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# 'Burwood' 66-68 Gillies Avenue, Epsom

## Heritage Assessment

PREPARED FOR

### Auckland Council



photos: Salmond Reed Architects 2016



Job # 2016-041 | July 2016

*Minor edits to s.12 of report by reviewer  
May 2017*

## 1.0 Purpose

The purpose of this document is to consider the place located at 66-68 Gillies Avenue Auckland against the criteria for evaluation of historic heritage in the Proposed Auckland Unitary Plan.

The document has been prepared by Salmond Reed Architects Ltd on the specific instructions of our client, Auckland Council. It is solely for the use of Auckland Council for the purpose it is intended in accordance with the agreed scope of work.

## 2.0 Identification

<b>Site address</b>	66 -68 Gillies Avenue, Epsom Auckland
<b>Legal description and Certificate of Title identifier</b>	Pt Allotment 22, Section 6, Auckland Suburbs CT 545 / 250
<b>NZTM grid reference</b>	Easting 1759131.78 , Northing 5917674.17, Longitude 174.774228, Latitude -36.873653
<b>Ownership</b>	Megan Jane Corbett, James Frederick Sutherland Wilson, Terence John Corbett and Dominic George Sutherland Wilson
<b>District/regional plan &amp; zoning</b>	Residential 6a
<b>Proposed Unitary Plan zoning</b>	Town House and Apartment Buildings zone Pre 1944 Building Demolition Control
<b>Existing scheduled item(s)</b>	Natural Heritage: Notable Trees - #892-Pohutukawa Adjoining house, Alfred Kidd House, 74 Gillies Avenue, PAUP Category B, ID # 1661
<b>Additional controls</b>	Not applicable
<b>NZHPT listing details</b>	Not listed with Heritage New Zealand Pouhere Taonga
<b>Pre-1900 site (HPA Section 2a(i) and 2b)</b>	No, the place does not predate 1900 and has no identified archaeological values
<b>CHI reference/s</b>	Not applicable
<b>NZAA site record number/s</b>	Not applicable

### 3.0 Constraints

This evaluation does not include consideration of:

- the archaeological values of the site; and
- the importance of the place to mana whenua
- condition or structural integrity
- the house interiors

The evaluation is based on a research summary by historian, Lisa J Truttman, additional information provided by Council and a visual inspection of the place from Gillies Avenue, undertaken on Monday 09 May 2016.

### 4.0 Historical summary

A full historical outline is attached in **Appendix 1**, the succinct summary which follows is based on this and augmented by additional research undertaken by the consultant.

The allotment at 66-68 Gillies Avenue Epsom follows the typical pattern of suburban development in Auckland where large parcels of land, initially bought from the Crown following the founding of the city, were progressively subdivided into smaller parcels.

The subject site is no exception, being located on part of a much larger land parcel of 6 acres and 2 roods, first purchased in 1844, sold to nurseryman John Edgerley, divided in half in 1885 and on sold in smaller parcels. By 1903 one of these smaller lots had been sold to well-known architect, George Selwyn Goldsbro', who designed his own house for the site. In 1903 and 1908 he purchased additional land from Edgerley, possibly to extend the gardens.

Original house plans [see **Appendix 5**] are signed by both architect, George Selwyn Goldsbro' [1896-1932] and contractor, builder and businessman, George Baidon [1868-1946]. Baidon had a long history of public service, firstly with the Arch Hill Road Board, then the Grey Lynn Borough Council and finally as Mayor of Auckland from 1925 to 1931<sup>1</sup>.

Goldsbro' owned the property for fourteen years until 1917. It then passed through a number of owners until 1921, when it was sold to Mrs Sarah Currie, widow of architect, John Currie. After her death the property passed to her son who leased it before finally selling it to Robert Houghton Allen [1897-1972] and it remained in Allen family ownership into the 21<sup>st</sup> Century.

Allen, who served in WWI, was a qualified accountant with the Samoa Shipping and Trading Co and after a decade in Apia he returned to NZ in 1929, joining Amalgamated Theatres. He was made a life member of the national Association of Motion

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<sup>1</sup> Wikipedia

Picture Exhibitors and, at the time of his death in 1972, was a director of A. W. Bryant Ltd.

### George Selwyn Goldsbro'

Goldsbro's [1896-1932] obituary [see **Appendix 1**] lists his '*most important*' buildings. Other buildings he designed [either as an individual or as part of Fripp and Goldsbro', Goldsbro' and Wade, Goldsbro' and Carter, Goldsbro' and Cumming and Goldsbro' and Carter] are found in the Sheppard Collection<sup>2</sup> which notes that '*he designed a great number of modern houses and other works*' but provides no detail.

The first bungalows in New Zealand were designed by Goldsbro' in Auckland and Samuel Hurst Seagar in Christchurch, working simultaneously in the two centres and their work '*was well ahead of its time for New Zealand but in step with (or only slightly behind) the rest of the world*<sup>3</sup>'. While Goldsbro' is remembered for his commercial and public work '*he was also Auckland's most prolific designer of houses in the 1900's*<sup>4</sup>

Other examples of his work include;

- **Mt Eden Road:** 'Rothesay' 1897<sup>5</sup>, The Heather House, [not known whether this house remains]
- **74 Gillies Avenue:** 'Kiddmore' c.1904, designed for Alfred Kidd, Mayor of Auckland 1901-03 and Member of Parliament 1902-05, located immediately to the south of the subject site<sup>6</sup>
- **9 Judge Street:** Bloomfield House, [demolished]<sup>7</sup>
- **33 Owens Road** [Gillies Ave/Owens Road corner] Friend House<sup>8</sup>
- **9 Pencarrow Road, Mt Eden:** Coates House<sup>9</sup>
- **41 Owens Road, Epsom**<sup>10</sup>
- **11 Kimberley Road, Epsom** [recently demolished] <sup>11</sup>
- **23 Seaview Road, Remuera**<sup>12</sup>
- **20 Orakei Road, Remuera**<sup>13</sup>
- **St Georges Bay Road, Parnell:** Goldie House [demolished]<sup>14</sup>
- **9 Fern Avenue Epsom:** Additions to former Auckland Golf Club House including the distinctive tower which is a local landmark. <sup>15</sup>

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<sup>2</sup> File G622g, Sheppard Collection, Architecture and Planning Library, University of Auckland

<sup>3</sup> Ashford p.12

<sup>4</sup> Ibid

<sup>5</sup> Ashford p.12

<sup>6</sup> Macky p.60

<sup>7</sup> Sheppard Collection

<sup>8</sup> Macky p.60

<sup>9</sup> Ibid

<sup>10</sup> Ibid

<sup>11</sup> Site visit

<sup>12</sup> Ibid

<sup>13</sup> Ibid

<sup>14</sup> Ibid

<sup>15</sup> Salmond Reed Architects, 9 Fern Avenue, Heritage Assessment for Auckland Council, February 2012

**Appendix 2** contains photographs of some of these dwellings.  
**Robert Mackay Fripp 1858-1917**

Born in England, architect Robert Fripp arrived in Auckland in 1881 after a year spent in various Australian offices<sup>16</sup>. He became secretary of the Auckland Society of Arts, introducing classes and competitions in architecture. Goldsbro' studied under him from 1881 till 1884, when Fripp left for Canada and Goldsbro for Australia<sup>17</sup>. By 1896 both men were back in Auckland and went into a short-lived partnership until 1898<sup>18</sup> after which, from 1902-1909, Goldsbro' went into partnership with Henry Wade.

Fripp *'later became one of the major architects of the Canadian Arts and Crafts Movement'*<sup>19</sup> while Goldsbro's Australian sojourn saw him work in Sydney for (Sir) Howard Joseland whose *'picturesque houses have built him a reputation as an important imitator of the English-derived Federation Queen Anne Style'*<sup>20</sup>

The design influences Fripp and Goldsbro' brought from Canada and Australia are evident in the house at 66-68 Gillies Avenue.

## 5.0 Physical Description

### Site

The subject site is a 1290m<sup>2</sup> rectangular block, located on the eastern side of Gillies Avenue, in the block between Mortimer Pass and Alpers Avenue. However, visually, the area is also defined by the Newmarket Viaduct. This part of Gillies Avenue is well known to most Aucklanders as a two-lane busy arterial route providing access points to and from the motorway. There is no on street parking or street trees and, given the high traffic volumes, most houses have a front boundary fence, wall or hedge with mature gardens and trees.

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<sup>16</sup> Fripp, Robert Mackay, West End Vancouver, <https://westendvancouver.wordpress.com/biographies-a-m/biographies-f/fripp-robert.mackay-1858-1917>

<sup>17</sup> Wikipedia

<sup>18</sup> Fripp, Robert Mackay, West End Vancouver, <https://westendvancouver.wordpress.com/biographies-a-m/biographies-f/fripp-robert.mackay-1858-1917>

<sup>19</sup> Ashford p.13

<sup>20</sup> Ashford p.13



▲ figure 1: Two views of the property from Gillies Avenue  
– Salmond Reed Architects, May 2016



▲ figure 2: Site plan showing property boundary



▲ figure 3: Wider site location plan

## Context

From its earliest days Epsom was a favoured address for members of the well-to-do business and professional community and Gillies Avenue was a sought-after address.

The western side of the avenue sits high above street level but the eastern side contains a number of house of high heritage value including *Highwic* for Alfred Buckland [built in 1862 with later additions], *Clovernook* 1861, demolished for the viaduct, *Ravenswood* at 58 Gillies Avenue, 1920, designed by engineer Ralph Palliser Worley and the subject site at 66-68 Gillies Avenue and its neighbour at 74, both designed by George Selwyn Goldsbro’.

Collectively these large, low density houses, positioned on generous lots, set well back from the street, with spacious gardens and mature trees, typify Epsom of this period as a garden suburb. Many sites in Epsom have a Residential 2 special character zoning which seeks to ‘*maintain the landscape qualities of those residential areas which display a*

*special blend of built and natural features, generally involving period housing, coupled with the presence of trees*<sup>21</sup>

This site, however, is in the Res 6a zone in the Operative Isthmus Plan and the Terrace Housing and Apartment Buildings zone in the Proposed Auckland Unitary Plan.

## The House

66-68 Gillies Avenue is large, well-maintained, double-storey house, screened from the street by a stone wall of varying height with some planting. Openings in the wall allow for carport access and access to the shed near the southern boundary. A low timber gate, located between these wider gaps enters onto the path leading to the front door.

Constructed on the flat area near the road, the house is surrounded with paving and large trees, and the entire site sits on a bed of shallow basaltic rock<sup>22</sup>. The rear of the site slopes steeply away from the house towards the east, before flattening out near the rear boundary. Due to its volcanic origin, it is covered with basalt boulders and vegetation<sup>23</sup> and is close to the lava flow rock forest in the Mountain Road / Gillies Avenue area. The Proposed Auckland Unitary Plan lists 3 pohutukawas in the grounds for which no significant historical associations have been established<sup>24</sup>.

The site, as discussed, was acquired from nurseryman John Edgerley but does not appear to have any remnant planting from this period or later dates. By contrast the adjoining garden at 74 Gillies Avenue '*Hounslow*' is a rare example of an Edwardian 'arts and crafts' natural 'woodland' garden incorporating native trees together with exotic specimens, and has been described as having volcanic stone walls and steps, a reflecting pool, pergola and tennis lawn [later converted to a swimming pool] and also greenhouses, gold fish pond, arbors, planted arches and a rockery<sup>25</sup>.

The house design is a response to the landform, being located towards the south west boundary, thus maximising the flat area available. Rising three storeys from the lowest ground level, it has a full storey-height basement constructed from basalt and, above this, another two storeys of timber framed and clad construction, topped with a terracotta tiled roof.

The 1905 plans for the house show a typical layout for a two storeyed house with the public rooms downstairs and the more private bedrooms and bathroom upstairs. [see **Appendix 5** for plans]. Compared with the formality and symmetry of the villas which were the predominant house type when Burwood was

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<sup>21</sup> Operative City of Auckland District Plan – Isthmus, 7.6.2.1 Objective

<sup>22</sup> Report from Eden Consultants Ltd, Consulting Engineers, May 2007.

<sup>23</sup> Auckland Council Property File R/LUC/2009/246466

<sup>24</sup> Auckland Council Research accompanying the Evaluation Sheet for the Pohutukawas, 2011

<sup>25</sup> Letter from Paul Waite to Dr Roger Blakely at Auckland Council 8.03.11



built, the house has an asymmetric floor plan with projecting bays, an oriel window and a recessed return verandah.

At ground floor level, a small entry porch facing towards Gillies Avenue opens into the entry hall, leading on into the den, drawing room, dining room, and kitchen. The use of the term 'den' is interesting and may allude to the American influences in this house, 'library' being the more usual reference used for such as space in a house of this type and age.

Interesting ground floor features include the pair of bow windows - one each to the den and drawing room, with the latter being noted as a 'fernery' on the original plans. All of the ground floor rooms are provided with fireplaces and many have the built in furniture that is a typical bungalow feature. Seating is provided to the den and alongside the drawing room and dining room fireplaces. The plans show a built in sideboard to the dining room. A recess in the drawing room wall, although not so annotated, is very likely to have had a built in fitting. Upstairs the dressing room and main bedroom have built in wardrobes while a linen cupboard is located in the passage.

The drawing room opens onto a north east facing verandah which returns around the north west elevation with steps down to a terrace and then into the garden. Access to this terrace also appears to have been provided from the den bow window and easy access to the garden, a better 'indoor outdoor' flow and integration of interior and exterior spaces is a common bungalow feature.

From the ground floor, the hall staircase gives access to a central passage from which the bedrooms radiate and the upstairs enclosed porch, [shown as a balcony on the plans] has doors from the passage and work room.

To the north of the house lies a double carport and large manoeuvring area and a small garden shed is located in the south west corner near Gillies Avenue. A 2009 addition provided a residential unit in front of the rear basement basalt wall and this later modification is discussed below.

### **Modifications**

A site inspection from Gillies Avenue shows that the house was not built exactly to plan, but whether these were design changes that occurred during construction or part of the 1944 changes, as discussed below, has not been determined but they are entirely in keeping with the style and character of the house.

The sweeping roofline facing into the north west garden has been cut back and small paned casement windows added to the bedroom and workroom above. On the floor below, the distinctive bay windows shown on the original drawings were either not built to plan (or were, perhaps, removed later). These

details could not easily be confirmed when viewing from the street, since the house is partially hidden behind trees.

To the Gillies Avenue façade, the den has larger casement windows than are indicated on Goldbro's plan, and a bedroom window has been added to the floor above.

A photograph in **Appendix 2**, taken at some time before the 2009 alterations, shows 2 small windows in the basement, the ground floor verandah and upper level balcony enclosed.

Some alterations to the house were undertaken in 1940 including the 'filling in' of the ground floor return verandah to the north east elevation. Auckland Council Valuation Field Sheets note that the then owner, R. H. Allen, obtained a permit in 1944 for renovations costing £275 but reportedly spent £1000. The permit and plans pertaining to this work have not been located.

In 1989 a Building Permit was issued for the double carport, as discussed above.

In 2002 consent was granted to remove a damaged Mānuka Tree<sup>26</sup>.

In 2009, as mentioned above, a residential dwelling unit was added. Sitting high above the sloping rear ground in front of the basement basalt wall, it comprises a bedroom, wardrobe, bathroom / laundry to the south end and an open plan area with kitchen / dining and lounge to the north. Exterior doors from most of these spaces open onto a deck which encircles the unit. A flat roof allows access to the ground floor living areas of the main house via timber bi-fold doors.

This addition does detract from the overall architectural integrity of the building but it has been carefully located below the ground floor rooms and care has been taken to minimise any loss of original material, to match existing weatherboards and to use timber joinery with small panes. It is potentially reversible and being to the rear of the house does not intrude into any of the principal street views.

## **6.0 Comparative analysis [other similar or related places]**

The Historical Summary in section 4.0 lists the seven extant Goldbro houses in Auckland and further research will almost certainly reveal more.

Since 66-68 Gillies Avenue was his own house, Goldbro had free reign, unfettered by client demands, to experiment with his

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<sup>26</sup> Ibid, report from Richard Peers, arborist

ideas in an innovative and experimental way and to draw on English, North American and Australian influences. As far as can be determined from the research to date this was the only house designed and lived in by Goldsbro and as the singular example of his 'own' house it has additional heritage significance.

The house at Pencarrow Avenue and his alterations to 9 Fern Avenue also shows some of this innovative spirit, which his other houses do not show in quite the same measure.

For example, the more ordered and formal composition of the next door Kidd house [scheduled Category B in the Proposed Auckland Unitary Plan] and the house at 20 Orakei Road, appear to be influenced more by the villa style.

## 7.0 Significance Criteria

### (a) Historical

*The place reflects important or representative aspects of national, regional or local history, or is associated with an important event, person, group of people or idea or early period of settlement within the nation, region or locality.*

The place was closely associated between 1903 and 1917 with well-known Auckland architect, George Selwyn Goldsbro'. Designed as his own house and built by George Baildon a noted Auckland builder, businessman and local body politician, who later became Mayor, it was owned from 1944 until well into the 21<sup>st</sup> century by members of the Allen family. The house is a notable example of an early bungalow style. Predominantly an interwar style, the bungalow reflected changing attitudes to family life and size, the increasing use of technology to reduce the amount of labour required to run a house and the increasing availability of motor vehicles

66-68 Gillies Avenue is considered to be of **considerable** historical significance to the **local** Epsom community

### (b) Social

*The place has a strong or special association with, or is held in high esteem by, a particular community or cultural group for its symbolic, spiritual, commemorative, traditional or other cultural value.*

The place has an association with Gillies Avenue and the Epsom community but the strength or specialness of this is difficult to quantify. The house is not listed with Heritage New

Zealand Pouhere Taonga nor scheduled in the PAUP and does not appear to be held in high esteem by any community or cultural group. For these reasons 66-68 Gillies Avenue is considered to be of **little** social significance to the **local** Epsom community.

#### **(c) Mana whenua**

*The place has a strong or special association with, or is held in high esteem by, mana whenua for its symbolic, spiritual, commemorative, traditional or other cultural value.*

Not assessed

#### **(d) Knowledge**

*The place has potential to provide knowledge through scientific or scholarly study or to contribute to an understanding of the cultural or natural history of the nation, region or locality.*

Our knowledge about the place has been extended through a recent publication<sup>27</sup> that has highlighted Goldsbro's work within the context of other architects of the period, expanding our knowledge of his domestic work, hitherto overlooked. This assessment adds to our knowledge of the place and confirms (through sourcing of original plans), that Goldsbro was the architect.

66-68 Gillies Avenue is considered to be of **little** knowledge significance to the community in the **local** Epsom area

#### **(e) Technological**

*The place demonstrates technical accomplishment, innovation or achievement in its structure, construction, components or use of materials.*

The building uses well-known and understood construction methods and materials for its period.

66-68 Gillies Avenue is considered to be of **no** technological significance to the community in the **local** Epsom area.

#### **(f) Physical attributes**

*The place is a notable or representative example of a type, design or style, method of construction, craftsmanship or use of materials or the work of a notable architect, designer, engineer or builder.*

The bungalow style originated in North America. There bungalows were designed in a number of sub-styles including

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<sup>27</sup> Macky

*Craftsman, Californian, Japanese, Swiss Chalet, Prairie and Rustic.* The *Californian Bungalow* was the most common of the bungalow styles adopted in New Zealand and large numbers of these houses were built here in the interwar period.

In Australia this style of house, built in the c.1890- c.1915 period has many influences including Federation Queen Anne, Federation Arts and Crafts, and Federation Bungalow.<sup>28</sup>

This notable early New Zealand bungalow at 66-68 Gillies Avenue shows a number of Queen Anne, Arts and Crafts and American Bungalow influences including:

- Asymmetric floor plan with projecting bays and an oriel window to the upstairs bathroom.
- House designed for the site with a good relationship between indoor and outdoor spaces shown in the verandah, balcony and steps leading into the garden.
- Stone basement. Original plans show this extending up to form part of the first floor handrail and verandah column bases.
- A complex roof geometry with steeply pitched, intersecting gabled roofs, with a dormer window and sheltering hipped roofs all clad with terracotta tiles on exposed rafters.
- Tall decorative brick chimneys with decorative coursing and extravagant tops corbelling out and back again, to provide a picturesque roofline profile.
- Timber weatherboards, casement windows and doors, with shingles to the gable ends.

66-68 Gillies Avenue is considered to be of **considerable** physical significance to the community in the **local** Epsom area.

### **(g) Aesthetic**

*The place is notable or distinctive for its aesthetic, visual, or landmark qualities.*

Partially concealed from the road by fencing and trees the aesthetic qualities of this house are inherent in its design as discussed above. It is also notable as part of a group of similar such houses in this part of Gillies Avenue, that reflect a past aesthetic taste, which was, and remains, common in many parts of Epsom.

66-68 Gillies Avenue is considered to be of **moderate** aesthetic significance to the **local** Epsom community.

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<sup>28</sup> Apperley pp 132-135, 140-143, 144-147

## (h) Context

*The place contributes to or is associated with a wider historical or cultural context, streetscape, townscape, landscape or setting.*

The place contributes much to the Gillies Avenue streetscape of large architect designed houses, designed for their sites and set in generous, mature gardens. Individually and collectively they reinforce the garden suburb character of much of Epsom [and Remuera and Mt Eden] which was seen as the ideal suburban environment for family living. Its contextual value is enhanced with Kiddmore immediately next door [scheduled category B in the Proposed Auckland Unitary Plan] and the place is part of a much larger group which includes Goldsbro's remaining houses in Epsom and Remuera.

66-68 Gillies Avenue is considered to be of **moderate** context significance to the **local** Epsom community.

## 8.0 Statement of significance

Designed by well-known Auckland architect, George Selwyn Goldsbro', as his own house, 66-68 Gillies Avenue was constructed by builder and businessman George Baildon who was active in local body politics and who later became Mayor of Auckland. After twelve years of Goldsbro' ownership the house passed through several owners, one of whom was the widow of architect, John Currie. In 1944 it was acquired by accountant Robert Houghton Allen who had a career in Apia and then with Amalgamated Theatres and finally as a director of A W Bryant Ltd.

The house, which has remained in family ownership into the 21<sup>st</sup> Century, is a notable example of an early architect designed bungalow with Queen Anne, Arts and Crafts and American Bungalow influences. It is one of only seven houses by Goldsbro', (although further research will no doubt reveal more, since he was one of the most prolific house designers around the turn of the century).

66-68 Gillies Avenue sits amongst other large houses set in mature tree-filled gardens, contributing both individually and collectively to the garden suburb character of Epsom.

## 9.0 Extent of the place for scheduling

The identified extent of the place for scheduling is the area that is integral to the function, meaning, and relationships of the place. As illustrated below, it is all that land contained within Pt Allotment 22, Section 6, Auckland Suburbs [CT 545 / 250], excluding the double carport with gabled roof [1989] and the later rear basement level dwelling unit [2009].



▲ figure 4: Plan showing the extent of the place for scheduling

## 10.0 Recommendations

Based on the above assessment, the heritage values of 66-68 Gillies Avenue are of considerable historic and physical significance and moderate aesthetic and context significance to the extent that the place warrants scheduling as a group B heritage place [excluding interiors].

Such scheduling should apply to the entire property, as defined by within Pt Allotment 22, Section 6, Auckland Suburbs [CT 545 / 250], excluding the double carport with gabled roof [1989] and the later rear basement level dwelling unit [2009].

## 11.0 Table of Historic Heritage Values

Significance Criteria (A-H)	Value* (None, Little, Moderate, Considerable, Exceptional)	Context (Local, Regional, National, International)
A- Historical	Considerable	Local
B- Social	Little	Local
C- Mana Whenua	Not assessed	
D- Knowledge	Little	Local
E- Technological	None	Local
F- Physical Attributes	Considerable	Local
G- Aesthetic	Moderate	Local
H- Context	Moderate	Local

\*Levels of significance or value:

## 12.0 Overall Significance

<b>Place Name and/or Description</b>	Burwood 66-68 Gillies Avenue Epsom
<b>Category</b>	B
<b>Primary Feature</b>	Original residence
<b>Known Heritage Values</b>	A,F
<b>Extent of Place</b>	All land within Pt Allotment 22, Section 6, Auckland Suburbs [CT 545 / 250]
<b>Exclusions</b>	Interior of buildings; double carport with gabled roof [1989]; later rear basement level dwelling unit [2009]
<b>Additional Controls for Archaeological Sites or Features</b>	No
<b>Place of Maori Interest or Significance</b>	No

**Author**  
Richard Bollard

**Date**  
July 2016



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# Appendix 1

## HISTORICAL RESEARCH SUMMARY

*Lisa Truttman*

## 66-68 Gillies Ave, Epsom

On 21 December 1844, John Kelly and Frederick Whitaker purchased Allotment 22 of Section 6, Suburbs of Auckland, from the Crown, comprising 6 acres 2 roods. They sold the land on 15 April the following year to nurseryman John Edgerley. <sup>1</sup> Edgerley died on 9 June 1849 intestate. <sup>2</sup> By August, his nursery was advertised as being available for lease. <sup>3</sup> Allotment 22 was divided in half between William Edgerley (to the north) and his brother John (to the south) in 1885. <sup>4</sup> In 1903 John Edgerley sold most of his Gillies Avenue (then known as Domain Road until c.1912, the house number being 26 until the 1940s) land to George Selwyn Goldsbro', including the site of 66-68 Gillies Avenue. <sup>5</sup>

From the obituary for G S Goldsbro':

*Mr. George Selwyn Goldsbro', the well-known architect, a member of the firm of Goldsbro' and Carter, died at Auckland on Sunday. The late Mr. Goldsbro' was the youngest son of the late Dr. C F. Goldsbro', who was a very well-known medical man in Auckland's early days. He studied architecture at Auckland in the eighties with Mr R. M. Fripp, and then went across to Australia to get experience. He worked in Melbourne and Sydney, and among noted firms he was with was the Sydney one that designed the Australasian Joint Stock Bank, the Mutual Life Association building, and the Walker Hospital. Mr. Goldsbro' returned to Auckland, and in 1896 he joined his former employer, Mr Fripp as partner and remained with him until Mr Fripp went to Canada. Following that he practised with Mr. Harry Wade and for the last two years was in partnership with Mr. Carter. Among the important buildings he designed are the new St John's College, Orphans' Home at Papatoetoe, the City Fire Brigade Station, certain large abattoirs at Westfield, and schools at Thames. Mr. Goldsbro' was a keen yachtsman in his younger days, and had a large circle of friends. He leaves a widow, three daughters, and a son.* <sup>6</sup>

Goldsbro' is recorded as living on Gillies Avenue as at c.1905, <sup>7</sup> so it is possible that he was the original designer of the house. However, no plans have been found to confirm this. In 1903 and 1908, he purchased additional land from Edgerley, <sup>8</sup> possibly to extend the gardens. In 1917, he transferred the property to indent agent Neil Cornelius Johnson, who in turn transferred to draper George Cullen in 1920. The following year, the site was conveyed to Edward Joseph Prendergast and his wife Ethel; the Prendergasts transferred the house and land to Mrs Sarah Currie, widow of architect John Currie, in August 1921. <sup>9</sup> After Sarah Currie died in 1932, <sup>10</sup> her son Edward Currie inherited the property, leased it out to others such as Owen Jensen who gave piano lessons there from February 1937, <sup>11</sup> and sold it to Robert Houghton Allen in 1943. <sup>12</sup> The house was to remain with members of the Allen family into the 21<sup>st</sup> century.

Robert Houghton Allen (c1897-1972) was born in Wellington, a descendant of two colonial families. A qualified accountant, he joined the Samoa Shipping and Trading Company before enlisting in the First World War. After the war he rejoined the firm, marrying and settling in Apia for 10 years. In

<sup>1</sup> Application file 5835, LINZ records

<sup>2</sup> Application file 5835

<sup>3</sup> Advertisement, *New Zealander*, 4 August 1849

<sup>4</sup> Application file 5835

<sup>5</sup> R 89.40, Application file 5835, LINZ records

<sup>6</sup> Obituary, *Evening Post*, 8 January 1925

<sup>7</sup> *Wises Directory*, 1906, p. 47

<sup>8</sup> Deeds Index 21A.750, LINZ records

<sup>9</sup> DI 2A.750

<sup>10</sup> Obituary, *NZ Herald* 12 November 1932, p. 14

<sup>11</sup> *Auckland Star*, 30 January 1937, p. 19 (5)

<sup>12</sup> NA 545/250, LINZ records

1929, he returned to New Zealand and joined Amalgamated Theatres. In honour of his work in that field, he was made a life member of the National Association of Motion Picture Exhibitors. At the time of his death in 1972, he was a director of A W Bryant Ltd.<sup>13</sup>

In 1944, Allen renovated the house at Gillies Ave, initially obtaining a permit for £275, but reportedly spending £1000 on the project.<sup>14</sup> The permit plan for this work could not be found.

**Lisa J Truttman**  
**7 April 2016**

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<sup>13</sup> Obituary, *NZ Herald*, 23 March 1972

<sup>14</sup> Valuation field sheet files, ACC 213/55a & b, Auckland Council Archives

## Appendix 2

### PHOTOGRAPHS

Photographs of 66-68 Gillies Avenue  
and other houses designed by Goldsbro'



▲ 66-68 Gillies Avenue, Epsom, view from Gillies Avenue



▲ 66-68 Gillies Avenue: Entry Gate



▲ 66-68 Gillies Avenue, showing gable and oriel window



▲ 66-68 Gillies Avenue: Two views of carport entry



▲ 66-68 Gillies Avenue, Epsom, before the 2009 alterations at basement level

## EXAMPLES OF HOUSES DESIGNED BY GOLDSBRO'S FIRM



▲ 41 Owens Road, Epsom



▲ 33 Owens Road, Epsom



▲ 11 Kimberley Road, Epsom, recently demolished



## Appendix 3

### CERTIFICATE OF TITLE



**COMPUTER FREEHOLD REGISTER  
UNDER LAND TRANSFER ACT 1952**  
Limited as to Parcels



Search Copy

R. W. Muir  
Registrar-General  
of Land

**Identifier** NA545/250  
**Land Registration District** North Auckland  
**Date Issued** 26 November 1931

**Prior References**

DI 21A.750

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**Estate** Fee Simple  
**Area** 1290 square metres more or less  
**Legal Description** Part Allotment 22 Section 6 Suburbs of  
Auckland

**Proprietors**

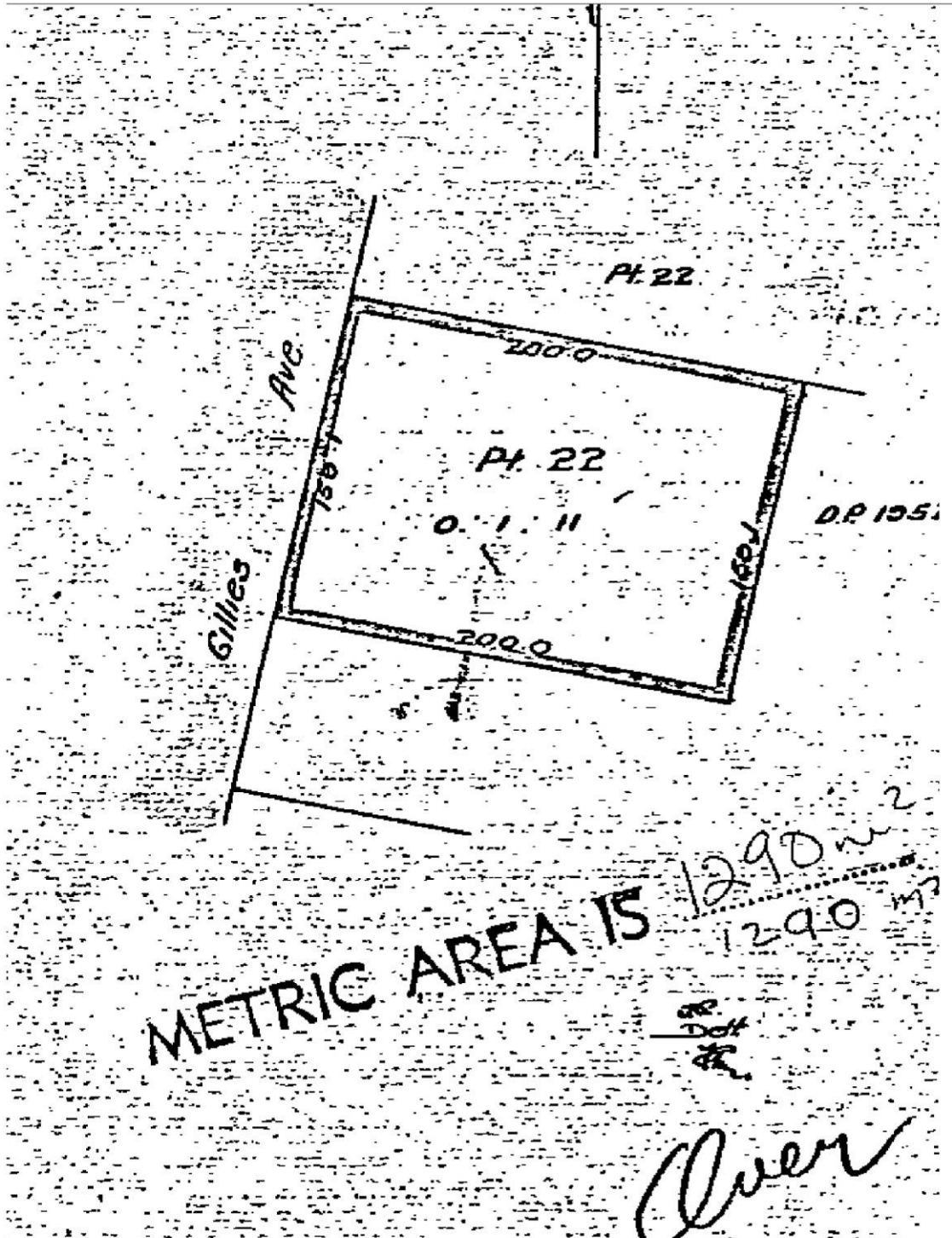
Megan Jane Corbett, James Frederick Sutherland Wilson, Terence John Corbett and Dominic George Sutherland  
Wilson

**Interests**

Fencing proviso in Conveyance 162565 (R89.40)  
8714765.3 Mortgage to Bank of New Zealand - 1.4.2011 at 3:57 pm  
8886244.1 Encumbrance to Auckland Council - 15.11.2011 at 10:45 am  
8886244.2 Mortgage Priority Instrument making Encumbrance 8886244.1 first priority and Mortgage 8714765.3  
second priority - 15.11.2011 at 10:45 am

Identifier

NA545/250

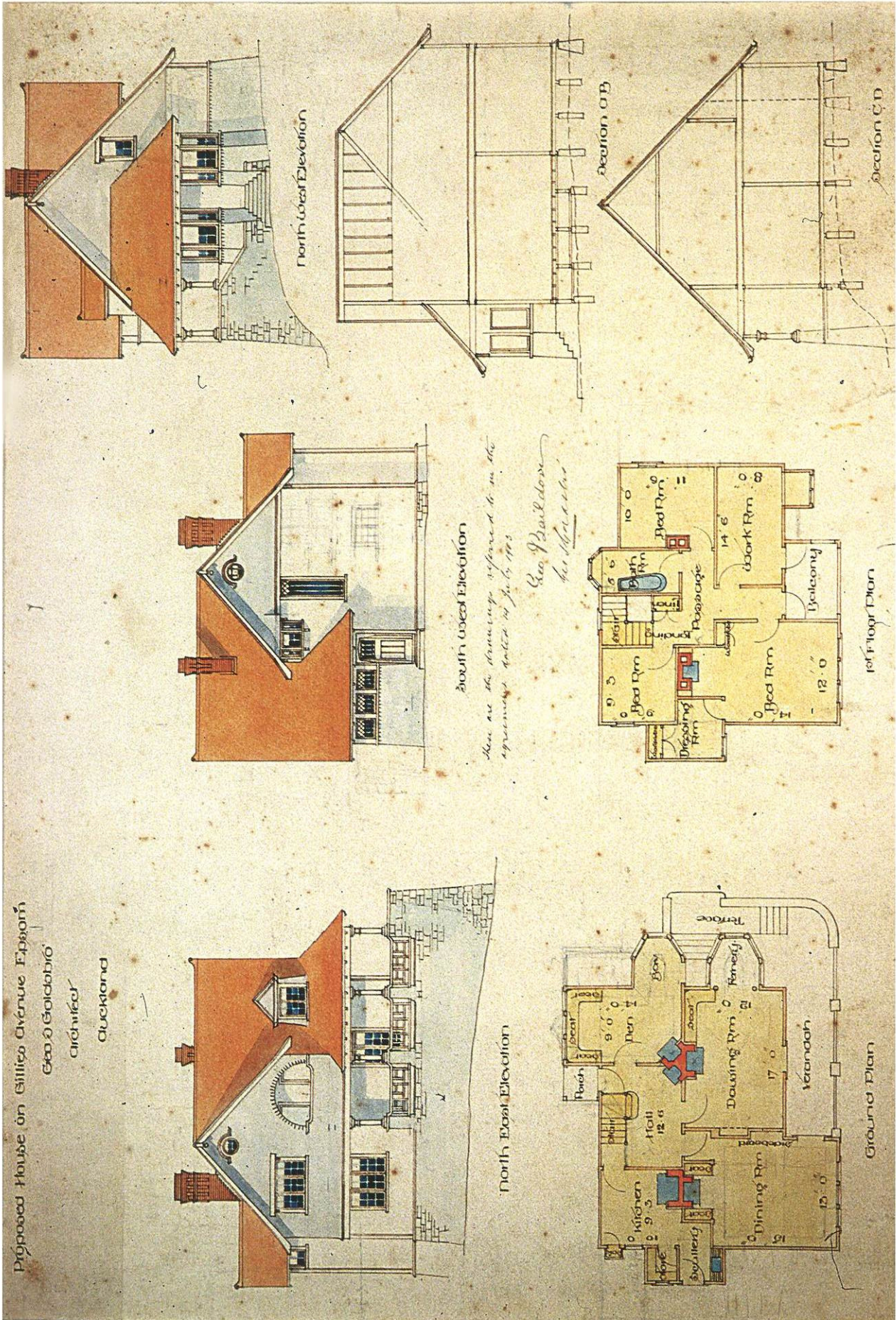


# Appendix 4

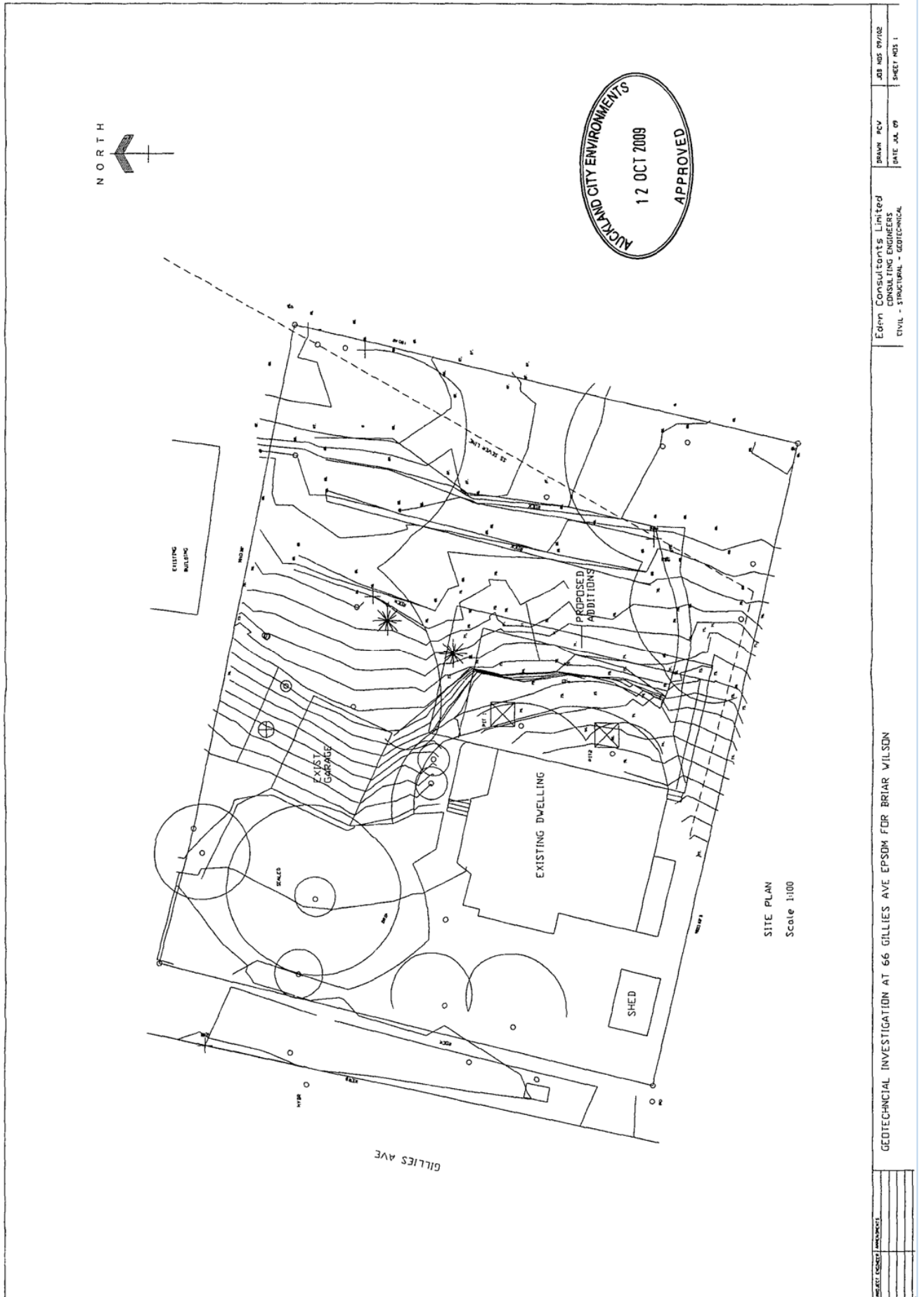
## DRAWINGS

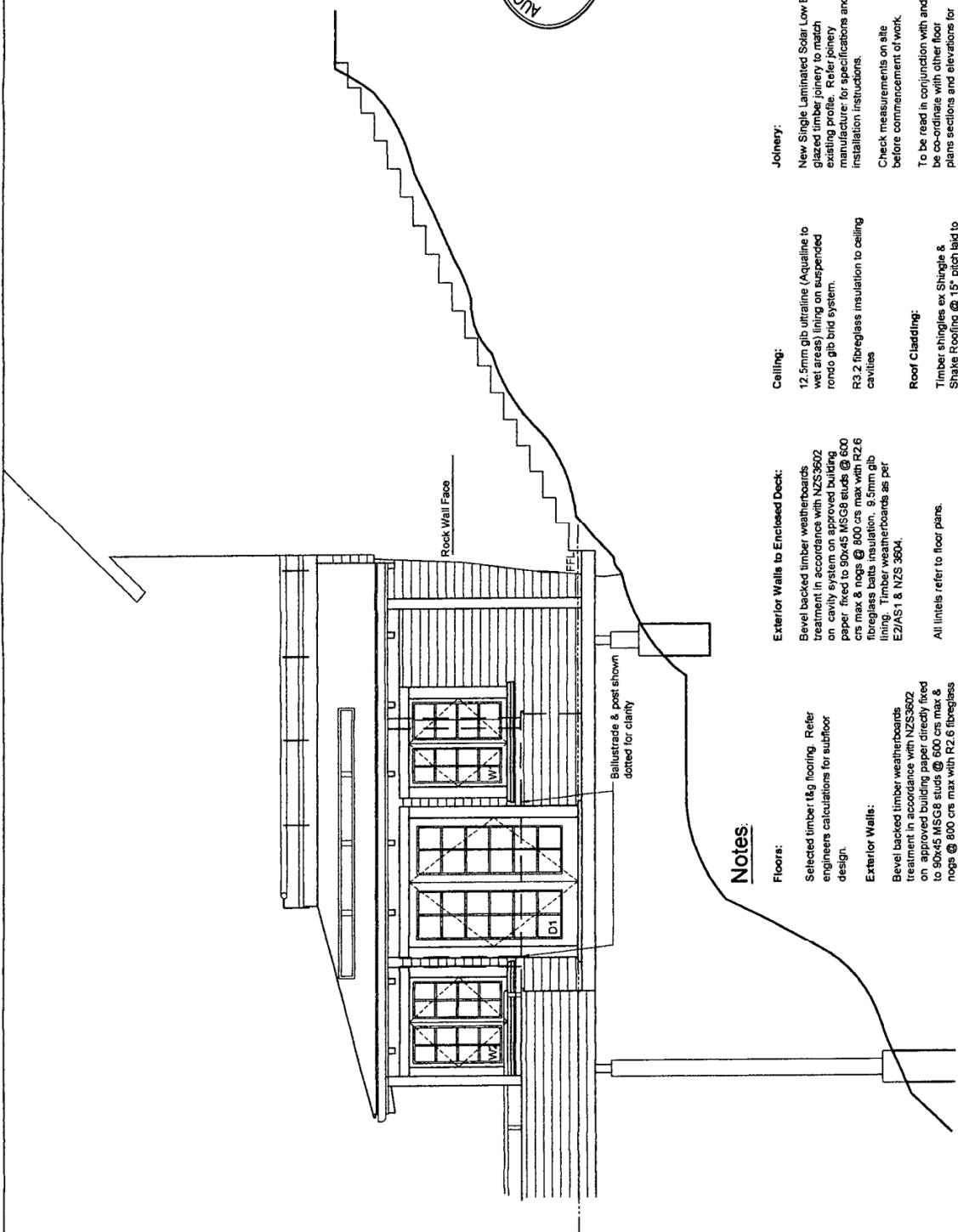
ORIGINAL GOLDSBRO' DRAWING [1905]

Image extracted from Coolangatta A Homage by Peter Macky, Paul Waite with Sait Akkirman



▲ Goldsbro's Plans and Elevations for Burwood at 66 Gillies Avenue [WILSON FAMILY TRUST]





**Notes:**

**Floors:**  
 Selected timber t&g flooring. Refer engineers calculations for subfloor design.

**Exterior Walls:**  
 Bevel backed timber weatherboards treatment in accordance with NZS3602 on approved building paper directly fixed to 90x45 MSG8 studs @ 600 c/s max & roags @ 800 c/s max with R2.6 fibreglass batts insulation. 9.5mm gfb lining. Timber weatherboards as per NZS 3604.

**Exterior Walls to Enclosed Deck:**  
 Bevel backed timber weatherboards treatment in accordance with NZS3602 on cavity system on approved Building paper fixed to 90x45 MSG8 studs @ 150 c/s max & roags @ 300 c/s max with R2.6 fibreglass batts insulation. 9.5mm gfb lining. Timber weatherboards as per E2/AS1 & NZS 3604.

**Roof Cladding:**  
 Timber shingles ex Shingle & Shake Roofing @ 15° pitch laid to suppliers written instructions - fall to gutter.

**Ceiling:**  
 12.5mm gfb ultralite (Aqualine to wet areas) lining on suspended rondo gfb bid system.  
 R3.2 fibreglass insulation to ceiling cavities.

**Deck:**  
 Selected removable timber decking on Nuraapy 3P with nuraalour waterproofing membrane laid to suppliers written instructions with 1.00 min fall.

**Joinery:**  
 New Single Laminated Solar Low E glass and timber joinery to match existing profile. Refer joinery manufacturer for specifications and installation instructions.  
 Check measurements on site before commencement of work.  
 To be read in conjunction with and be co-ordinate with other floor plans sections and elevations for dimensions and openings.

elevations design & draught  
 15 Lingarth St, Remuera, Auckland  
 Ph&Fax: (09) 522 4467  
 elevations@xtra.co.nz

**BUILDER** is responsible to site check all dimensions before commencing work and the planning of demolishing work. Identify secure/soil/stone exist services & secure the works prior to cutting/removing items. Take all reasonable precautions to avoid development of erosion, slips, dust, vapour & vibration. Provide temporary support and ensure new elements are sound, secure and safely in place. To comply with NZS: 3604, 1999 for all timber framing & fixing durability requirements and NZS 3602, 2003 for all timber treatment. For all structural work refer to engineers dwgs and calculations.  
**DRAINLAYER** to locate & check condition of existing private drains prior to commencement of any building work.  
**STORMWATER** pipes from downpipes to be directed and connected to existing water tank.  
**WASTEWATER** pipes to be directed and connected to sewage treatment system.

PROPOSED NEW DWELLING FOR BRIAR  
 WILSON, JAMES WILSON, MEGAN CORBETT  
 AT 66 GILLIES AVE, MT EDEN  
 DATE: 24.09.08 NORTH & SOUTH  
 SCALE: 1:100 ELEVATION **LO7A**

**PLUMBERS & DRAINLAYERS**

All drainage and plumbing shall be installed to comply strictly with the requirements of the Building Act, 1991 and NZEC. Drainlayers and plumbers shall produce on demand current registration license. No work shown on the consent documents shall be altered or realigned without prior written consent.

Existing drainage and plumbing systems to be exposed on site and new/alterer plumbing and drainage installed to suit. New and altered work is to comply with the NZEC (E1, G12 & G13). Particular attention is required to ensure pipe grade, gradient diameter and ventilation of waste and drainage systems comply. Disused pipework is to be capped/sealed at junction to live drain.

**NOTE:-**  
All wastes over 3.5m long to G.T. to be biventor or use AAV on basin. Shower trap to be easy clean type.

**LEGAL DESCRIPTION**

Pl. Allot 22  
Sec 6 Auckland Subs  
Site Area: 1,290 sqm  
Street Address: 66 Gillies Ave, Epsom  
Wind Zone: Low

**FOOTPRINT AREA:**

Existing:	118.0 sqm
Additional:	67.1 sqm
Impermeable: (Deck over 1.0m)	60.0 sqm
<b>Total:</b>	<b>245.1 SQM</b>



**LEGEND**

- Existing House
- House
- Addition

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Ph&Fax: (09) 522 4467  
elevations@xtra.co.nz

Topographical Plan of 66 Gillies Ave, Epsom  
(Part Lot 22, Section 6 Auckland Suburbs)

PROPOSED NEW DWELLING FOR BRIAR  
WILSON, JAMES WILSON, MEGAN CORBETT  
AT 66 GILLIES AVE, MT EDEN  
DATE: 26.02.09 SITE # PLUMBING  
SCALE: 1:150@A3 PLAN

LO1

LUC  
2009 26 9 4

AUCKLAND CITY ENVIRONMENTS  
12 OCT 2009  
APPROVED



**KEYNOTE SPECIFICATIONS**

**GENERAL NOTES:**

**Codes & Standards** - Work will be carried out to comply with the NZ Building Code, all relevant NZ Standards and manufacturers recommendations in accordance with good trade practice.

**Client Supply Items** - All materials supplied by the Client to the Contractor shall be protected accordingly and insured to cover any damage during construction.

**Access** - It will remain the Contractor's responsibility to ensure that there is adequate access for all items.

Delivery/installation: 66 Gillies Ave, Epsom

**FOUNDATIONS:**

**KN.01**  
Preliminary Work - Before starting work, locate and mark the position of the services affected by excavation work. Before starting excavation, arrange with the appropriate network to locate and mark the position of services.

**KN.02**  
Existing Services - Break out and remove old drainage pipes no longer required for the proposed works. Seal off ends of drains in Local Authority approval.

**KN.03**  
Site Clearance - Trim ground to required profiles, batten falls and levels. Remove all loose material. Protect all cut faces from collapse. Keep all excavations free from water.

**KN.04**  
Existing Path - Dig out old concrete work and remove.

**KN.05**  
Temporary Screens - Erect temporary screens wherever penetration of weather, dust and dirt will create nuisance or damage to the existing building.

**KN.06**  
Footing Excavation - Footing excavation site to be taken down to the depths shown. Trenches must be plumb and straight, bottoms level and sound, stepped as required and kept clean and free of water.

**KN.07**  
Foundation Piles - Refer to Engineers Calculations and Drawings for sizing.

**KN.08**  
Steelwork - Refer to Engineers Calculations and Drawings for sizing and fixing. Generally verify against site measurements prior to fabrication. Prime with Alkyd Oil Zinc Chromate priming paint. Plumb and level using sawn steel packs and wedges no larger than necessary for purpose. Patch prime any areas subsequent to site welding.

**KN.09**  
Floor Joists - Refer to Engineers Calculations and Drawings for sizing and fixing.

**KN.10**  
Perforated Foil - Brightly burnished perforated aluminium foil, draped to 100mm sag between joists with 100mm min overlap. Keep free of rips and tears and seal service penetrations for pipes and wires with aluminium adhesive tape.

**KN.11**  
Tongue & Groove Timber Flooring - Tensile timber floor boards ex Outpost Timber Supplies. Lay flooring strips as existing runs at right angles to joist joists in straight runs with tongues fitting into grooves. Tighten chipbead together strip by strip. Slightly undercut end joints and secure, fully supported on joist. Drill for nails at end joints.

**WALLS & CLADDING:**

**KN.12**  
Insulation - Friction fit Polyester thermal blanket between structure. Leave no gaps and maintain full thickness of blanket over the whole of the insulation. Leave a 150mm gap around recessed light fittings. Achieve an R value of 2.6 in wells and R3.2 ceilings.

**KN.13**  
Weatherboard Walls - Bevel backed timber weatherboards laid overlap to match existing works. Seal off ends of drains in Local Authority approval. Treatment in accordance with NZS3602. Prime face and edges before fixing. Prime all end cuts, butt end joints, mitre external corners and scribe internal corners. Drill and nail within 15mm of ends of boards. Fit cover boards, corner boxes and scribes to end joints and external corners to match existing. Lay cladding over heavy duty bluminox building paper lapped and/or taped to 90x45 MSG8 studs @ 600 c/s max & nogs @ 800 c/s max.

**KN.14**  
Balustrade Weatherboard Walls - Bevel backed timber weatherboards laid overlap to match existing on cavity system. Prime face and edges before fixing. Prime all end cuts, butt end joints, mitre external corners and scribe internal corners. Drill and nail within 15mm of ends of boards. Fit cover boards, corner boxes and scribes to end joints and external corners to match existing. Lay cladding over heavy duty bluminox building paper lapped and/or taped to 90x45 MSG8 studs @ 600 c/s max & nogs @ 800 c/s max.

**KN.15**  
Plywood Cladding - H3.2 treated B-D grade plywood sheet laid with grain to run vertical & H3.2 60x3 battens laid over joists. Fix sheets with 60x2.15 galvanneal nails and battens with 75.3.15 galvanneal nails. Lay up generally with B grade face to exterior.

**ROOF & CEILING:**

**KN.16**  
Roof Cladding - Timber shingles supplied and installed ex Shingle & Shake Roofing. See specifications attached.

**KN.17**  
 rafters - Refer to drawing L04 for specific sizes of rafters. Generally all at 900 c/s max. Rake to notes for fixings. Fix 50x25mm ceiling battens to webs of ceiling joists @ 400 c/s max. Fix plasterboards to webs of ceiling battens.

**KN.18**  
Deck Roof - Client selected removable timber decking on H3.2 MSG8 75x50 @ 400 c/s framing tapered to fall 1.60 min on Nuracour waterproofing membrane on Nurapy 3P laid to suppliers written instruction on 75x50 framing tapered other way on H3.1 MSG8 240x45 floor joists @ 400 c/s max.

**FINISHES & LININGS:**

**KN.19**  
Plasterboard (Standard) - 1 layer of 9.5mm tapered edge sheet fixed to wall framing to manufacturers recommendations. Stopping to level 4 to take fine paint finish.

**KN.20**  
Plasterboard (Bracing) - 1 layer of 9.5mm high density tapered edge sheet glued and fixed with clear washers and clouts to wall framing to manufacturers specifications. Stopping to level 4 to take fine paint finish.

**KN.21**  
Plaster board (Water Resistant) - 1 layer of 9.5mm modified tapered edge sheet fixed to wall framing to manufacturers recommendations. Stopping to level 4 to take fine paint finish.

**KN.22**  
Compressed Sheet - 1 layer of pre-sealed 9.5mm compressed sheet to interior of roof lining glued and fixed with screw fixings. Screws to be bedded in white silicone sealant prior to tightening.

**KN.23**  
Plasterboard Ceiling - 1 layer of 12.5mm tapered edge sheet gilled and screw fixed to wall framing to manufacturers recommendations. Stopping to level 4 to take fine paint finish.



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AUCKLAND

**DRAWING LIST**

- L01 Site Plan
- L02 Specifications
- L03 Proposed Floor Plan
- L04 Roof Framing Plan
- L05 Roof Plan
- L06 Elevations
- L07 Elevations
- L08 Cross Section
- L09 Longitude Section
- L10 Construction Details
- L11 Construction Details

elevations design & draught  
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Ph/Fax: (09) 522 4467  
elevations@xtra.co.nz

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PROPOSED NEW DWELLING FOR BRIAR  
WILSON, JAMES WILSON, MEGAN CORBETT  
AT 66 GILLIES AVE, MT EDEN  
DATE: 24.09.08 SPECIFICATIONS  
SCALE: 1:100

L02

**General Notes:**

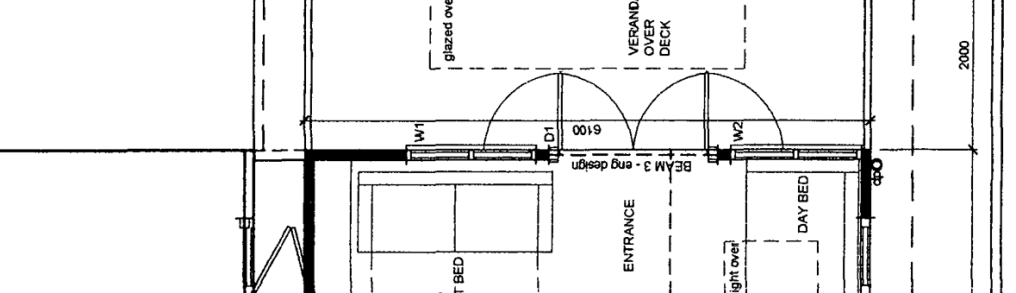
1. These plans shall be used as a guideline for the final details and drawings to be produced by the specified specialised manufacturer or subcontractor.
2. These plans must be read in conjunction with other floor plans, sections and elevations for dimensions and openings.
3. These plans must be read in conjunction with the engineer's calculations and drawings. Any discrepancies to be confirmed with architect and engineer prior to any construction.
4. Site check all dimensions before starting work.

**NOTES:**

1. The work includes & is limited to making good of existing or renewed framing & cladding.
2. All paving to fall away from the building.
3. All works to comply with all relevant clauses of the NZBC.
4. All timber construction to comply with NZS 3604:1998 & NZS 3604:2003.
5. Retain engineers report for steel fixings between beams and supporting studs.
6. Retain engineer 1:100 plans and engineers design for wall bracing structural studs and details.
7. Refer engineer's report for all structural details.
8. DESIGN OF HIGH WIND ZONE AND LIGHT ROOF: for structure design for stud size and spacing. Floor to ceiling height typically 2.4m.
9. 13mm gib aqualine to all wet areas. Shower linings shall be 9mm Hardies Villaboard.
10. Bathroom, toilet & laundry ventilation to G4VAS1 & NZS 4303:1990.
11. Where timber is in contact with concrete, D.P.C. must be applied in all cases.
12. Contractor to flash all windows and doors to create a weather tight building.
13. Generally walls shall be lined with 10mm gib.
14. All internal door heights generally shall be 1980 to underside of lintels.
15. Approved smoke deflectors to be installed within 3.0m from each bedroom.

**APPROVED FOR CONSTRUCTION**  
 17 OCT 2003  
 ACKLAND CITY ENGINEERING

**PROPOSED NEW DWELING FOR BRIAR WILSON, JAMES WILSON, MEGAN CORDETT AT 66 GILLIES AVE, MT EDEN**  
 DATE: 24.09.08 PROPOSED FLOOR PLAN  
 SCALE: 1:100



**EXISTING HOUSE**  
 New timber fold-back doors into existing opening at deck level above

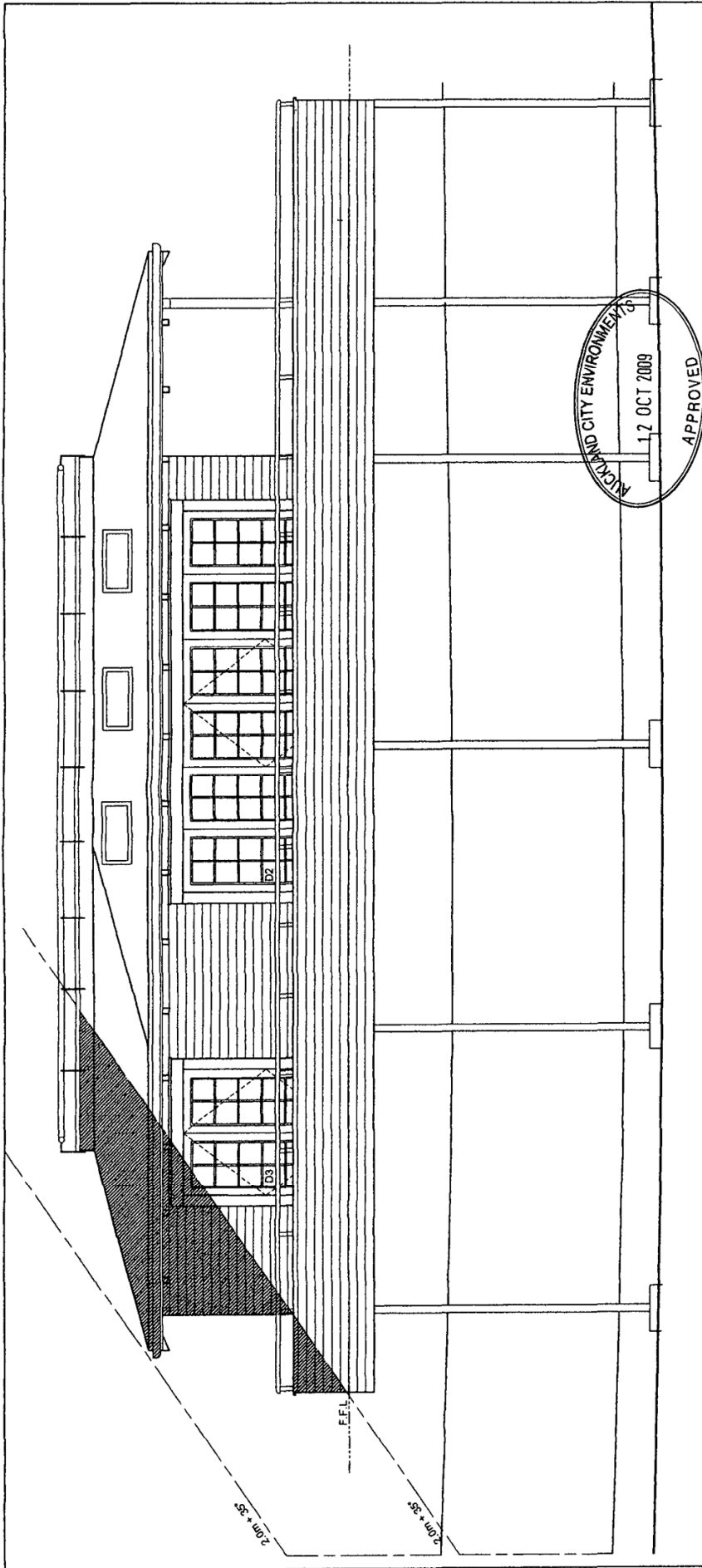
**LINTEL SCHEDULE:-**

TYPE	WIDTH	LINTEL SIZE
D1	1620mm	Engineer Design
D2	1620mm	190x70 MSG8
D3	1620mm	190x70 MSG8
D4	810mm	90x70 MSG8
D5	2840mm	Existing Opening
W1	1120mm	140x70 MSG8
W2	1120mm	140x70 MSG8
W3	1120mm	140x70 MSG8

All timber sizes are minimum  
 All lintels to be B fixing type - 2/100 x 3.75 skewed nails + 1 wire dog

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**elevations design & draught**  
 15 Limgarth St, Remuera, Auckland  
 Ph&Fax: (09) 522 4467  
 elevations@xtra.co.nz



**Notes**

**Floors:**

Selected timber t&g flooring. Refer engineers calculations for subfloor design.

**Exterior Walls:**

Bevel backed timber weatherboards treatment in accordance with NZS3602 on approved building paper directly fixed to 90x45 MSGS studs @ 600 c/s max & nogs @ 800 c/s max with R2.6 batts insulation. 9.5mm gib lining. Timber weatherboards as per NZS 3604.

**Exterior Walls to Enclosed Deck:**

Bevel backed timber weatherboards treatment in accordance with NZS3602 on cavity system on approved building paper. fixed to 90x45 MSGS studs @ 600 c/s max & nogs @ 800 c/s max with R2.6 fibreglass batts insulation. 9.5mm gib lining. Timber weatherboards as per E2/A31 & NZS 3604.

All lintels refer to floor plans.

All beams refer to engineers calculations.

**Ceiling:**

12.5mm gib ultralite (Aqualine to wet areas) lining on suspended rondo gib grid system.

R3.2 fibreglass insulation to ceiling cavities

**Roof Cladding:**

Timber shingles ex Shingle & Shake Roofing @ 15° pitch laid to suppliers written instructions - fall to gutter.

**Joinery:**

New Single Laminated Solar Low E glazed timber joinery to match existing profile. Refer joinery manufacturer for specifications and installation instructions.

Check measurements on site before commencement of work.

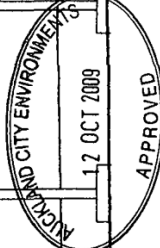
To be read in conjunction with and be co-ordinate with other floor plans sections and elevations for dimensions and openings.

**Deck:**

Selected removable timber decking on Nureply 3P with nura-colour waterproofing membrane laid to suppliers written instructions with 1.60 min fall.

LUC

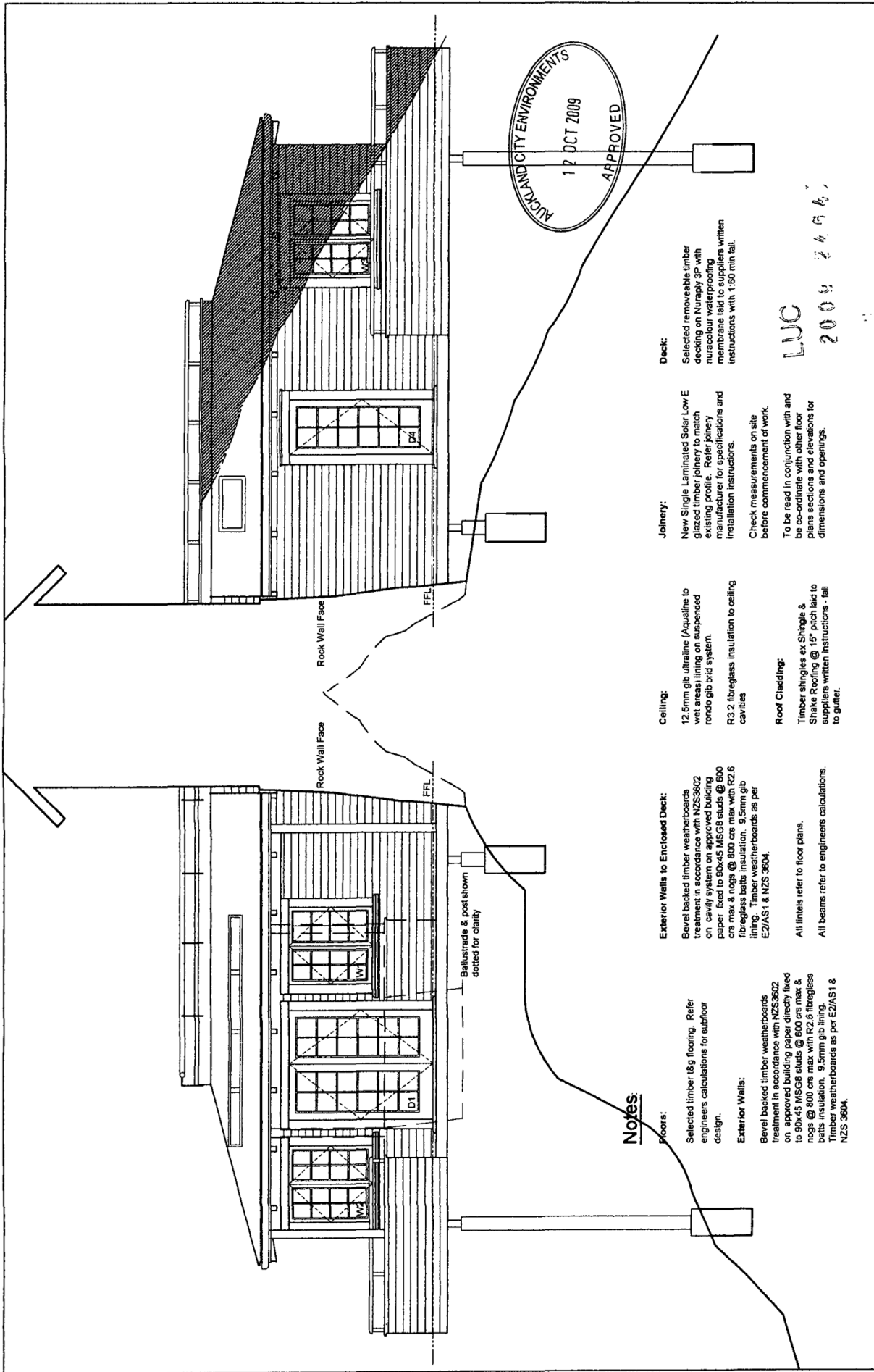
2009 7 4 6 4



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PROPOSED NEW DWELLING FOR BRIAR  
 WILSON, JAMES WILSON, MEGAN CORBETT  
 AT 66 GILLIES AVE, MT EDEN  
 DATE: 24.09.08 EAST ELEVATION  
 SCALE: 1:100 **L06**



**Deck:**  
Selected removable timber decking on Nuroguy 3p with nurocolour waterproofing membrane laid to suppliers written instructions with 150 min fall.

**Joiney:**  
New Single Laminated Solar Low E glazed timber joinery to match existing profile. Refer joinery manufacturer for specifications and installation instructions.  
Check measurements on site before commencement of work.

**Ceiling:**  
12.5mm gib ultraline (Aqualine to wet areas) lining on suspended rondo gib grid system.  
R3.2 fibreglass insulation to ceiling cavities.

**Roof Cladding:**  
Timber shingles ex Shingle & Shake Roofing @ 15° pitch laid to suppliers written instructions - fall to gutter.

**Exterior Walls to Enclosed Deck:**  
Bevel backed timber weatherboards treatment in accordance with NZS3602 on cavity system on approved building paper fixed to 90x45 MSG6 studs @ 600 c/s max & nogs @ 800 c/s max with R2.6 fibreglass batts insulation, 9.5mm gib lining. Timber weatherboards as per E2/AS1 & NZS 3604.  
All lintels refer to floor plans.  
All beams refer to engineers calculations.

**Floors:**  
Selected timber 1&g flooring. Refer engineers calculations for subfloor design.

**Exterior Walls:**  
Bevel backed timber weatherboards treatment in accordance with NZS3602 on approved building paper directly fixed to 90x45 MSG6 studs @ 600 c/s max & nogs @ 800 c/s max with R2.6 fibreglass batts insulation, 9.5mm gib lining. Timber weatherboards as per E2/AS1 & NZS 3604.

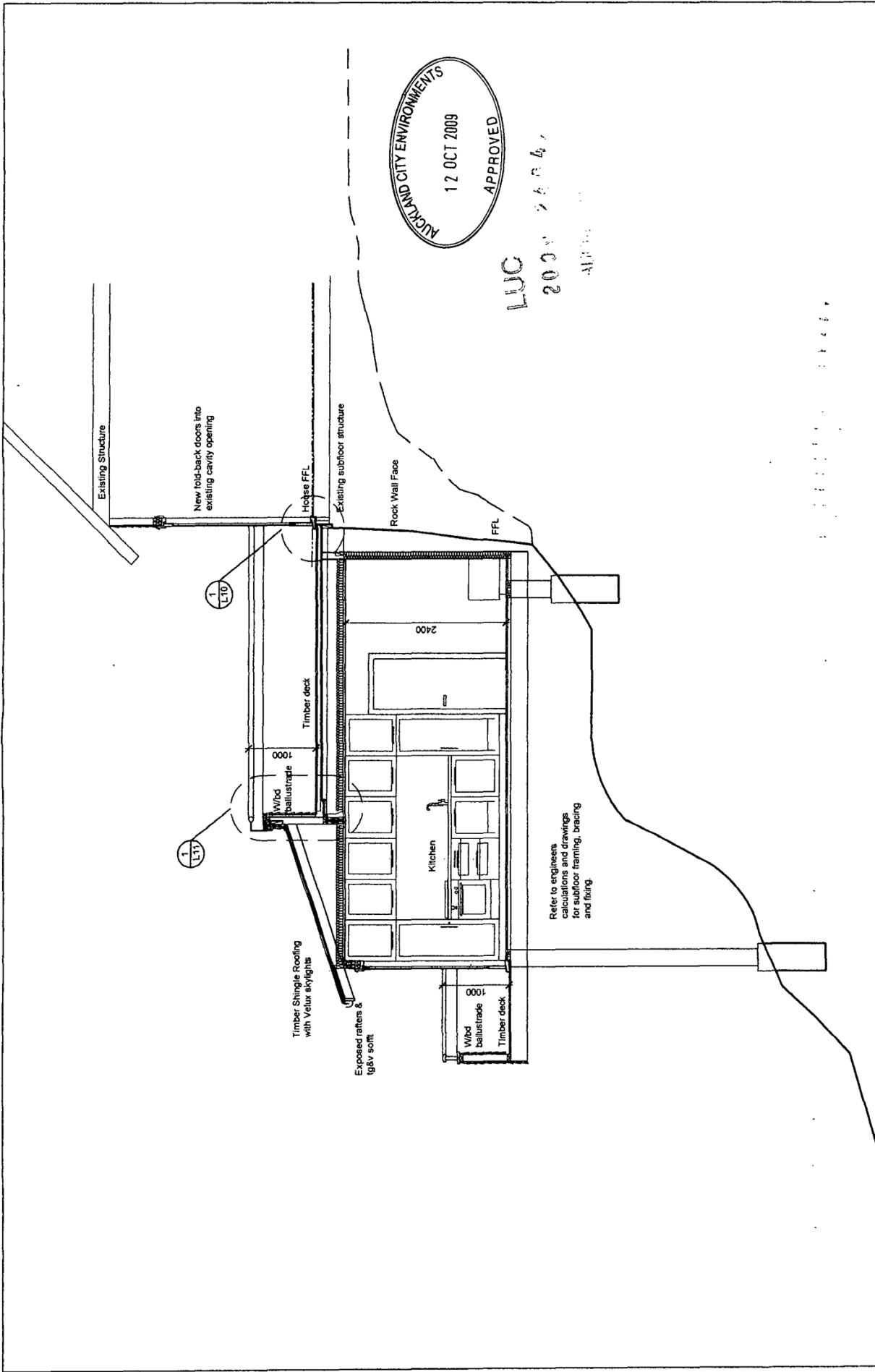
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2009 24 6 7

**Notes:**

**PROPOSED NEW DWELLING FOR BRIAR**  
WILSON, JAMES WILSON, MEGAN CORBETT  
AT 66 GILLIES AVE, MT EDEN  
DATE: 24.09.08 NORTH & SOUTH  
SCALE: 1:100 ELEVATION

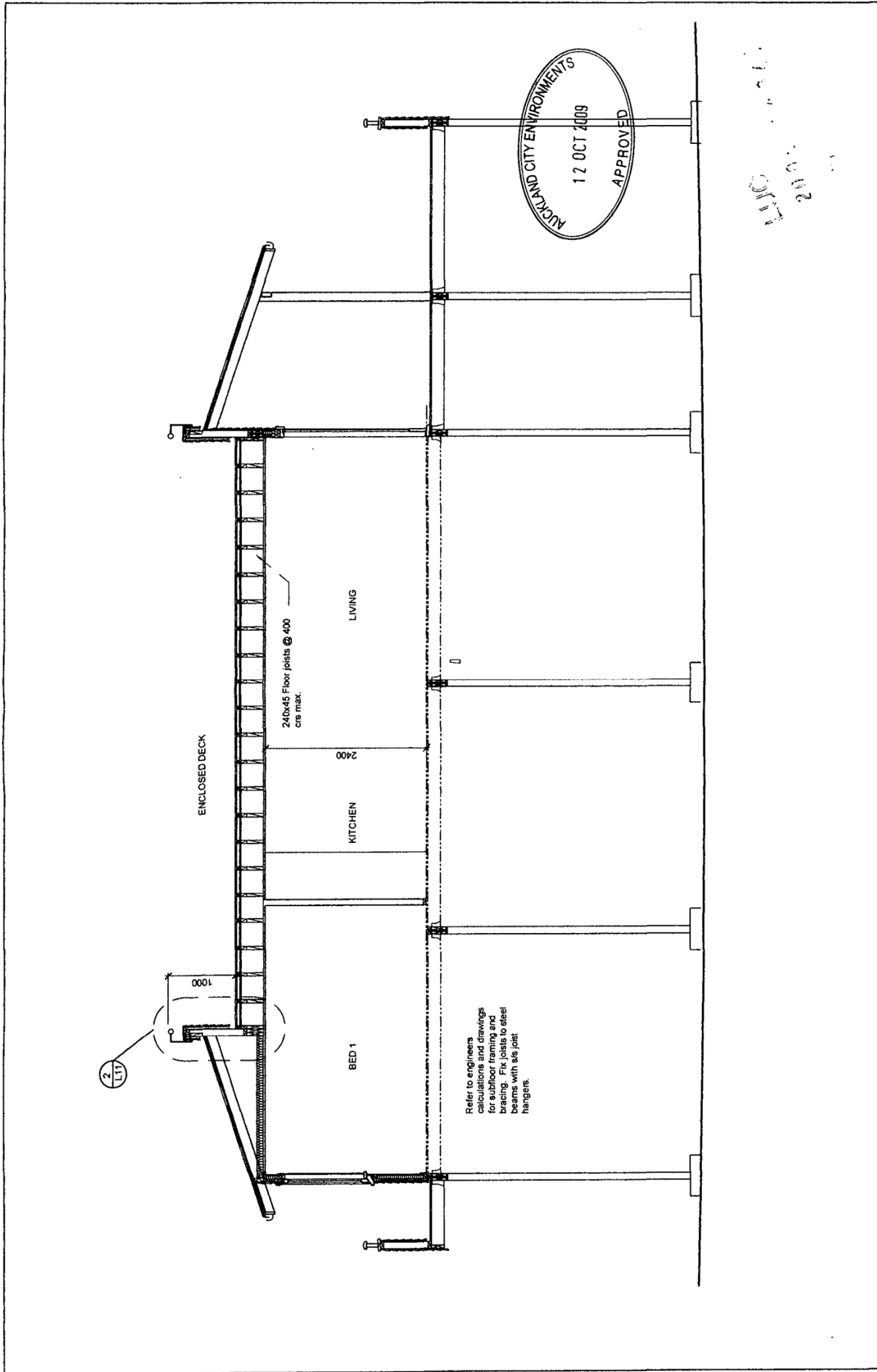
**eElevations** design & draught  
15 Limgarth St, Remuera, Auckland  
Ph&Fax: (09) 522 4467  
elevations@xtra.co.nz

LO7



<p>elevations design &amp; draught          15 Limgarth St, Remuera, Auckland          Ph&amp;Fax: (09) 522 4467          elevations@xtra.co.nz</p>	<p>BUILDER is responsible to site check all dimensions before commencing work and the planning of demolishing work. Identify secure/locate exist services &amp; secure the works prior to cutting/removing items. Take all reasonable precautions to avoid development of erosion, slips, dust, vapour &amp; vibration. Provide temporary support and ensure new elements are sound, secure and safely in place. To comply with NZS 3604: 1999 for all timber framing &amp; fixing durability requirements and NZS 3602: 2003 for all timber treatment. For all structural work refer to engineers dwgs and calculations. DRAINLAYER to locate &amp; check condition of existing private drains prior to commencement of any building work. STORMWATER pipes from downpipes to be directed and connected to existing water tank. WASTEWATER pipes to be directed and connected to sewage treatment system.</p>	<p>PROPOSED NEW DWELLING FOR BRIAR          WILSON, JAMES WILSON, MEGAN CORBETT          AT 66 GILLIES AVE, MT EDEN          DATE: 24.09.08 CROSS SECTION          SCALE: 1:100</p>
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LO8



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 15 Lingarth St, Remuera, Auckland  
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 elevations@xtra.co.nz

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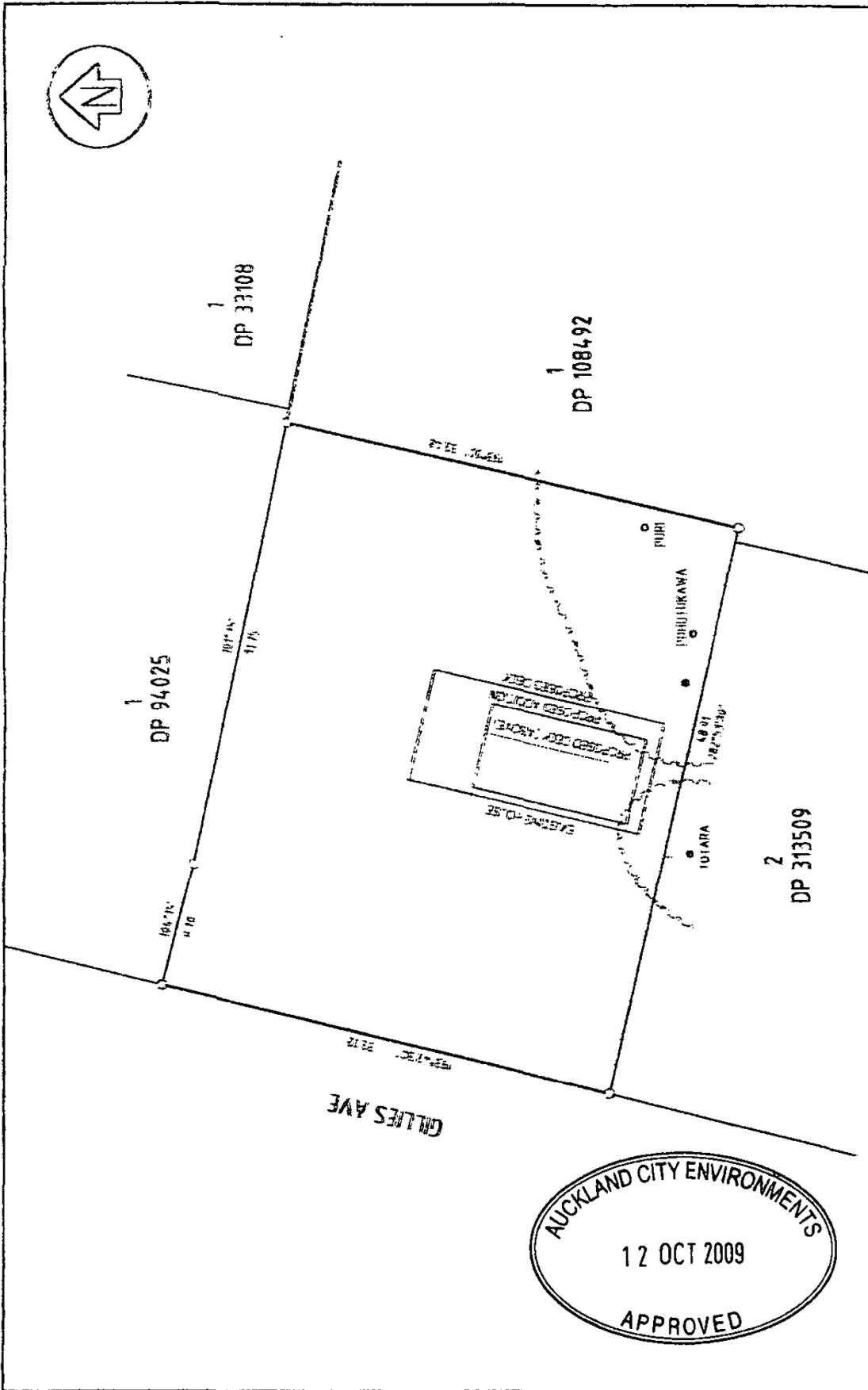
**DRAINLAYER** to locate & check condition of existing private drains prior to commencement of any building work.

**STORMWATER** pipes from downpipes to be directed and connected to existing water tank.

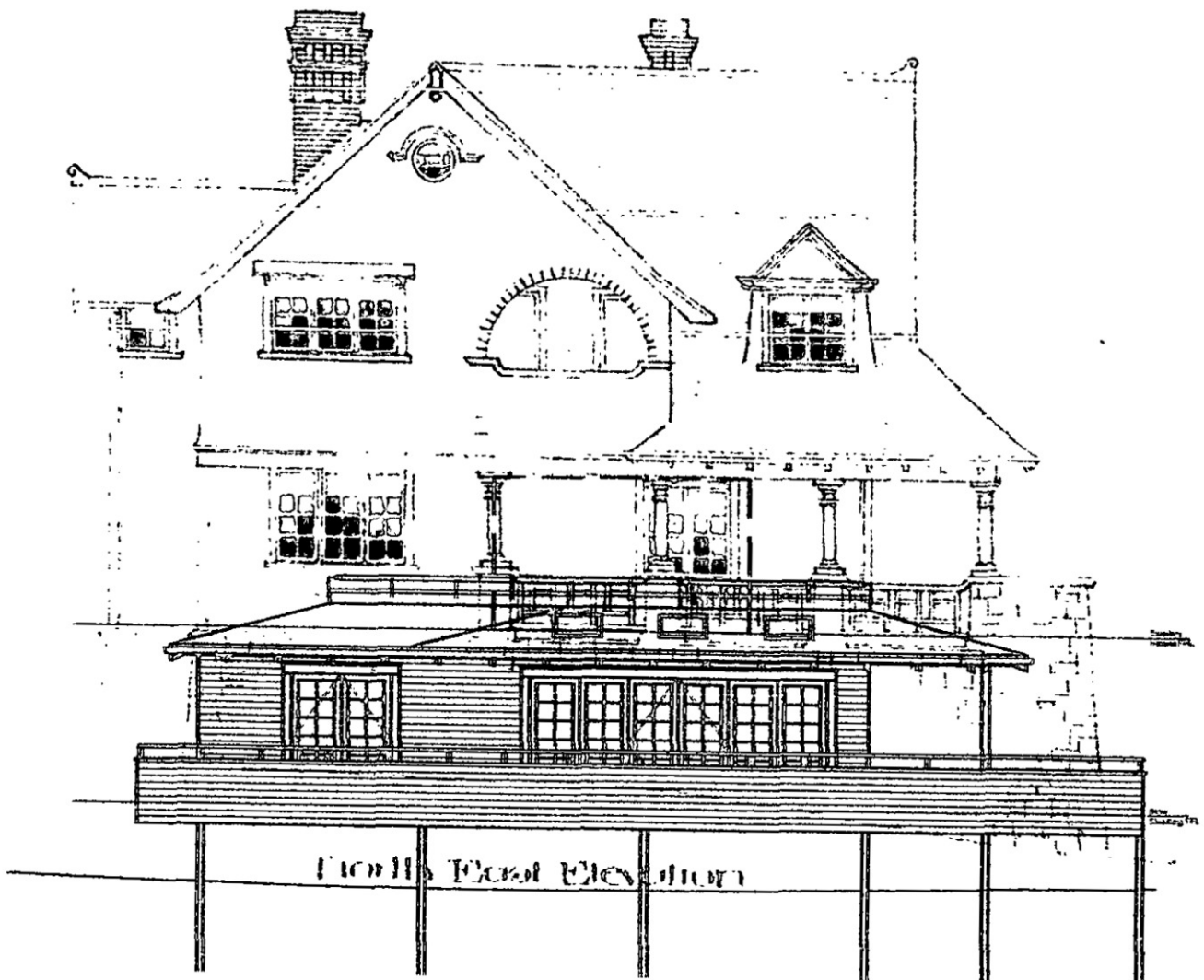
**WASTEWATER** pipes to be directed and connected to sewage treatment system.

PROPOSED NEW DWELLING FOR BRIAR  
 WILSON, JAMES WILSON, MEGAN CORBETT  
 AT 66 GILLIES AVE, MT EDEN  
 DATE: 24.09.08 LONGITUDE SECTION  
 SCALE: 1:100

109



AUCKLAND CITY		DATE: 14-10-09	SCALE: 1:250 (A1)	JOB NO: 05190
SITE PLAN - 66 GILLIES AVE, EPSOM				
DIMENSION SURVEYORS LTD. 28/2 WILLIAM PICKERING DR, ROSEDALE PH: 444-0762 FAX: 444-0763 email: info@dsfld.co.nz				



PLEASE NOTE: The purpose of this elevation is to compare the scale of the new dwelling to the existing house. This is the original elevation drawing of the existing house. In 1940 the house was altered, and the return verandah was filled in to the edge of the north facing external wall of the house, which exists today. The dotted line indicates the approximate position of a existing floor to ceiling window in the house.

