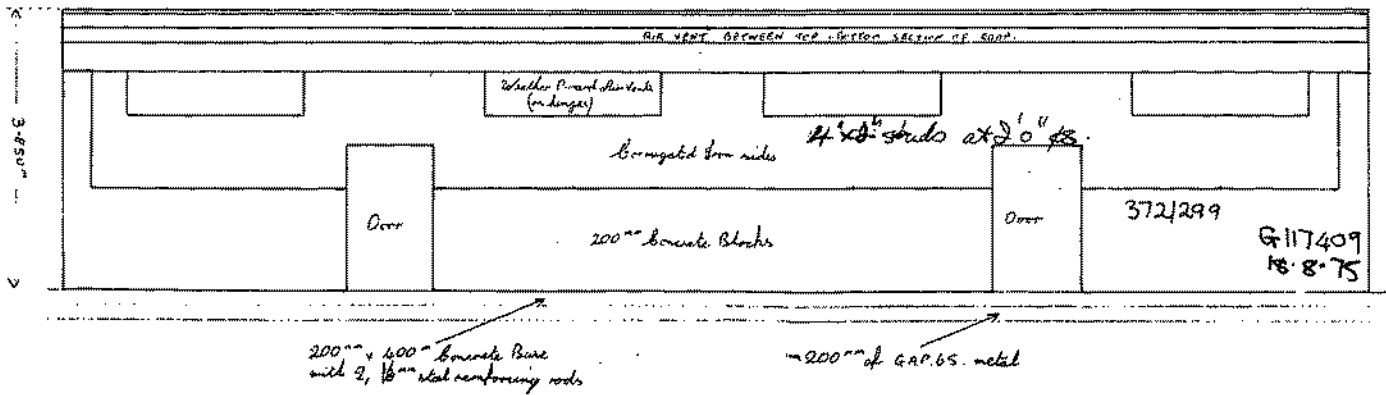
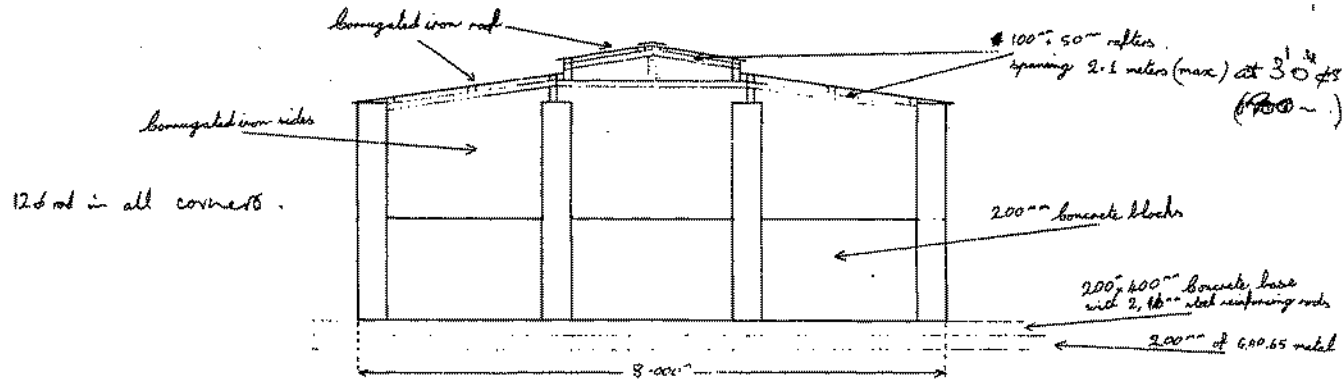
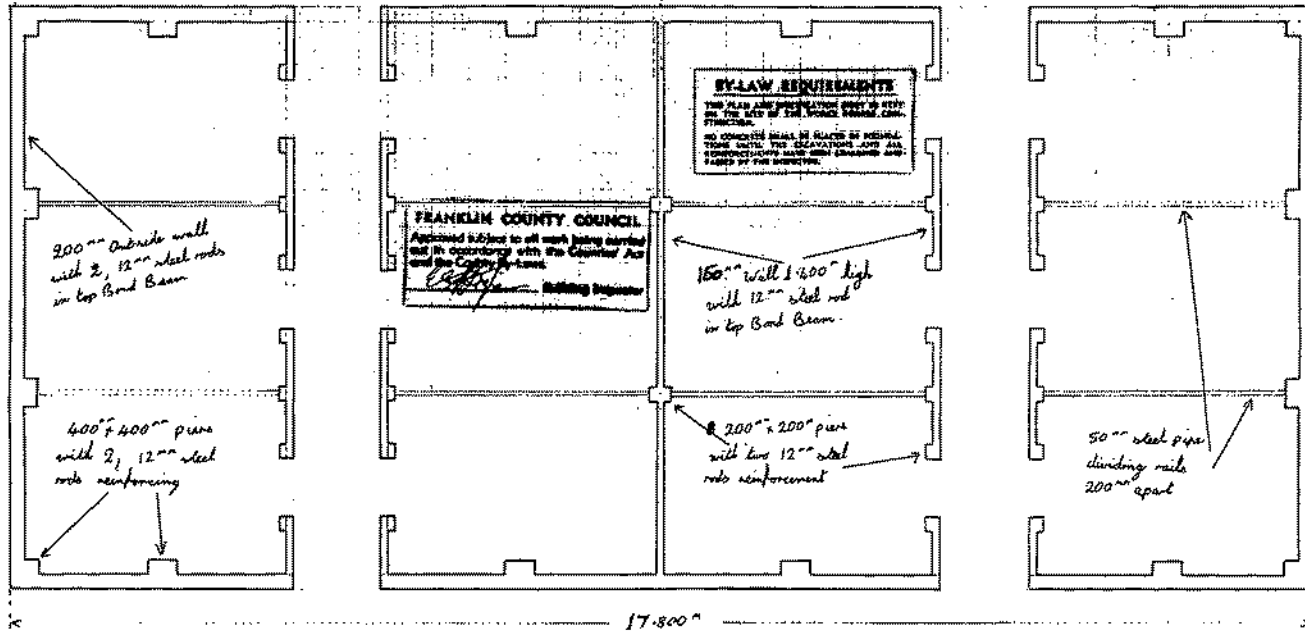
FARMHOUSE

KINGSEAT RD.

HOUSE
HOUSE
HOUSE.

This application is for
either a new house or
a very good
removable one.
J. L. Givins

SCALE 1" = 1 METER.

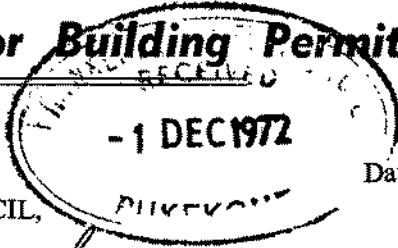


FRANKLIN COUNTY COUNCIL

For Office Use

Application for Building Permit

Application No. _____
 Permit No. E73589
 Date of Permit 8.2.73



The COUNTY CLERK,
 FRANKLIN COUNTY COUNCIL,

Date _____ 19__

Sir,

I hereby apply for permission to convert road to bowshed
 at Sumwood Rd. for J. H. Gillies
(Full address) (Nature of work) (Owner)

according to locality plan and detailed plans, elevations, cross-sections and specifications of building deposited herewith, in duplicate.

Particulars of Land:

No. on Valuation Roll 372/299 Lot No. 5.6
 Section No. _____ D.P. No. 25890 PR 17174
 Allotment No. BK V Survey S.D.

Length of Boundaries:

Front _____ Back _____
 Sides _____ Area 70 acres.

Particulars of Building:

Foundations _____ Walls _____
 Roof _____ Floor _____
 Area of ground floor _____ sq. ft. Area of outbuildings 1254 sq. ft.

Estimated Value:

Building	\$ <u>2000 -</u>	Fees	\$ <u>10.00</u>
Plumbing	\$ _____		
Drainage	\$ _____		
TOTAL	\$ _____	Building Levy	\$ _____
		Water Connection	\$ _____
		Footpath Deposit	\$ _____
		TOTAL	\$ _____

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) _____

Nature of ground on which building is to be placed and of the adjacent strata _____

Piggery
100' from dwelling
80' or

Yours faithfully,

Per R. D. Papakura Owner 743 KA.
(Owner's address)
Owner Builder
(Builder's address)

For Schedule of Fees See Back

FOR OFFICE USE ONLY	Receipt No.	Date		Receipt No.	Date
Building	<u>94074</u>	<u>8/2/73</u>	Water Connection		
Plumbing & Drainage			Footpath Deposit		
Approved by <u>[Signature]</u>			H. and Building Inspector.		
Approved by <u>18/12/72</u>			T. Planning.		

SCHEDULE OF FEES

Fees payable on the issue of any Building Permit according to the estimated value of the building work:—

ESTIMATED VALUE OF BUILDING WORK			FEE		
From \$	To \$	\$	From \$	To \$	\$
0	200	1	12.001	14,000	44
201	400	2	14.001	16,000	48
401	600	3	16.001	18,000	52
601	800	4	18.001	20,000	56
801	1,000	5	20.001	25,000	64
1.001	1,200	6	25.001	30,000	72
1.201	1,400	7	30.001	35,000	80
1.401	1,600	8	35.001	40,000	88
1.601	1,800	9	40.001	50,000	98
1.801	2,000	10	50.001	60,000	108
2.001	2,500	12	60.001	70,000	118
2.501	3,000	14	70.001	80,000	128
3.001	3,500	16	80.001	90,000	138
3.501	4,000	18	90.001	100,000	148
4.001	5,000	21	100.001	120,000	158
5.001	6,000	24	120.001	140,000	168
6.001	7,000	27	140.001	160,000	178
7.001	8,000	30	160.001	180,000	188
8.001	9,000	33	180.001	200,000	198
9.001	10,000	35	200.001	240,000	210
10.001	12,000	40	240.001	280,000	220

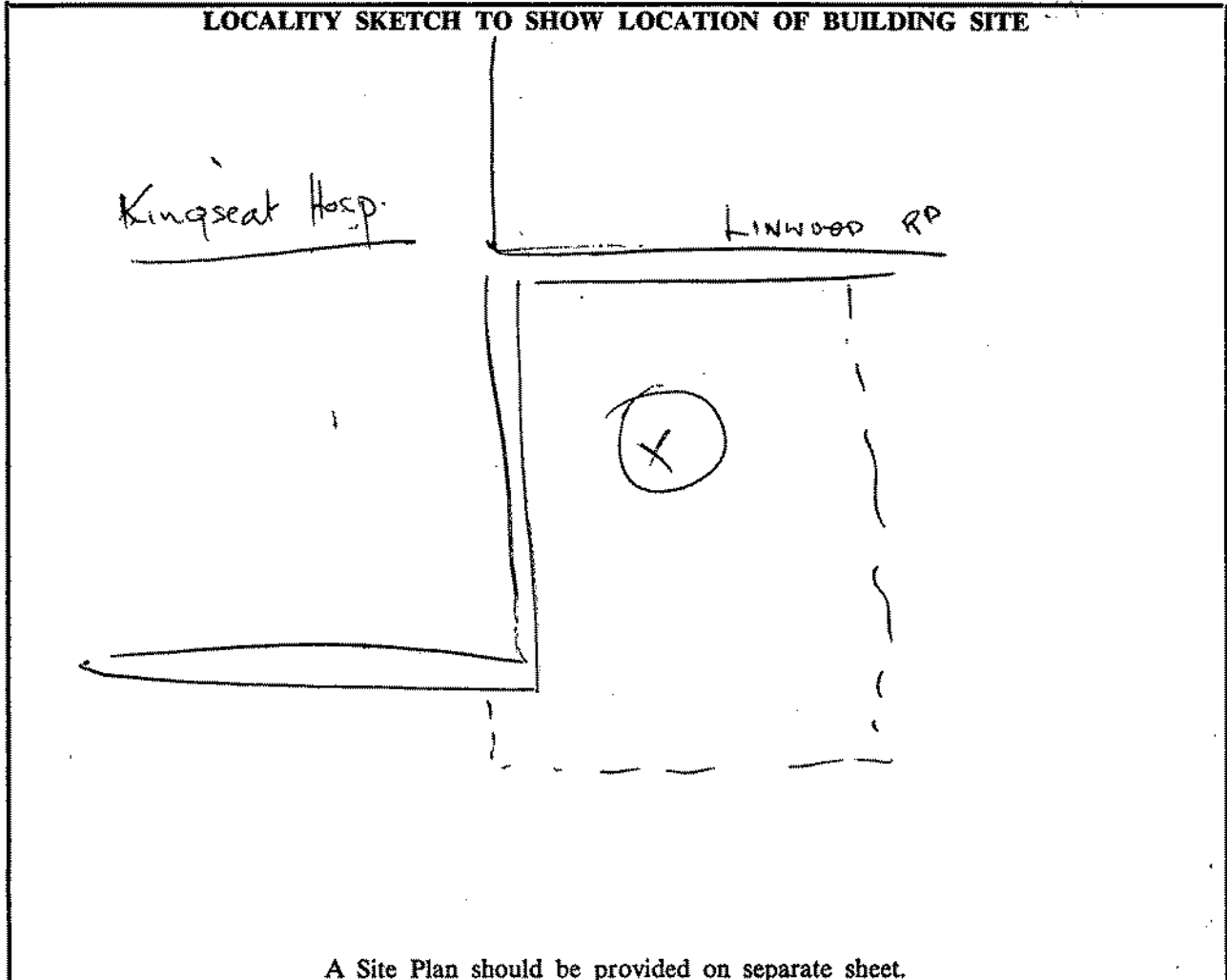
For every \$40,000 or part thereof in excess of \$280,000 an additional fee of \$10.00.

In any dispute the Engineer shall have the absolute determination of the value of such work.

Fees payable for Special Duties:—

Nature of Duty	Fees
For inspection required in the case of proposed structural alterations before plans are submitted for approval	\$4.00
For inspecting old timber before re-using the same in a new building	\$4.00
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid	\$2.00
For searching drawings and other documents after completion of work	\$1.00
For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building	\$2.00

LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE



A Site Plan should be provided on separate sheet.

FRANKLIN COUNTY COUNCIL

FOR OFFICE USE

Permit No. 13076872
Date of Permit 28/7/66
Application No. 281

Application for Building Permit

28 JUL 1966

The COUNTY CLERK,
FRANKLIN COUNTY COUNCIL,
Sir,

64/165

Date: 196

I hereby apply for permission to Erect Haybarn
at R.D. 1 Karaka (Hindia Rd.) for (E. J. Todd)
Papakura ^(Full Address) M.H. Kuyler Todd Farms Ltd. ^(Owner)
according to locality plan and detailed plans, elevations, cross-sections and specifications of building deposited herewith, in duplicate.

Particulars of Land:

No. on Valuation Roll 372/299 Lot Nos 5, 6
Section No. D.P. No. 25890 + Pt D.P. 17174
Allotment No. 67 Waina Park Blk V Drury Rd

Length of Boundaries:

Front Back

Sides

AREA 69-3-18.5

Particulars of Building:

Foundations Walls
Roof Floors
Area of ground floor sq. ft. Area of outbuildings 720 sq. ft.

Estimated Cost:

Building ———— £ 400
Plumbing ———— £
Drainage ———— £
TOTAL ———— £ 400
£2
Od Jar

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose)

Gallagher Hay barn master plan

Proposed use or occupancy of other parts of building

Nature of ground on which building is to be placed and of the adjacent strata.

Yours faithfully,

E. J. Todd Owner.
Builder.

(Builder's Address)

For Schedule of Fees, See Back

- SCHEDULE OF FEES -

In respect of all buildings the permit fee shall be as follows:-

		<u>ESTIMATED VALUE OF BUILDING WORK:</u>						<u>FEE:</u>		
								£.	s.	d.
Not exceeding £10	...	...	...	...	...	...		5.	0.	
Over	£10 and not exceeding	£100	...	...	...	...		10.	0.	
"	£100	"	£200	...	...	...	1.	0.	0.	
"	£200	"	£300	...	...	...	1.	10.	0.	
"	£300	"	£400	...	...	...	2.	0.	0.	
"	£400	"	£500	...	...	...	2.	10.	0.	
"	£500	"	£700	...	...	...	3.	10.	0.	
"	£700	"	£1000	...	...	...	4.	0.	0.	
"	£1000	"	£2000	...	...	...	5.	0.	0.	
"	£2000	"	£3000	...	...	...	7.	10.	0.	
"	£3000	"	£3500	...	...	...	10.	0.	0.	
"	£3500	"	£4000	...	...	...	12.	10.	0.	
"	£4000	"	£4500	...	...	...	15.	0.	0.	
"	£4500	"	£5000	...	...	...	17.	10.	0.	
"	£5000	"	£6000	...	...	...	20.	0.	0.	
"	£6000	"	£7000	...	...	...	22.	0.	0.	
"	£7000	"	£8000	...	...	...	24.	0.	0.	
"	£8000	"	£9000	...	...	...	26.	0.	0.	
"	£9000	"	£10000	...	...	...	28.	0.	0.	
"	£10000	"	£12500	...	...	...	32.	0.	0.	
"	£12500	"	£15000	...	...	...	36.	0.	0.	
"	£15000	"	£17500	...	...	...	40.	0.	0.	
"	£17500	"	£20000	...	...	...	44.	0.	0.	
"	£20000	"	£25000	...	...	...	49.	0.	0.	
"	£25000	"	£30000	...	...	...	54.	0.	0.	
"	£30000	"	£35000	...	...	...	59.	0.	0.	
"	£35000	"	£40000	...	...	...	64.	0.	0.	
"	£40000	"	£45000	...	...	...	69.	0.	0.	
"	£45000	"	£50000	...	...	...	74.	0.	0.	
"	£50000	"	£60000	...	...	...	79.	0.	0.	
"	£60000	"	£70000	...	...	...	84.	0.	0.	
"	£70000	"	£80000	...	...	...	89.	0.	0.	
"	£80000	"	£90000	...	...	...	94.	0.	0.	
"	£90000	"	£100000	...	...	...	99.	0.	0.	
Exceeding £100,000	...	...	...	...	...	...	100.	0.	0.	

IN ANY DISPUTE, the Engineer shall have the absolute determination of the value of such work.

FEES PAYABLE FOR SPECIAL DUTIES:

<u>Nature of Duties:</u>	<u>FEES:</u>		
	£.	s.	d.
For inspection required in the case of proposed structural alterations before plans are submitted for approval ...	10.		0.
For inspecting every detached stove, furnace, oven close fire or forge erected subsequently to the building ...	5.		0.
For inspecting old timber before re-using the same in a new building. ...	15.		0.
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid ...	2.		6.

FRANKLIN COUNTY COUNCIL

Application for Building Permit

64/165

FOR OFFICE USE

Permit No. 5076938

Date of Permit 1.9.66

Application No. 346

The COUNTY CLERK,
FRANKLIN COUNTY COUNCIL,
Sir,

Date 31. / 8. / 1966

I hereby apply for permission to erect dwelling
at Kings at Karaka (Full Address) for L. J. Todd (Owner)

according to locality plan and detailed plans, elevations, cross-sections and specifications of building deposited herewith, in duplicate.

Particulars of Land:

No. on Valuation Roll 372/299 Lot No. 5-6 of P. 25890 & P. D. P. 17174
 Section No. D.P. No. of Plot 67 Wairua Pah
Blk. V Drury. S.D.
 Allotment No.

Length of Boundaries:

Front Back
 Sides
 AREA 62-3-18.5

Particulars of Building:

Foundations concrete Walls brick veneer
 Roof g. & g. Floors g. & g.
 Area of ground floor sq. ft. Area of outbuildings sq. ft.

Estimated Cost:

	Building	---	£	7238	£ 24-0-0
	Plumbing	---	£	466	4-0-0
	Drainage	---	£	56	1-0-0
	TOTAL	---	£	<u>7.688.</u>	<u>£ 29-0-0</u>

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose)

Dwelling

1 SEP 1966

Proposed use or occupancy of other parts of building

Siting satisfactory

Nature of ground on which building is to be placed and of the adjacent strata

Yours faithfully,

Owner.
H. Reeve Bond
 Builder.
R.D. Peckkohe
(Builder's Address)

For Schedule of Fees, See Back

- SCHEDULE OF FEES -

In respect of all buildings the permit fee shall be as follows:-

		<u>ESTIMATED VALUE OF BUILDING WORK:</u>						<u>FEE:</u>		
								£.	s.	d.
Not exceeding	£10	...	...	...	...	...	...	5.	0.	
Over	£10 and not exceeding	£100	...	...	...	...	...	10.	0.	
"	£100	"	£200	...	...	...	...	1.	0.	0.
"	£200	"	£300	...	...	...	...	1.	10.	0.
"	£300	"	£400	...	...	...	...	2.	0.	0.
"	£400	"	£500	...	...	...	...	2.	10.	0.
"	£500	"	£700	...	...	...	...	3.	10.	0.
"	£700	"	£1000	...	...	...	...	4.	0.	0.
"	£1000	"	£2000	...	...	...	...	5.	0.	0.
"	£2000	"	£3000	...	...	...	...	7.	10.	0.
"	£3000	"	£3500	...	...	...	...	10.	0.	0.
"	£3500	"	£4000	...	...	...	...	12.	10.	0.
"	£4000	"	£4500	...	...	...	...	15.	0.	0.
"	£4500	"	£5000	...	...	...	...	17.	10.	0.
"	£5000	"	£6000	...	...	...	...	20.	0.	0.
"	£6000	"	£7000	...	...	...	...	22.	0.	0.
"	£7000	"	£8000	...	...	...	...	24.	0.	0.
"	£8000	"	£9000	...	...	...	...	26.	0.	0.
"	£9000	"	£10000	...	...	...	...	28.	0.	0.
"	£10000	"	£12500	...	...	...	...	32.	0.	0.
"	£12500	"	£15000	...	...	...	...	36.	0.	0.
"	£15000	"	£17500	...	...	...	...	40.	0.	0.
"	£17500	"	£20000	...	...	...	...	44.	0.	0.
"	£20000	"	£25000	...	...	...	...	49.	0.	0.
"	£25000	"	£30000	...	...	...	...	54.	0.	0.
"	£30000	"	£35000	...	...	...	...	59.	0.	0.
"	£35000	"	£40000	...	...	...	...	64.	0.	0.
"	£40000	"	£45000	...	...	...	...	69.	0.	0.
"	£45000	"	£50000	...	...	...	...	74.	0.	0.
"	£50000	"	£60000	...	...	...	...	79.	0.	0.
"	£60000	"	£70000	...	...	...	...	84.	0.	0.
"	£70000	"	£80000	...	...	...	...	89.	0.	0.
"	£80000	"	£90000	...	...	...	...	94.	0.	0.
"	£90000	"	£100000	...	...	...	...	99.	0.	0.
Exceeding	£100,000	...	...	...	...	...	...	100.	0.	0.

IN ANY DISPUTE, the Engineer shall have the absolute determination of the value of such work.

FEES PAYABLE FOR SPECIAL DUTIES:

<u>Nature of Duties:</u>		<u>FEES:</u>		
		£.	s.	d.
For inspection required in the case of proposed structural alterations before plans are submitted for approval	...	10.		0.
For inspecting every detached stove, furnace, oven close fire or forge erected subsequently to the building	....		5.	0.
For inspecting old timber before re-using the same in a new building.	...		15.	0.
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid	...		2.	6.



DECISION BY DELEGATED AUTHORITY ON AN APPLICATION
FOR A RESOURCE CONSENT

(NON-NOTIFIED)

Applicant: Linwood Acres Limited
Proposal (brief): To undertake a Common Boundary Relocation between two Rural Lots
Type of Consent: Subdivision
Type of Activity: Discretionary (RA), Operative Franklin District Plan (February 2000)
Controlled, Plan Change 14 to the Operative Franklin District Plan (July 2006)
Date Received: 11 March 2009
Location: 1023 and 1043 Linwood Road, Karaka
Legal Description: Lot 1 DP 413639 and Lot 2 DP 109340 (CT 451209) and Lot 3 DP 413639 (CT 451210)
Zone: Rural, Operative Franklin District Plan (February 2000)
Rural, Central Rural Management Area, Plan Change 14: Rural Plan Change (July 2006)
Valuation Ref: 03720/300.19 and 03720/299.02
File: S09019

Decision:

That, pursuant to sections 104 and 104C of the Resource Management Act 1991 Council grants consent to application number S09019 being a subdivision of Lot 1 DP 413639 and Lot 2 DP 109340 (CT 451209) and Lot 3 DP 413639 (CT 451210 located at 1023 and 1043 Linwood Road, Kingseat for the following reasons:

- i. The proposal is consistent with the Common Boundary Relocation rule of the operative Franklin District Plan and Boundary Adjustment and Relocation rule under Plan Change 14.
- ii. The proposal will not have any adverse effects upon properties adjoining the subject lots.
- iii. The proposal will not impact upon the productive capacity of the lots as there is no loss of productive soils or new titles or dwelling rights being created.
- iv. Based on the above reasons, it is considered that the adverse effects of the proposal will be no more than minor and that the proposal is consistent with the objectives and policies of the operative Franklin District Plan and Plan Change 14 to the Operative Franklin District Plan: Rural Plan Change.

This consent is subject to the following conditions:

1. Survey Plan Approval Conditions

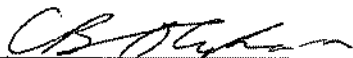
Prior to the signing of the Survey Plan pursuant to Section 223 of the Resource Management Act 1991 the applicant shall complete the following the approval of the Group Manager: Environmental Services:

a. In Accordance with Application Plan

That the proposed subdivision shall be carried out in general accordance with the plans submitted by The Surveying Company Limited titled *Proposed Subdivision of Lot 1 and 3 DP413639 and Lot 2 DP 109340* dated March 2009.

Advisory Notes:

1. Please note that all archaeological sites are protected under the Historic Places Act whether or not they have been recorded or registered. If evidence of any historic site is found on the property, the Act requires that the Historic Places Trust be advised of the situation.
2. Pursuant to section 357 of the Resource Management Act 1991, the applicant may, within 15 working days of receiving this decision, object in writing to Council in respect of the decision. Having assessed such an objection, Council may dismiss the objection or uphold it wholly or in part.



C. Oliphant, Acting Regulatory Planning Co-ordinator: Subdivisions

DATED this 24th day of March 2009

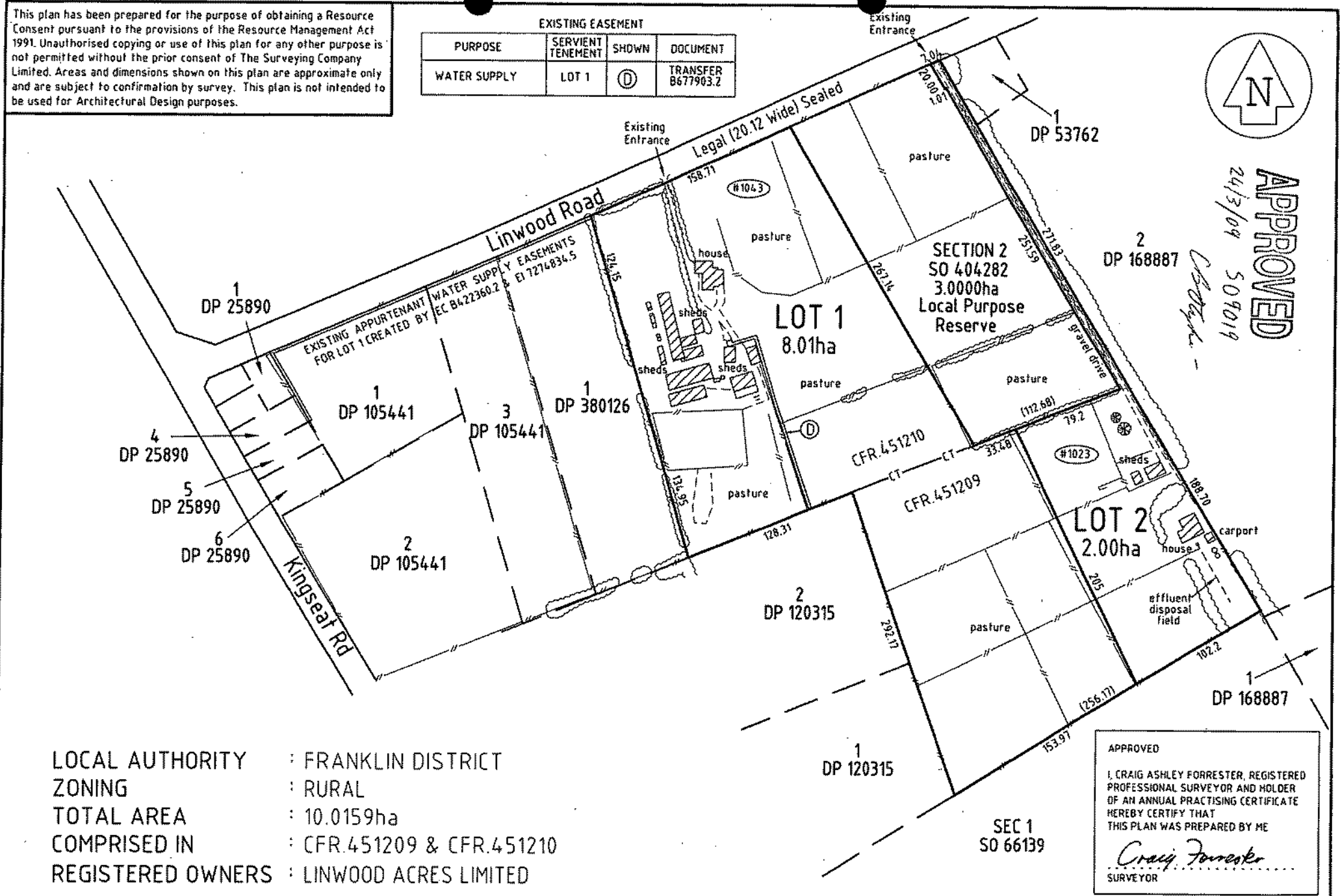
ACTING UNDER DELEGATED AUTHORITY

This plan has been prepared for the purpose of obtaining a Resource Consent pursuant to the provisions of the Resource Management Act 1991. Unauthorised copying or use of this plan for any other purpose is not permitted without the prior consent of The Surveying Company Limited. Areas and dimensions shown on this plan are approximate only and are subject to confirmation by survey. This plan is not intended to be used for Architectural Design purposes.

EXISTING EASEMENT			
PURPOSE	SERVIENT TENEMENT	SHOWN	DOCUMENT
WATER SUPPLY	LOT 1	(D)	TRANSFER B677903.2



APPROVED
 24/3/09 507019
Craig Forrester



LOCAL AUTHORITY : FRANKLIN DISTRICT
 ZONING : RURAL
 TOTAL AREA : 10.0159ha
 COMPRISED IN : CFR.451209 & CFR.451210
 REGISTERED OWNERS : LINWOOD ACRES LIMITED

APPROVED
 I, CRAIG ASHLEY FORRESTER, REGISTERED PROFESSIONAL SURVEYOR AND HOLDER OF AN ANNUAL PRACTISING CERTIFICATE HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME
Craig Forrester
 SURVEYOR

DECISION BY DELEGATED AUTHORITY ON AN APPLICATION
FOR A RESOURCE CONSENT

(NON-NOTIFIED)

Applicant: Linwood Acres Limited
Proposal (brief): To undertake a Common Boundary Relocation subdivision between two rural zoned lots.
Type of Consent: Subdivision
Type of Activity: Discretionary (RA), Operative Franklin District Plan (February 2000)
Controlled, Plan Change 14 to the Operative Franklin District Plan (Decision Version – July 2006)
9 June 2008
Date Received:
Location: 1043 Linwood Road, Kingseat
Legal Description: Lot 2 DP 380126 (CT NA 321088) and Lot 2 DP 109340 (CT NA 61C/444)
Zone: Rural Zone, Operative Franklin District Plan (February 2000)
Rural Zone (Central Rural Management Area), Plan Change 14: the Rural Plan Change
Valuation References: 03720/300.10 and 03720/299.02
File: S08072

Decision:

That, pursuant to Sections 104 and 104C of the Resource Management Act 1991, Council grants consent to Application Number S08072 being a subdivision of Lot 2 DP 380126 (CT NA 321088), such land being located at 1043 Linwood Road, Kingseat, for the following reasons:

- i. The proposed Common Boundary Relocation will effectively amalgamate a small strip of land (Lot 1), being a Right of Way easement with the southern adjoining lot (Lot 2 DP 109340). No additional titles are created and the subdivision will tidy up an impractical situation associated with the gazetting of a Local Purpose Reserve. As such the proposal complies with the requirements of Rule 22.14 of the Franklin District Plan and Rule 22.15 of Plan Change 14.
- ii. The accessibility and versatility of the soils of the subject properties will not be affected by the change in common boundary that will effectively amalgamate the land of the existing Right of Way easement with Lot 2 DP 109340. The remaining balance lot (Lot 3) will continue to be suitable for a range of rural activities. Council is therefore satisfied that the adverse effects on the environment will be no more than minor.

- iii. The subdivision is consistent with the relevant Objectives and Policies of the Operative District Plan and Plan Change 14 to the Operative Plan.
- iv. For the combined reasons as outlined above, it is considered that any effects resulting from the subdivision will be no more than minor.

Commencement of Consent

That pursuant to section 116(1A) of the Resource Management Act 1991, this Subdivision Consent (Council Reference S08072) will take effect when:

- Acquisition of land for Local Purpose Reserve

The current land acquisition process to create Section 2 SO 404282 as a Local Purpose Reserve has been completed by Council.

This consent is subject to the following conditions:

1. Survey Plan Approval Conditions

Prior to the signing of the Survey Plan pursuant to Section 223 of the Resource Management Act 1991, provide/show the following to the approval of the Group Manager: Environmental Services:

- a. In Accordance with Application Plan

That the proposed boundary relocation shall be carried out in general accordance with the plan submitted by the Surveying Company, titled '*Boundary Adjustment Subdivision for Linwood Acres Limited, 1043 Linwoon Road, Kingseat, Reference 272093, dated June 2008.*

- b. Amalgamation Condition

That Lot 1 hereon be transferred to the owner of Lot 2 DP 109340 (CFR NA 61C/444) and that one Certificate of Title be issued to include both parcels.

(LINZ Reference: TBA)

- c. Lapsing of Consent:

That pursuant to section 125 of the Resource Management Act 1991, the Section 223 Certificate shall be signed within two years of this consent to ensure the timely completion of this Subdivision Consent.

Revocation of Existing Easements

Pursuant to Section 243(f)(ii) of the Resource Management Act 1991, Council resolves to revoke in whole Right of Way Easement 'A' on DP 109340 created by Easement Certificate B527458.5.

Pursuant to Section 243(f)(ii) of the Resource Management Act 1991, Council resolves to revoke the right to convey electricity 'A' on DP 109340 created by Easement Certificate B597638.3.

Advisory Notes:

1. Please note that any archaeological sites on the property are protected under the Historic Places Act whether or not they have been recorded or registered. If evidence of any historic site is found on the property, the Act requires that the Historic Places Trust be advised of the situation.
2. Pursuant to Section 357 of the Resource Management Act 1991, the applicant/s may, within 15 working days of receiving this decision, object in writing to Council in respect of the decision. A deposit is payable towards the administrative costs of considering the objection.

Having assessed such an objection, Council may dismiss the objection or uphold it wholly or in part. In some circumstances the deposit for the objection may be refunded.



J. Neary, Regulatory Planning Co-ordinator: Subdivisions

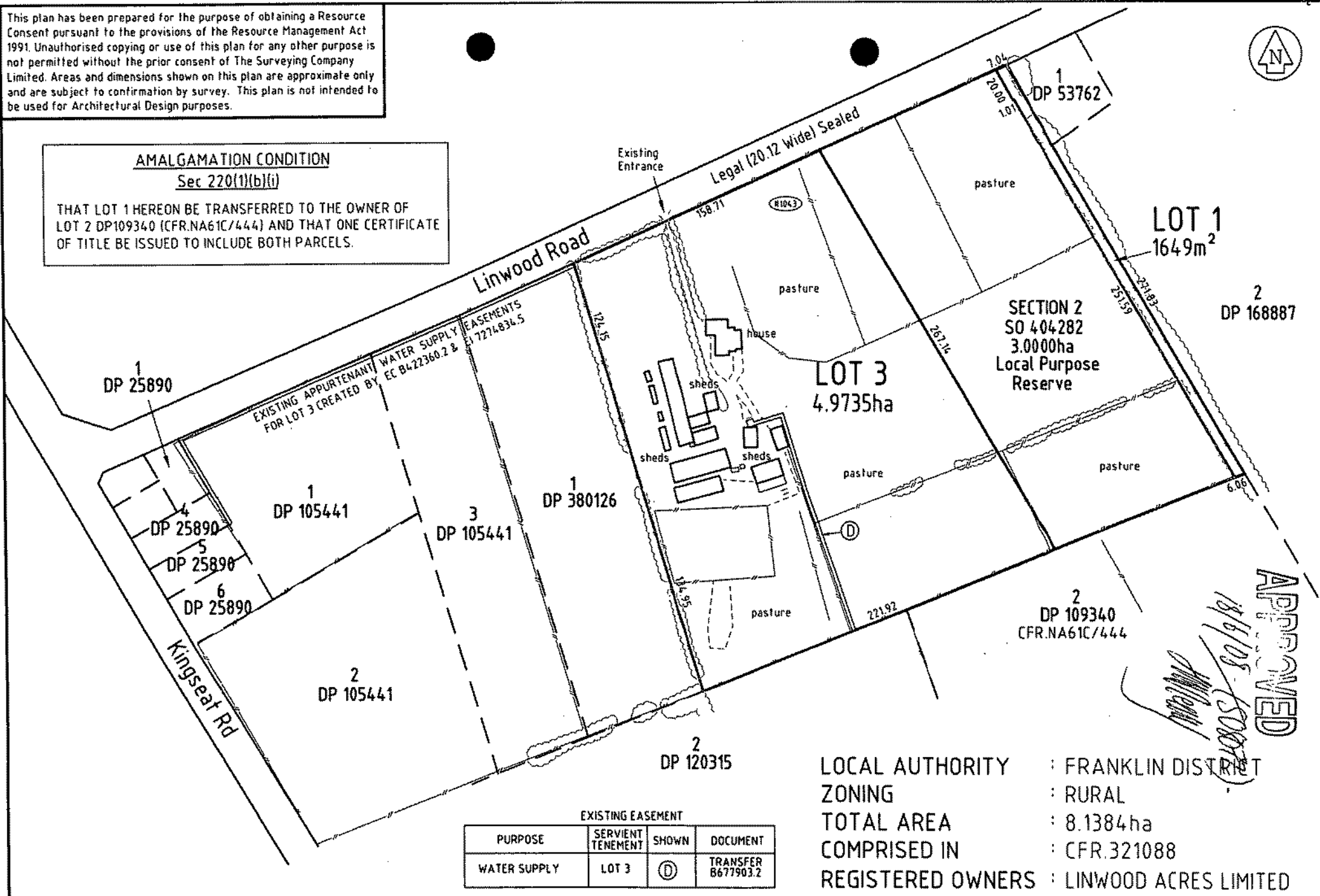
DATED this 18TH day of June 2008

ACTING UNDER DELEGATED AUTHORITY

This plan has been prepared for the purpose of obtaining a Resource Consent pursuant to the provisions of the Resource Management Act 1991. Unauthorised copying or use of this plan for any other purpose is not permitted without the prior consent of The Surveying Company Limited. Areas and dimensions shown on this plan are approximate only and are subject to confirmation by survey. This plan is not intended to be used for Architectural Design purposes.



AMALGAMATION CONDITION
Sec 220(1)(b)(i)
 THAT LOT 1 HEREON BE TRANSFERRED TO THE OWNER OF LOT 2 DP109340 (CFR.NA61C/444) AND THAT ONE CERTIFICATE OF TITLE BE ISSUED TO INCLUDE BOTH PARCELS.



APPROVED
 18/6/08 (SIGNED)
[Signature]

LOCAL AUTHORITY : FRANKLIN DISTRICT
 ZONING : RURAL
 TOTAL AREA : 8.1384ha
 COMPRISED IN : CFR.321088
 REGISTERED OWNERS : LINWOOD ACRES LIMITED

EXISTING EASEMENT

PURPOSE	SERVIENT TENEMENT	SHOWN	DOCUMENT
WATER SUPPLY	LOT 3	Ⓞ	TRANSFER B677903.2

THE SURVEYING COMPANY
 YOUR SUBDIVISION PROFESSIONALS
 APPRAISAL HOUSE, 138 HALL STREET, PUKENIKE, NEW ZEALAND.
 PH: 09 238 9991, FAX: 09 238 3828.
 e-mail: enquiries@subdivision.co.nz
 0800 10 SURVEY (0800 68 78 78)

Client: **LINWOOD ACRES LIMITED**
 Project: **PROPOSED SUBDIVISION OF PART LOT 2 DP 380126 AND SECTION 1 SO 404282**

SUBDIVISION CONSENT PLAN

DRAWN	M.F.	CHECKED	DRAWING: SUBCON1
SCALE: @A3	1:1500	DATE: JUNE 2008	FILE REF: 272093



DECISION BY DELEGATED AUTHORITY ON AN APPLICATION
FOR A RESOURCE CONSENT

(NON-NOTIFIED)

Applicant: P G Hallam
Proposal (brief): To undertake a Common Boundary Relocation/ Boundary Relocation or Adjustment between Two adjoining Rural Lots

Type of Consent: Subdivision
Type of Activity: Discretionary (Restricted Assessment), Operative District Plan (February 2000) Discretionary, Proposed Plan Change 14 – Decision Version (11 July 2006) (PC 14)

Date Received: 23 August 2006
Location: 1043 Linwood Road, Karaka
Legal Description: Lot 2 DP 102662 (CT NA 56C/860) and Lot 3 DP 105441 (CT NA 58A/859)

Zone: Rural, Operative District Plan (February 2000) Rural, Central Rural Management Area (PC 14)

Valuation Reference: 03720/300.03

File: S06243

Decision:

That, pursuant to Sections 104 and 104B of the Resource Management Act 1991, Council grants consent to Application Number S06243 being a subdivision of Lot 2 DP 102662 (CT NA 56C/860), such land being located at 1043 Linwood Road, Karaka, for the following reasons:

- i. The proposed Common Boundary Relocation/ Boundary Relocation or Adjustment will effectively transfer an area of 1.9350 hectares from a 10.00 hectare title to a 1.4446 hectare title. As such the proposal complies with the intent of Rule 22.14 of the Operative Plan and Rule 22.15 of Plan Change 14.
- ii. Overall it is considered that the effects of the proposal on the environment will be no more than minor.
- iii. The subdivision is consistent with the relevant Objectives and Policies for the Rural zone of both the Operative District Plan and Proposed Plan Change 14 to the Operative Plan (Decision Version - 11 July 2006).

This consent is subject to the following condition:

1. Survey Plan Approval Condition

Prior to the signing of the Survey Plan pursuant to Section 223 of the Resource Management Act 1991, provide/show the following to the approval of the Director: Regulatory Services:

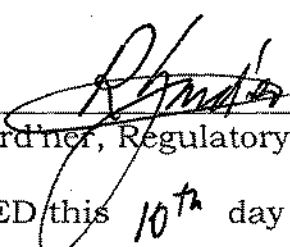
a. Amalgamation Condition

That Lot 1 hereon be transferred to the owner of Lot 3 DP 105441 (CT NA 58A/859) and that one Certificate of Title be issued to include both parcels. (LINZ Reference TBA).

Advisory Notes:

1. Please note that any archaeological sites on the property are protected under the Historic Places Act whether or not they have been recorded or registered. If evidence of any historic site is found on the property, the Act requires that the Historic Places Trust be advised of the situation.
2. Pursuant to Section 357 of the Resource Management Act 1991, the applicant/s may, within 15 working days of receiving this decision, object in writing to Council in respect of the decision. A deposit is payable towards the administrative costs of considering the objection.

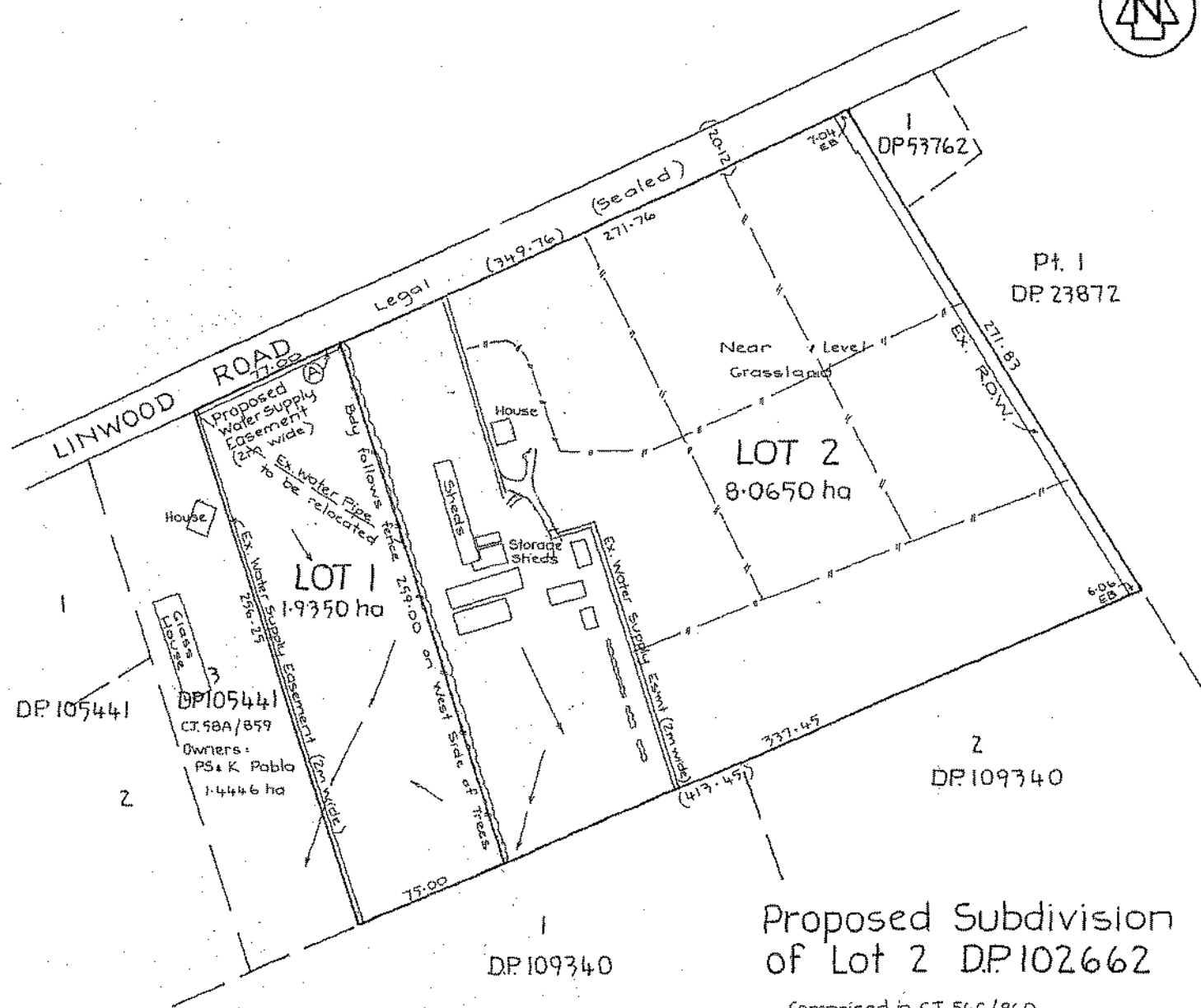
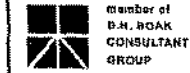
Having assessed such an objection, Council may dismiss the objection or uphold it wholly or in part. In some circumstances the deposit for the objection may be refunded.



R Gardner, Regulatory Planning Co-ordinator: Land Use

DATED this 10th day of October 2006

ACTING UNDER DELEGATED AUTHORITY



APPROVED
[Signature]
 11/10/06 (506243)

Proposed Easement			
Purpose	Shown	Servient Tenement	Dominant Tenement
Water Supply	(A)	Lot 1	Lot 2

Total Area: 10.0000 ha

Proposed Subdivision of Lot 2 DP 102662

Comprised in CT 56C/860
Survey Blk & Dist: V Drury
Land District: North Auckland
Local Body: Franklin District
Site Address: 1013 Linwood Road
Pukekohe

Amalgamation Condition
That Lot 1 hereon be transferred to the owner of Lot 3 DP 105441 (CT 58A/859) and that one certificate of title be issued to include both parcels

NB: AREAS & DISTANCES ARE APPROX. ONLY & SUBJECT TO FINAL SURVEY

REVISION DETAILS		DATE
PREPARED FOR		
P. G. HALLAM		
DRAWING TITLE		
Scheme Plan		
SCALE	1:1500	DATE
FILE NO.		AUGUST 2006
		SHEET NO.

PR 4840.790



30 June 2009



Linwood Acres Limited
PO Box 72811
Papakura 2244

21 Pitt Street, Auckland Central
Private Bag 92 012
Auckland 1142, New Zealand
DX CP 28 008 Pitt St
Telephone +64 9 366 2000
Facsimile +64 9 366 2155
www.arc.govt.nz

Attention: Martyn Brown

Dear Sir

RESOURCE CONSENT - DECISION ON APPLICATION

COPY FOR YOUR
INFORMATION

File Ref: 20944

Application Details:

Application Numbers	36735, 36828, 36829
Applicant	Linwood Acres Limited
Activity Types	Take
Location	1043 Linwood Road, Papakura, Franklin District

The Auckland Regional Council has assessed and resolved to **grant** the above Resource Consent applications. A report detailing the decision is enclosed. Included with the report are the Resource Consent permits, which contain the conditions that must be met when undertaking the activities.

For information about your right to object or appeal this decision, please refer to the 'Objections and Appeals' information sheet enclosed. Also enclosed is a booklet entitled 'Now That You Have Your Resource Consent', which provides important information relating to the on-going exercise of your Resource Consents. Please take time to read this material.

The above Resource Consents will commence on 30 June 2009, in accordance with Section 116 of the Resource Management Act (1991).

If you have any queries regarding the decision on the consent applications, please contact Nick Hazard on 366 2000 ext. 8602, and quote the application numbers.

Yours faithfully

Whitney Dunbar
Consents and Compliance Administration
Customer Service and Support

cc: Franklin District Council

Earthtech Consulting Limited
PO Box 721
Pukekohe 1800

Attention: Philip Kelsey

wp

Objection and Appeal Information Sheet

RIGHT OF OBJECTION (Applicant only)

Unless a Resource Consent application has been declined by a meeting of the Environmental Management Committee of the Auckland Regional Council, the Applicant has the right to object to the Council in respect of the decision on an application if:

- a) the application was not notified; or
- b) the application was notified, but any submissions received have subsequently been withdrawn.

The reasons for the objection under Section 357 of the Resource Management Act 1991 must be set out in writing and received by the Manager, Consent Services, Auckland Regional Council within 15 working days of you receiving this letter.

The Council will consider the objection, and if a resolution cannot be reached, a hearing on the objection will be held. If a hearing is necessary you (the Applicant) will be contacted regarding the arrangements for this. If you are dissatisfied with the decision on your objection, you can appeal to the Environment Court under Section 358 of the Resource Management Act 1991, as outlined below.

RIGHT OF APPEAL

The Applicant and/or Submitters may appeal the Council decision under Sections 120 and 358 of the Resource Management Act 1991, as outlined below.

LODGING AN APPEAL

If you decide to lodge an appeal with the Environment Court under sections 120 or 358 of the Resource Management Act you must do so:

- within 15 working days of receiving the Auckland Regional Council's decision ; or
- within 15 working days of receiving the Council's decision on a Section 357 objection (Applicant only).

All appeals should be lodged with the Registrar of the Environment Court, Tribunals Division, P O Box 7147, Wellesley Street, Auckland, together with a filing fee of \$55.00. The format of your appeal must follow that prescribed by Regulations 2003 (Form 34)¹ of the Resource Management Act (Forms) Regulations 1991. A copy of the format can be obtained by calling (09) 366 2000 or 0800 80 60 40 if calling from outside the Auckland area.

¹ Regulation 10 (Form 7) if the application was accepted before the 1 August 2003

AUCKLAND REGIONAL COUNCIL

Report for Discretionary Activity Application

Sections 93, 94, 94A - 94D and 104, 104B and 104D Assessment and Determination in accordance with the Resource Management Act 1991.

SUBJECT: Application Number 36735, Linwood Acres Limited to take 480m³ per day and up to 32,200 m³ per year of groundwater from the Te Hiji Waitemata sandstone aquifer, from PB1 (located at 5889654mE 1760476mN), one of three proposed production bores (see Application Numbers 36828 and 36829), to irrigate 66.2 hectares of market garden crops, Linwood Avenue, Karaka.

Application Number 36828, Linwood Acres Limited to take up to 480m³ per day and up to 32,200m³ per year of groundwater from the Te Hiji Waitemata sandstone aquifer from PB2, the second of three proposed bores, located at 1760125mE 5890304mN, for market garden irrigation as above.

Application Number 36829, Linwood Acres Limited to take up to 480m³ per day and up to 32,200m³ per year of groundwater from the Te Hiji Waitemata sandstone aquifer from PB3, the third of three proposed bores, located at 1759828mE 5890815mN for market garden irrigation as above.

The maximum combined daily take sought from the three bores is 1440m³/day and the combined maximum annual take sought for the three bores is 96,600 m³.

FROM: Nick Hazard, Senior Consents and Compliance Officer

TO: Greg Murphy, Manager - Water Allocation

DATE: 20 February 2009

Appendix D

Contaminated Land Enquiry

31 March 2020

Soil & Rock Consultants

Level 1, 131 Lincoln Road

Auckland 0612

Attention: Monique McLeary

Dear Monique

Site Contamination Enquiry – 1043 Linwood Road, Papakura

This letter is in response to your enquiry requesting available site contamination information for the above site. The following details are based on information available from the former Auckland Regional Council records system and information currently held by the Auckland Council Natural Resources and Specialist Input Unit. The details provided below exclude any property information held by the former district/city councils.

No pollution incident files regarding spills/contamination were found for the above site. The general catchment file and site visit file for the catchment (721 and 722 SV respectively) were not searched. These files contain pollution incidents where the source of pollution was not traced to a particular site, site visits where no follow-up correspondence was required and some information from archived files.

If the above site is coastal or beside a river, it is possible that historic, unconsented reclamation may have occurred. The Auckland Council Specialists Unit Coastal Team may be able to provide further information.

The records reviewed as part of this Site Contamination Enquiry search do not identify individual horticultural sites in the region. However, there is a possibility that horticultural activities may have occurred at the site. The local Auckland Council customer service centre, specific to the area of the site may be able to provide relevant information where former horticultural sites have been mapped.

If you are concerned that a historic land use (such as filling) may have caused the underlying soils to become contaminated, it is recommended that you obtain an independent environmental assessment of the site. Staff from the Auckland Council Earthworks and Contaminated Land Team can provide advice on the results of any evaluation in terms of site remediation and/or potential consent requirements.

The former Auckland Regional Council and current databases were searched for records of closed landfills, bores, air discharge, industrial and trade process consents, contaminated site discharge consents, and environmental assessments within a 200m radius. Relevant details of the pollution incidents and identified consents are appended to this letter as an excel spreadsheet. **Please refer to the column labelled ‘Property Address’ and Incident/Consent/Bores ID (where applicable) on the attached spreadsheet to aid in identifying corresponding data on the map.**

The details provided are in accordance with the obligation to make information publicly available upon request. While the Auckland Council has carried out the search using its best practical endeavours, it does not warrant its completeness or accuracy and disclaims any responsibility or liability in respect of the information. If you or any other person wishes to act or to rely on this information, or make any financial commitment based upon it, it is recommended that you seek appropriate technical and/or professional advice.

In addition, further site specific pollution incidents may be held at the area office below. It is recommended that you contact the local customer service centre of the Auckland Council, specific to the site being investigated: 25 Coles Crescent, Papakura as they also may hold files with further relevant information.

I trust that this answers your query. If you wish to discuss the matter further, please contact **Andrew Kalbarczyk** on 301 0101. Should you wish to request any of the files listed above for viewing, please contact the Auckland Council Call Centre on 301 0101 and note you are requesting former Auckland Regional Council records (the records department requires three working days' notice to ensure files will be available).

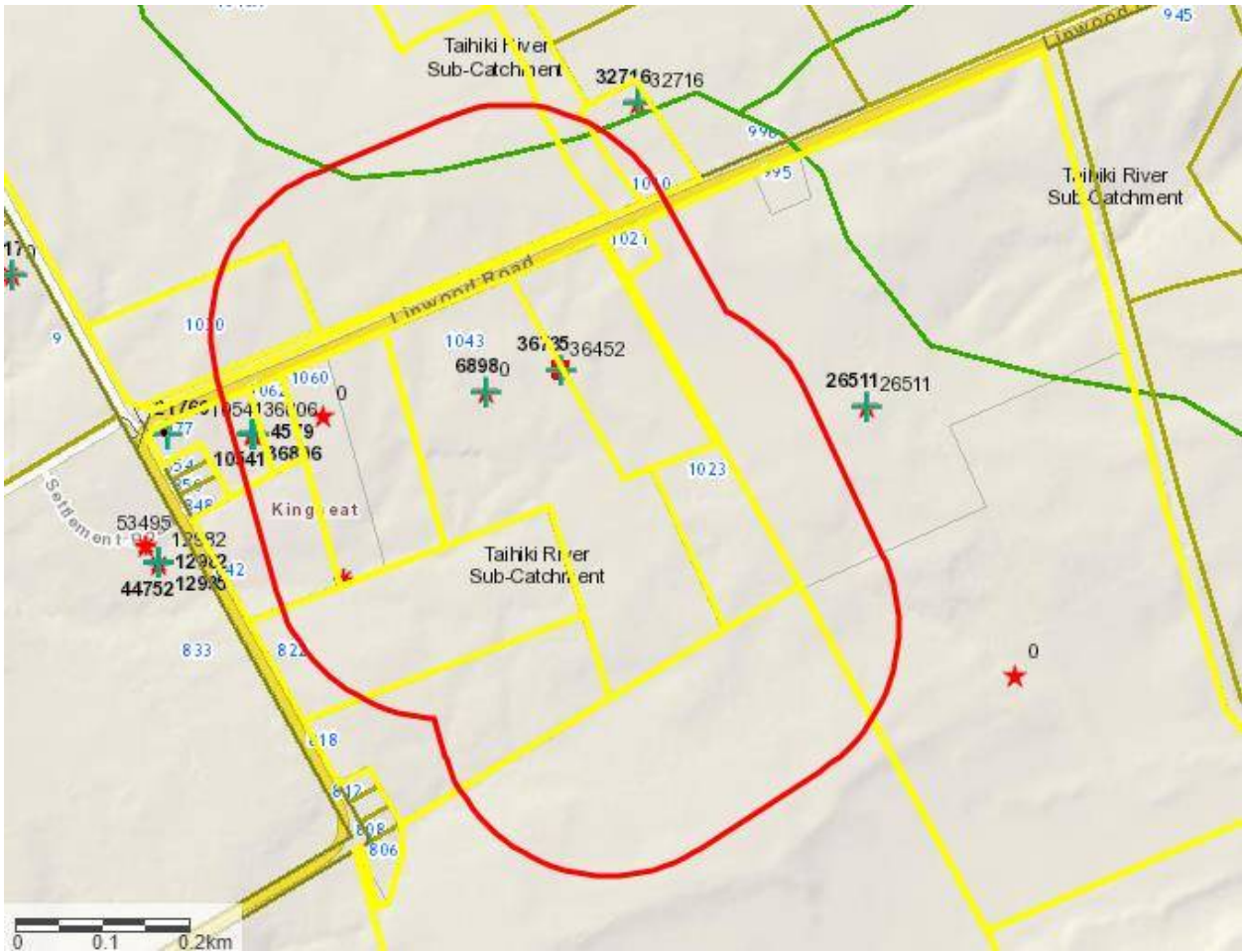
Please note: the Auckland Council cost recovers officer's time for all site enquiries. A basic enquiry takes approximately 1 - 2.5 hours to search the files and databases in which information is held. As such please find an invoice for time spent attached.

(If payment is to be sent from an overseas institution please account for the transaction fee charged by your bank in order to avoid a short payment.)

Yours sincerely,

RT
Jared Osman
**Team Leader – Contaminated Air, Noise
Specialist Unit | Resource Consents**

Please refer to the column labelled 'Property Address' and Incident/Consent/Bores ID (where applicable) on the attached spreadsheet to aid in identifying corresponding data on the map.



BORES

CONSENT_NUMBER	FILE_REFERENCE	CONSENT_HOLDER	CONSENT_STATUS	GRANTED_DATE	BORE_ID	EXPIRY_DATE	PROCESSING_OFFICER	PURPOSE	WORKS_DESCRIPTION	EASTING	NORTHING	ACTIVITY_STATUS	LAND_USE_NOTE	BORE_USE	ACTIVITY_DESCRIPTION	SITE_NAME	SITE_DESCRIPTION	MAIN_AQUIFER	AQUIFER	SUB_AQUIFER1	SUB_AQUIFER2	ENVIRONMENTAL_PORTING_AREA	TIA	DATE_LED	TOTAL_DEPTH	GROUND_ELEVATION	STATIC_WATER_LEVEL	STATIC_WATER_DEPTH	BORE_ID	AQUIFER_TEST	DIAMETER_FROM	DIAMETER_TO	DIAMETER	CASING_BOM	CASING_DEPTH	CASING_TYPE	CASING_DIAMETER	DATE_EATED	PROPERTY_ADDRESS	LOC_TYP	
0					3354					1760200	5889600	Drilled			Drilled pre-1987 for BUCHANAN DW by NAIHIN E & SON LTD.		Waitemata	Franklin	Te Hiri	Kingseat				26-07	43				Y								26-07		Point		
0					3356					1760388	5889627	Drilled	collar elevation taken from consent application 36735, location still in question but approximately right (+-50m)	Domestic/Stock		Grey Bore	1043 Linwood Rd, Kingseat	Waitemata	Franklin	Te Hiri	Kingseat	Waitemata	South Auckland	Franklin	26-07	255.5	29.64	22.3	26-07	Y	0	256	100	0	93.3		100	26-07		Point	
10541	14/17/303	J SAMUELS	Expired	19890530	369	26-07	Andrew Millar	Authorize the construction of a bore for the extraction of groundwater for a piggery.	Construction of a 100mm dia. bore to approx. 240m depth and installation of steel casing to approx. 91m.	1760120	5889580	Drilled			Construction of a 100mm dia. bore to approx. 240m depth and installation of steel casing to approx. 91m.	Samuels	Linwood Road, Karaka,	Waitemata	Franklin	Te Hiri	Kingseat	Waitemata	South Auckland	Franklin	26-07	255.5				Y	Y	0	255.5	100	0	93.3	Steel	100	26-07		Point
36806	C512-12-4393	Castle Trust (Barbel Elvred Clearkin)	Expired	20090320	2336	26-07	Reginald Samuel	To authorise the construction of one bore for domestic supply.	The construction of a 100mm diameter bore to an approximate depth of 200-250m. Installation of steel socketed and screwed casing material to an approximate depth of 91m. Proposed grouting to full length.	1760117	5889580	Drilled		Domestic	To authorise the construction of one bore for domestic supply.	Castle Trust		Waitemata	Franklin	Te Hiri	Kingseat	Waitemata	Franklin	26-07	251	26.5	27.5	26-07	Y	0	251	104	0	91.5			26-07	1062 Linwood Rd R D 1 Papakura Franklin	Point		

CONSENTS

CONSENT_NUMBER	FILE_REFERENCE	CONSENT_HOLDER	CONSENT_STATUS	GRANTED_DATE	REVIEW_DATE	EXPIRY_DATE	ACTIVITY	PROCESSING_OFFICER	PURPOSE	WORKS_DESCRIPTION	EASTING	NORTHING	ACTIVITY_ID	ACTIVITY_STATUS	ACTIVITY_DESCRIPTION	SITE_NAME	SITE_DESCRIPTION	DATE_CREATED	PROPERTY_ADDRESS	LOC_TYP	MONITORING_OFFICER	PREVIOUS_INSPECTION_DATE	NEXT_INSPECTION_DATE
4579	AG844221	Rupegma Kovati & Esata Kovati	Cancelled	19850510		26-07	Take		To take from a Bore up to 35 cmpd for - Industrial Use		1760120	5889580	2815		To take from a Bore up to 35 cmpd for - Industrial Use			2/06/2017	LINWOOD RD KARAKA Franklin District	Point		Nil	Nil
6898	AG896748	MR GW GREY	Expired	19910523		26-07	Take		TO TAKE GROUNDWATER TO SUPPLY A PIGGERY-----	A 100MM DIAMETER BORE LOCATED APPROXIMATELY 110 METRES SOUTH OF LINWOOD ROAD, KINGSEAT----	1760388	5889627	2820	NoLongerOccuring				2/06/2017	1043 Linwood Road Papakura Franklin	Point		Nil	Nil
10541	14/17/303	J SAMUELS	Expired	19890530		26-07	Bore	Andrew Millar	Authorize the construction of a bore for the extraction of groundwater for a piggery.	Construction of a 100mm dia. bore to approx. 240m depth and installation of steel casing to approx. 91m.	1760120	5889580	369	Drilled	Construction of a 100mm dia. bore to approx. 240m depth and installation of steel casing to approx. 91m.	Samuels	Linwood Road, Karaka,	2/06/2017		Point		Nil	Nil
36806	C512-12-4393	Castle Trust (Barbel Elvred Clearkin)	Expired	20090320		26-07	Bore	Reginald Samuel	To authorise the construction of one bore for domestic supply.	The construction of a 100mm diameter bore to an approximate depth of 200-250m. Installation of steel socketed and screwed casing material to an approximate depth of 91m. Proposed grouting to full length.	1760117	5889580	2336	Drilled	To authorise the construction of one bore for domestic supply.	Castle Trust		2/06/2017	1062 Linwood Rd R D 1 Papakura Franklin	Point		Nil	Nil
36735	20944	Karaka Centre Limited	Issued	20090626	26-07	26-07	Take	Nick Hazard	To take 480m3 per day and up to 32,200 m3 per year of groundwater from the Te Hiri Waitemata sandstone aquifer, from PB1 (located at 5889644mE 1760476mN), one of three proposed production bores, to irrigate 66.2 hectares of market garden crops, Linwood	A proposed Waitemata sandstone bore	1760476	5889654	20800	Proposed	To take up to 480 cubic metres per day and 32,200 cubic metres per year of groundwater for irrigation of 59.4ha of market garden crops.	Linwood Acres - Bore 1		2/06/2017	1043 Linwood Road Papakura Franklin	Point	Kerry Flynn	#####	1/08/2012

Appendix E

Photo Documentation (supplied by client)



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



Photo 7



Photo 8



Photo 9



Photo 10



Photo 11



Photo 12



Photo 13



Photo 14



Photo 15



Photo 16



Photo 17



Photo 18



Photo 19



Photo 20



Photo 21



Photo 22



Photo 23



Photo 24



Photo 25



Photo 26



Photo 27



Photo 28



Photo 29



Photo 30



Photo 31



Photo 32



Photo 33



Photo 34



Photo 35



Photo 36



Photo 37



Photo 38



Photo 39



Photo 40



Photo 41



Photo 42



Photo 43



Photo 44



Photo 45



Photo 46



Photo 47



Photo 48



Photo 49



Photo 50



Photo 51



Photo 52



Photo 53



Photo 54



Photo 55



Photo 56



Photo 57



Photo 58



Photo 59



Photo 60



Photo 61



Photo 62



Photo 63



Photo 64



Photo 65



Photo 66



Photo 67



Photo 68



Photo 69



Photo 70



Photo 71



Photo 72



Photo 73



Photo 74



Photo 75



Photo 76



Photo 77



Photo 78



Photo 79



Photo 80



Photo 81



Photo 82



Photo 83



Photo 84



Photo 85



Photo 86



Photo 87



Photo 88



Photo 89



Photo 90



Photo 91



Photo 92



Photo 93



Photo 94



Photo 95



Photo 96



Photo 97



Photo 98



Photo 99



Photo 100



Photo 101



Photo 102



Photo 103



Photo 104



Photo 105



Photo 106



Photo 107



Photo 108



Photo 109



Photo 110



Photo 111



Photo 112



Photo 113



Photo 114



Photo 115



Photo 116



Photo 117



Photo 118



Photo 119



Photo 120



Photo 121



Photo 122



Photo 123



Photo 124



Photo 125



Photo 126



Photo 127



Photo 128



Photo 129



Photo 130



Photo 131

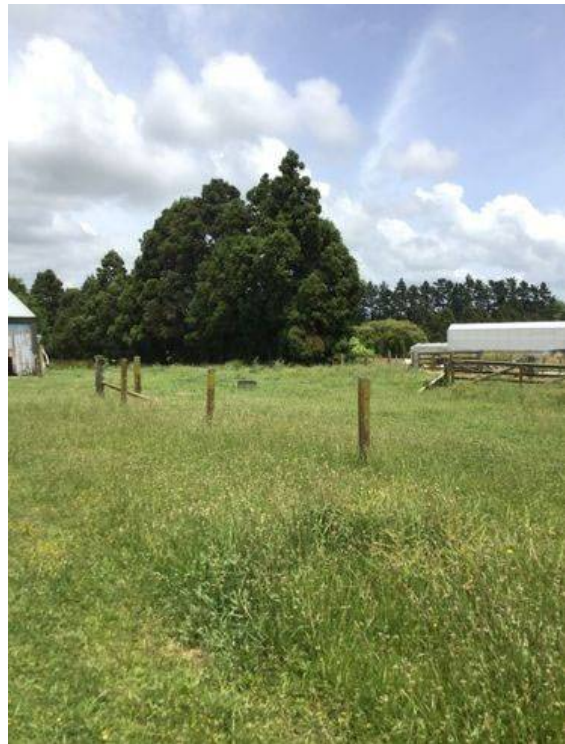


Photo 132



Photo 133



Photo 134

Appendix F

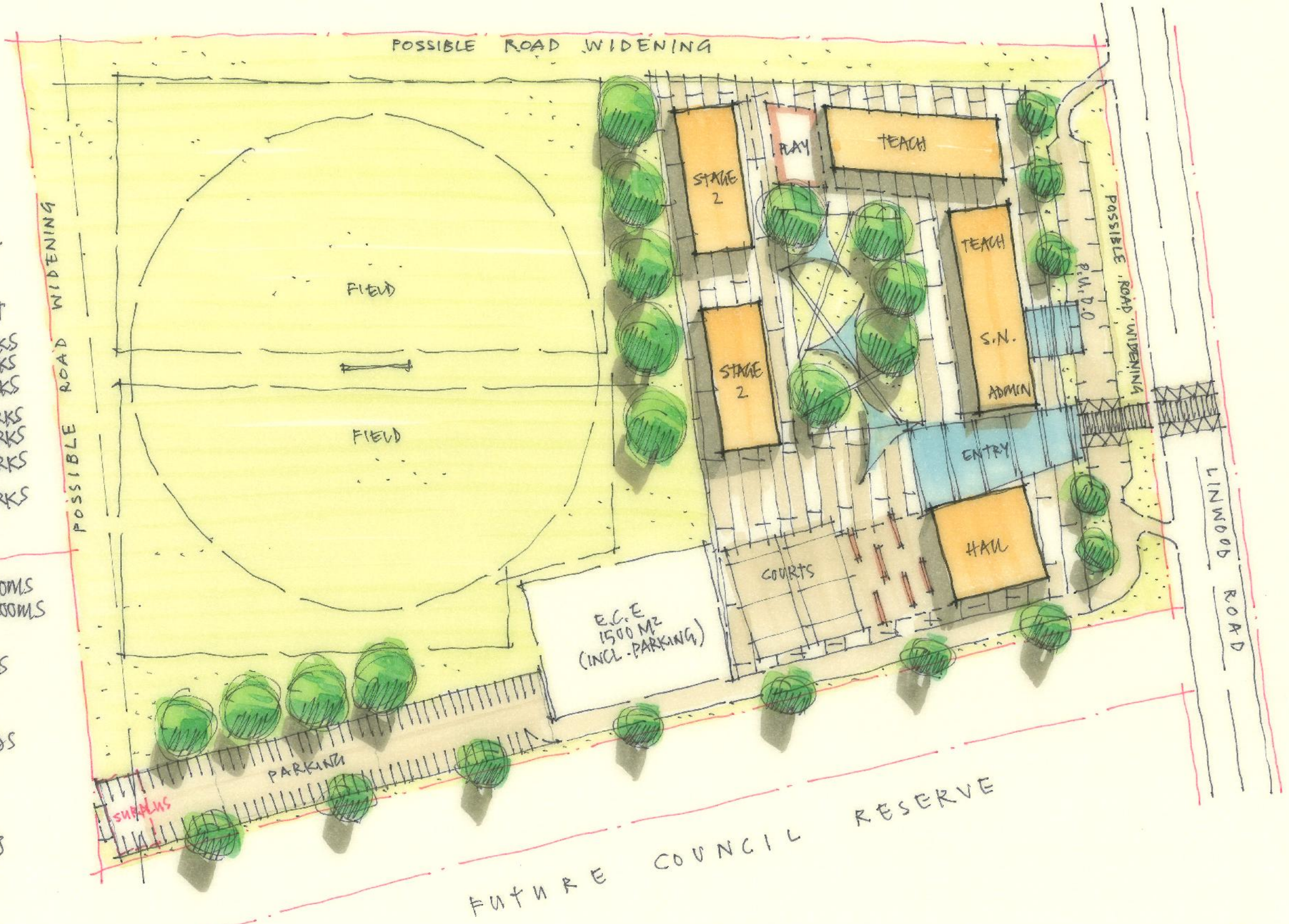
Proposed Development (Scheme Plan)
Subdivision Plan (Section 1 of Title Plan SO 544696)

AREAS		
INITIAL	M-PLAN	
TEACH	1517	3935
LIB	161	161
ADMIN	405	405
RES.	275	275
HALL	686	686
S.NEEDS	300	300
TOTAL	3346 m ²	5764 m ²

PARKING ASSESSMENT	
INITIAL B.	M-PLAN
30 PARKS	78 PARKS
S-NEEDS	10 PARKS
TOTAL	88 PARKS
	PUDO
	18 PARKS

TEACHING SPACES	
INITIAL B.	M-PLAN
15 C-ROOMS	39 C-ROOMS

STUDENT NUMBERS	
INITIAL BUILD	M-PLAN BUILD
350 STUDENTS + 18 SPECIAL NEEDS	900 STUDENTS + 18 SPECIAL NEEDS



ASE ARCHITECTS
Ministry of Education

LINWOOD ROAD SCHOOL FEASIBILITY
1:1000 @ A3
22 APRIL 2020 20810 SK-04



Title Plan - SO 544696

Survey Number SO 544696
Surveyor Reference 30789/2-LINWOOD ROAD
Surveyor Matthew Keith Adams
Survey Firm Envivo Limited
Surveyor Declaration I Matthew Keith Adams, being a licensed cadastral surveyor, certify that:
(a) this dataset provided by me and its related survey are accurate, correct and in accordance with the Cadastral Survey Act 2002 and the Rules for Cadastral Survey 2010, and
(b) the survey was undertaken by me or under my personal direction.
Declared on 20 Dec 2019 03:45 PM

Survey Details

Dataset Description Sections 1 & 2
Status Approved as to Survey
Land District North Auckland
Submitted Date 20/12/2019
Survey Class Class B
Survey Approval Date 21/01/2020
Deposit Date

Territorial Authorities

Auckland Council

Comprised In

RT 468658

Created Parcels

Parcels	Parcel Intent	Area	RT Reference
Section 1 Survey Office Plan 544696	Legalisation	4.4400 Ha	
Section 2 Survey Office Plan 544696	Fee Simple Title	3.5756 Ha	
Area A Survey Office Plan 544696	Easement		
Total Area		<u>8.0156 Ha</u>	

Schedule / Memorandum

Land Registration District

North Auckland

Survey Number

SO 544696

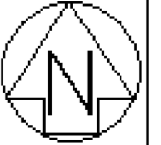
Territorial Authority (the Council)

Auckland Council

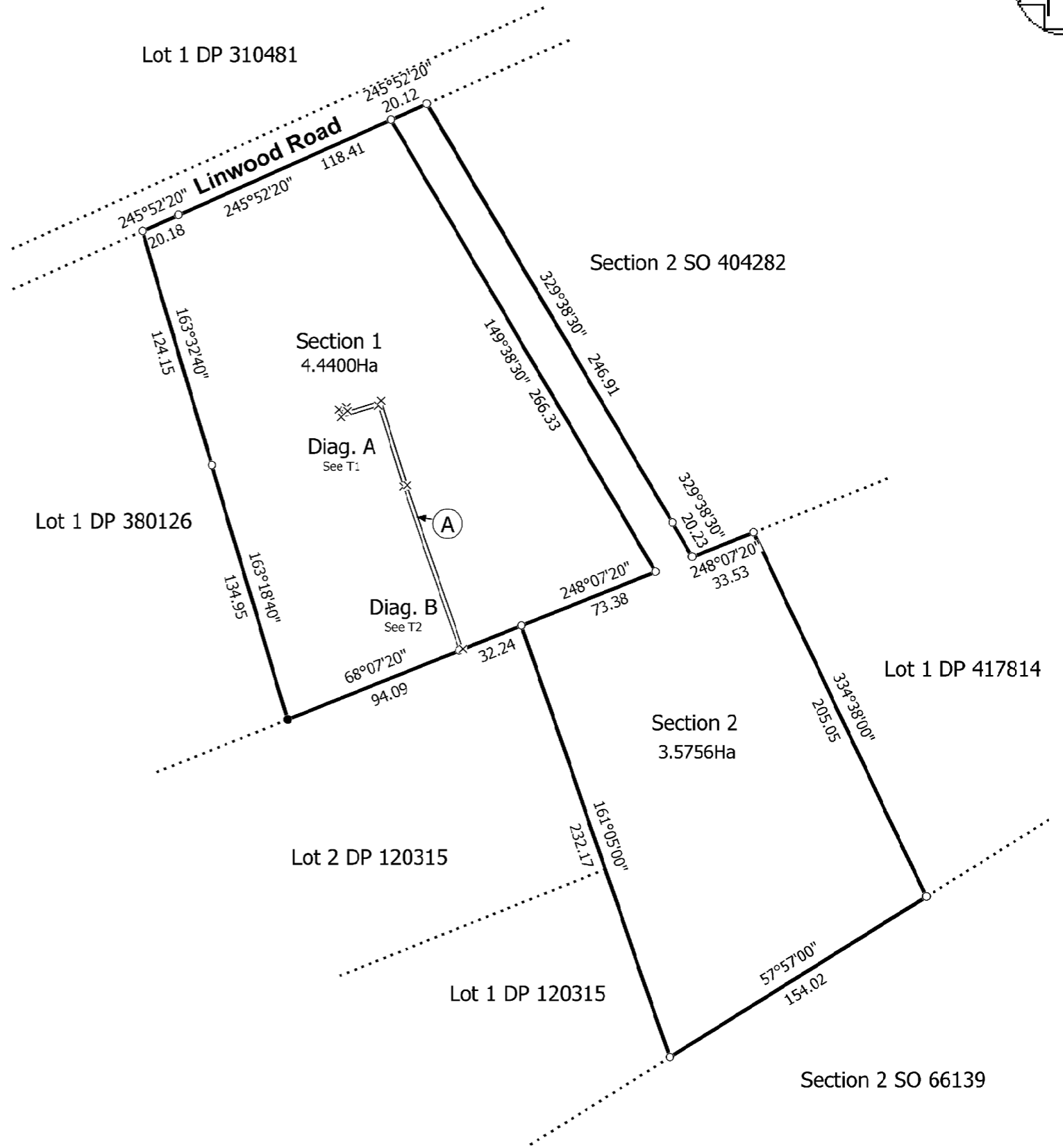
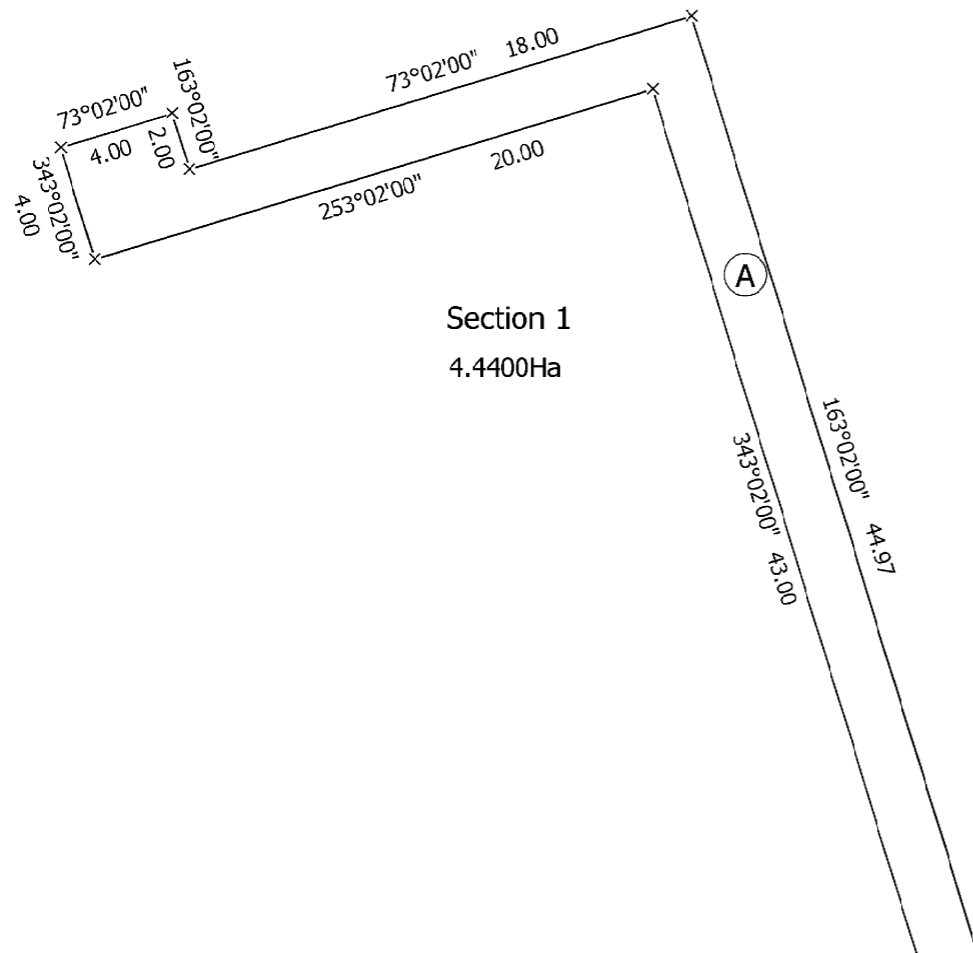
Schedule of Existing Easements

Last Edited: 09 Dec 2019 17:33:55

<u>Purpose</u>	<u>Shown</u>	<u>Servient Tenement (Burdened Land)</u>	<u>Creating Document Reference</u>
Right to convey water	A	Sect 1	TE B677903.2



Diag. A



T 1/2

Diag. B

