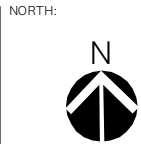




- KEY:
- Park boundary
  - Extent of works
  - Overland flow paths (primary)

- Overland flow paths (secondary)
- Flood prone areas
- Flood plains

- NOTES:
1. Refer also to the General Arrangement Plan (L8101), Levels & Drainage Plan (L8301), Demolition & Earthworks Plan (L8401), Sections(L8601), and construction details (L88 series) for further information.
  2. Hydrological information shown here is sourced from Council's GIS records.



PROJECT:				
0	DETAILED DESIGN	VF	IS	29/08/2024
REV	DESCRIPTION	BY	CHKD	DATE

PROJECT NAME:			
TAKAPUNA BEACH ACCESSIBLE PATH			
ISSUED FOR:			
DETAILED DESIGN			
SHEET TITLE:			
Site Context			
PROJECT NO:	SCALE:	SHEET NUMBER:	REVISION:
SML2406	NTS	L8001	0









NOTES:

1. Refer also to the Levels & Drainage Plan (L8301), Demolition & Earthworks Plan (L8401), Civil Plans (L85 series), Sections(L8601), and construction details (L88 series) for further information.
2. The contractor shall be responsible for locating all underground services and protecting the same for the duration of the construction works.
3. Silt control measures are to be established and maintained for the duration of the contract, in accordance with the Erosion and Sediment Control Guide for Land Disturbing Activities in the Auckland Region document.
4. All demolished material is to be sent for recycling, where possible. Excavated basecourse found may be reused on site. All stripped topsoil shall be stockpiled on site for later reuse. Any excavated fill / soil material removed from site shall be disposed of to an authorised facility.
5. All adjacent buildings, trees, furniture, and hardstand elements not scheduled for removal are to be protected for the duration of the contract works. The contractor will be required to make good any damage to these elements at their cost.
6. The site is to be fenced off from public access for the duration of the works, and signage advising the public of the duration of the works and alternative access routes shall be displayed clearly on the site. This signage will be arranged by the Project Manager.

KEY PLAN:

NORTH:



KEY:

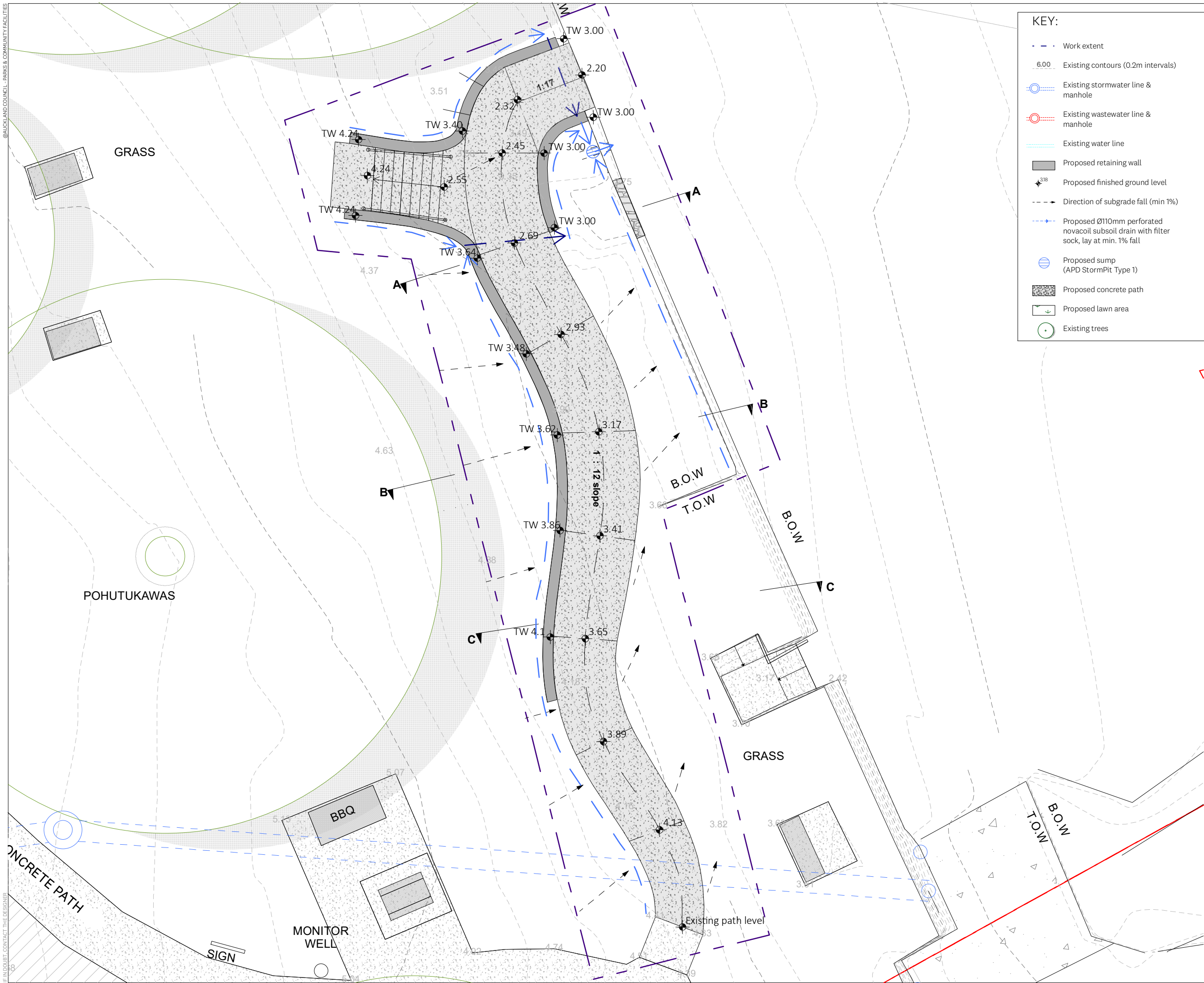
- - - Work extent
- - - Park boundary
- 6.00 Existing contours (1m intervals)
- Existing concrete path
- Existing tree
- Existing picnic set
- Existing seat
- Existing bin
- Proposed concrete path (1.5m-2.1m wide)
- Proposed retaining wall
- Reinstated lawn



PROJECT:				
0	DETAILED DESIGN	VF	IS	29/08/2024
REV	DESCRIPTION	BY	CHKD	DATE

PROJECT NAME:				
TAKAPUNA BEACH ACCESSIBLE PATH				
ISSUED FOR:				
DETAILED DESIGN				
SHEET TITLE:				
General Arrangement Plan				
PROJECT NO:	SCALE:	SHEET NUMBER:	REVISION:	
SML2406	1:100 @A3	L8101	0	





KEY:

- Work extent
- Existing contours (0.2m intervals)
- Existing stormwater line & manhole
- Existing wastewater line & manhole
- Existing water line
- Proposed retaining wall
- Proposed finished ground level
- Direction of subgrade fall (min 1%)
- Proposed Ø110mm perforated novacoil subsoil drain with filter sock, lay at min. 1% fall
- Proposed sump (APD StormPit Type 1)
- Proposed concrete path
- Proposed lawn area
- Existing trees

NOTES:

- Refer also to the General Arrangement Plan (L8101), Demolition & Earthworks Plan (L8401), Civil Plans (L85 series), Sections (L8601), and construction details (L88 series) for further information.
- The contractor shall be responsible for locating all underground services and protecting the same for the duration of the construction works.
- Silt control measures are to be established and maintained for the duration of the contract, in accordance with the Erosion and Sediment Control Guide for Land Disturbing Activities in the Auckland Region document.
- All demolished material is to be sent for recycling, where possible. Excavated basecourse found may be reused on site. All stripped topsoil shall be stockpiled on site for later reuse. Any excavated fill / soil material removed from site shall be disposed of to an authorised facility.
- All adjacent buildings, trees, furniture, and hardstand elements not scheduled for removal are to be protected for the duration of the contract works. The contractor will be required to make good any damage to these elements at their cost.
- The site is to be fenced off from public access for the duration of the works, and signage advising the public of the duration of the works and alternative access routes shall be displayed clearly on the site. This signage will be arranged by the Project Manager.

KEY PLAN:

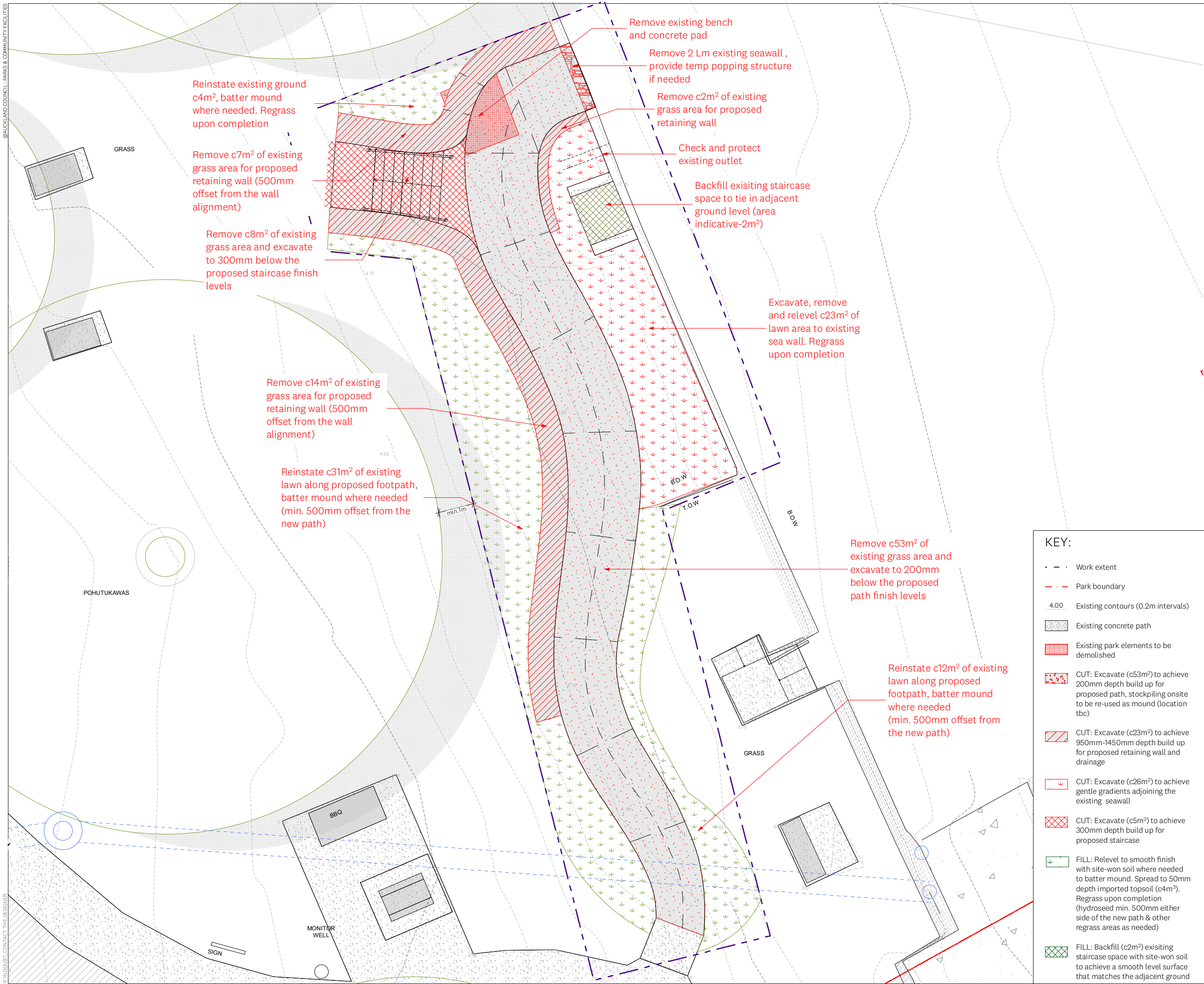
NORTH:



PROJECT:				
0	DETAILED DESIGN	VF	IS	29/08/2024
REV	DESCRIPTION	BY	CHKD	DATE

PROJECT NAME:				
TAKAPUNA BEACH ACCESSIBLE PATH				
ISSUED FOR:				
DETAILED DESIGN				
SHEET TITLE:				
Levels & Drainage Plan				
PROJECT NO:	SCALE:	SHEET NUMBER:	REVISION:	
SML2406	1:100 @A3	L8301	0	





Reinstate existing ground c4m<sup>2</sup>, batter mound where needed. Regrass upon completion

Remove c7m<sup>2</sup> of existing grass area for proposed retaining wall (500mm offset from the wall alignment)

Remove c8m<sup>2</sup> of existing grass area and excavate to 300mm below the proposed staircase finish levels

Remove c14m<sup>2</sup> of existing grass area for proposed retaining wall (500mm offset from the wall alignment)

Reinstate c31m<sup>2</sup> of existing lawn along proposed footpath, batter mound where needed (min. 500mm offset from the new path)

Remove existing bench and concrete pad

Remove 2 Lm existing seawall, provide temp popping structure if needed

Remove c2m<sup>2</sup> of existing grass area for proposed retaining wall

Check and protect existing outlet

Backfill existing staircase space to tie in adjacent ground level (area indicative-2m<sup>2</sup>)

Excavate, remove and relevel c23m<sup>2</sup> of lawn area to existing sea wall. Regrass upon completion

Remove c53m<sup>2</sup> of existing grass area and excavate to 200mm below the proposed path finish levels

Reinstate c12m<sup>2</sup> of existing lawn along proposed footpath, batter mound where needed (min. 500mm offset from the new path)

KEY:

- Work extent
- Park boundary
- Existing contours (0.2m intervals)
- Existing concrete path
- Existing park elements to be demolished
- CUT: Excavate (c53m<sup>2</sup>) to achieve 200mm depth build up for proposed path, stockpiling onsite to be re-used as mound (location tbc)
- CUT: Excavate (c23m<sup>2</sup>) to achieve 950mm-1450mm depth build up for proposed retaining wall and drainage
- CUT: Excavate (c26m<sup>2</sup>) to achieve gentle gradients adjoining the existing seawall
- CUT: Excavate (c5m<sup>2</sup>) to achieve 300mm depth build up for proposed staircase
- FILL: Relevel to smooth finish with site-won soil where needed to batter mound. Spread to 50mm depth imported topsoil (c4m<sup>3</sup>). Regrass upon completion (hydroseed min. 500mm either side of the new path & other regrass areas as needed)
- FILL: Backfill (c2m<sup>2</sup>) existing staircase space with site-won soil to achieve a smooth level surface that matches the adjacent ground

NOTES:

- Refer also to the General Arrangement Plan (L8101), Levels & Drainage Plan (L8301), Civil Plans (L85 series), Sections(L8601), and construction details (L88 series) for further information.
- The contractor shall be responsible for locating all underground services and protecting the same for the duration of the construction works.
- Silt control measures are to be established and maintained for the duration of the contract, in accordance with the Erosion and Sediment Control Guide for Land Disturbing Activities in the Auckland Region document.
- All demolished material is to be sent for recycling, where possible. Excavated basecourse found may be reused on site. All stripped topsoil shall be stockpiled on site for later reuse. Any excavated fill / soil material removed from site shall be disposed of to an authorised facility.
- All adjacent buildings, trees, furniture, and hardstand elements not scheduled for removal are to be protected for the duration of the contract works. The contractor will be required to make good any damage to these elements at their cost.
- The site is to be fenced off from public access for the duration of the works, and signage advising the public of the duration of the works and alternative access routes shall be displayed clearly on the site. This signage will be arranged by the Project Manager.

Indicative Earthworks Total (solid measure)

Topsoil  
- Excavated & Fill: refer the Engineer's drawing  
- Imported for regrass: c5m<sup>3</sup>  
-Excess: to be spread on site location (tbc)

Spray off grass  
-c160m<sup>2</sup>

Total earthworks area: c160m<sup>2</sup>

KEY PLAN:

NORTH:



PROJECT:				
0	DETAILED DESIGN	VF	IS	29/08/2024
REV	DESCRIPTION	BY	CHKD	DATE

PROJECT NAME:			
TAKAPUNA BEACH ACCESSIBLE PATH			
ISSUED FOR:			
DETAILED DESIGN			
SHEET TITLE:			
Demolition & Earthworks Plan			
PROJECT NO:	SCALE:	SHEET NUMBER:	REVISION:
SML2406	1:100 @A3	L8401	0



## Levels Table

Number	Minimum Level	Maximum Level	Colour
1	-1.40	0.00	<div></div>
2	0.00	1.00	<div></div>

### Earthworks Notes

- Assume topsoil strip to be 100mm depth on existing surface.
- Assume a fill bulking factor of 15%.

EW Area = 120m<sup>2</sup>

Total Cut = 55m<sup>3</sup>

Total Fill = 2m<sup>3</sup>

Net Cut to waste = 53m<sup>3</sup>

POHUTUKAWAS

EXISTING CONCRETE PATH

MONITOR WELL

BBQ

GRASS

NOT FOR CONSTRUCTION

### NOTES:

- All work and materials are to be in accordance with the A.C. and W.S.L. Engineering Quality Standards. Any deviations from the standards are to be reported to the engineer prior to construction.
- Existing services have been plotted from supplied data and as such their accuracy cannot be guaranteed. It is the responsibility of the contractor to establish the location and level of all existing services prior to the commencement of any work.
- The Contractor is to locate and protect all existing services including Power, telecom and Gas before commencing works. See the respective services authorities for assistance.
- The contractor shall allow for the capping off, excavation and removal if required of all redundant existing services in areas affected by works within the contract area, as shown on the drawings unless directed otherwise by the superintendent.
- The contractor must verify all dimensions and existing levels on site prior to commencement of work, and report any discrepancies to the superintendent.
- The contractor shall arrange for all setting out by a registered surveyor.
- Works are to comply with the Health and Safety plan submitted to the Engineer by the Contractor. For any excavation greater than 1.5m deep, the Contractor shall notify WorkSafe NZ. The Contractor has full responsibility and liability for Health and Safety on the site.
- All disturbed areas shall be restored to their original condition, unless specified otherwise.
- All work on the existing public drains is to be performed by a registered drain layer.
- Inspections are required of all pipe connections and bedding when placed prior to backfilling & all manholes when finished. The Contractor shall give 24 hours notice prior to requiring an inspection.
- Any discrepancy between the details shown on this drawing and conditions on site are to be notified to the Engineer immediately.
- All Levels relate to Auckland Vertical Datum 1946.

KEY PLAN:

NORTH:



PROJECT:				
0	DETAILED DESIGN	VF	IS	29/08/2024
REV	DESCRIPTION	BY	CHKD	DATE

PROJECT NAME: TAKAPUNA BEACH ACCESSIBLE PATH				
ISSUED FOR: DETAILED DESIGN				
SHEET TITLE: Civil Cut & Fill Layout				
PROJECT NO: SML2406	SCALE: 1:100	SHEET NUMBER: @A3 L8501	REVISION: 0	






- NOTES:
1. All work and materials are to be in accordance with the A.C. and W.S.L. Engineering Quality Standards. Any deviations from the standards are to be reported to the engineer prior to construction.
  2. Existing services have been plotted from supplied data and as such their accuracy cannot be guaranteed. It is the responsibility of the contractor to establish the location and level of all existing services prior to the commencement of any work.
  3. The Contractor is to locate and protect all existing services including Power, telecom and Gas before commencing works. See the respective services authorities for assistance.
  4. The contractor shall allow for the capping off, excavation and removal if required of all redundant existing services in areas affected by works within the contract area, as shown on the drawings unless directed otherwise by the superintendent.
  5. The contractor must verify all dimensions and existing levels on site prior to commencement of work, and report any discrepancies to the superintendent.
  6. The contractor shall arrange for all setting out by a registered surveyor.
  7. Works are to comply with the Health and Safety plan submitted to the Engineer by the Contractor. For any excavation greater than 1.5m deep, the Contractor shall notify WorkSafe NZ. The Contractor has full responsibility and liability for Health and Safety on the site.
  8. All disturbed areas shall be restored to their original condition, unless specified otherwise.
  9. All work on the existing public drains is to be performed by a registered drain layer.
  10. Inspections are required of all pipe connections and bedding when placed prior to backfilling & all manholes when finished. The Contractor shall give 24 hours notice prior to requiring an inspection.
  11. Any discrepancy between the details shown on this drawing and conditions on site are to be notified to the Engineer immediately.
  12. All Levels relate to Auckland Vertical Datum 1946.

KEY PLAN:

NORTH:



PROJECT:					
0	DETAILED DESIGN	VF	IS	29/08/2024	
REV	DESCRIPTION	BY	CHKD	DATE	

PROJECT NAME:

TAKAPUNA BEACH ACCESSIBLE PATH

ISSUED FOR:

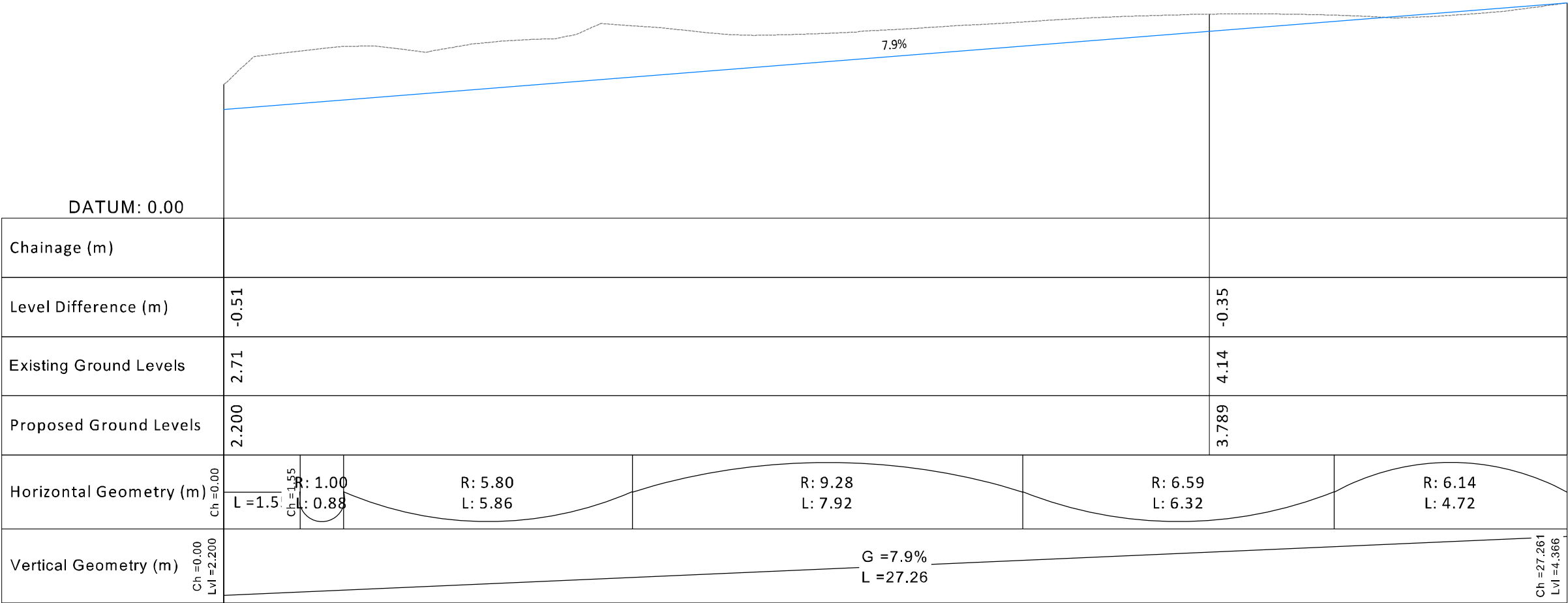
DETAILED DESIGN

SHEET TITLE:

Civil Finish Ground Layout

PROJECT NO:	SCALE:	SHEET NUMBER:	REVISION:
SML2406	1:100 @A3	L8502	0





# Proposed Footpath Long Section

Scale 1:100

NOTES:

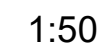
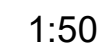
- All work and materials are to be in accordance with the A.C. and W.S.L. Engineering Quality Standards. Any deviations from the standards are to be reported to the engineer prior to construction.
- Existing services have been plotted from supplied data and as such their accuracy cannot be guaranteed. It is the responsibility of the contractor to establish the location and level of all existing services prior to the commencement of any work.
- The Contractor is to locate and protect all existing services including Power, telecom and Gas before commencing works. See the respective services authorities for assistance.
- The contractor shall allow for the capping off, excavation and removal if required of all redundant existing services in areas affected by works within the contract area, as shown on the drawings unless directed otherwise by the superintendent.
- The contractor must verify all dimensions and existing levels on site prior to commencement of work, and report any discrepancies to the superintendent.
- The contractor shall arrange for all setting out by a registered surveyor.
- Works are to comply with the Health and Safety plan submitted to the Engineer by the Contractor. For any excavation greater than 1.5m deep, the Contractor shall notify WorkSafe NZ. The Contractor has full responsibility and liability for Health and Safety on the site.
- All disturbed areas shall be restored to their original condition, unless specified otherwise.
- All work on the existing public drains is to be performed by a registered drain layer.
- Inspections are required of all pipe connections and bedding when placed prior to backfilling & all manholes when finished. The Contractor shall give 24 hours notice prior to requiring an inspection.
- Any discrepancy between the details shown on this drawing and conditions on site are to be notified to the Engineer immediately.
- All Levels relate to Auckland Vertical Datum 1946.



PROJECT:				
0	DETAILED DESIGN	VF	IS	29/08/2024
REV	DESCRIPTION	BY	CHKD	DATE

PROJECT NAME:			
TAKAPUNA BEACH ACCESSIBLE PATH			
ISSUED FOR:			
DETAILED DESIGN			
SHEET TITLE:			
Civil Path Long Section			
PROJECT NO:	SCALE:	SHEET NUMBER:	REVISION:
SML2406	As Shown @A3	L8503	0





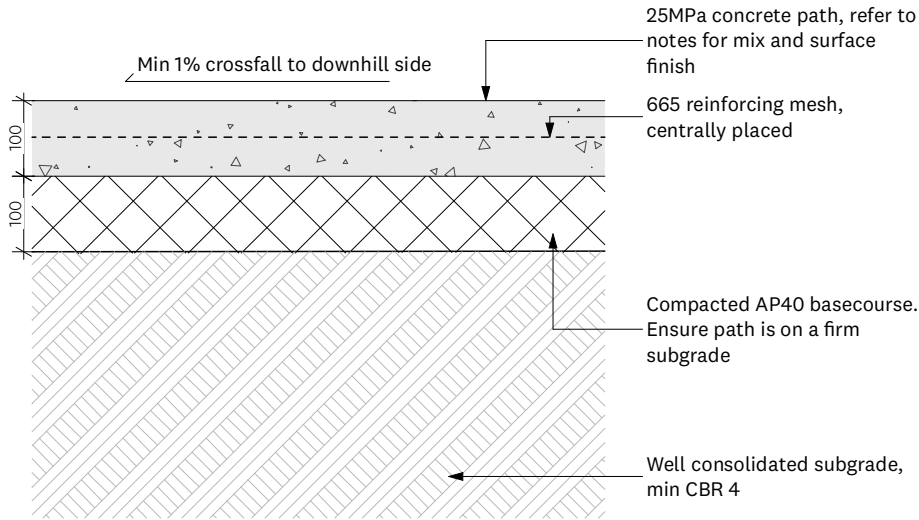
1. Refer also to the General Arrangement Plan (L8101), Levels & Drainage Plan (L8301), Demolition & Earthworks Plan (L8401), Civil Plans (L85 series), and construction details (L88 series) for further information.
2. The contractor shall be responsible for locating all underground services and protecting the same for the duration of the construction works.
3. Silt control measures are to be established and maintained for the duration of the contract, in accordance with the Erosion and Sediment Control Guide for Land Disturbing Activities in the Auckland Region document.
4. All demolished material is to be sent for recycling, where possible. Excavated basecourse found may be reused on site. All stripped topsoil shall be stockpiled on site for later reuse. Any excavated fill / soil material removed from site shall be disposed of to an authorised facility.
5. All adjacent buildings, trees, furniture, and handstand elements not scheduled for removal are to be protected for the duration of the contract works. The contractor will be required to make good any damage to these elements at their cost.
6. The site is to be fenced off from public access for the duration of the works, and signage advising the public of the duration of the works and alternative access routes shall be displayed clearly on the site. This signage will be arranged by the Project Manager.



PROJECT NAME:			
TAKAPUNA BEACH ACCESSIBLE PATH			
ISSUED FOR:			
DETAILED DESIGN			
SHEET TITLE:			
Sections			
PROJECT NO:	SCALE:	SHEET NUMBER:	REVISION:
SML2406	1:50 @A3	L8601	0

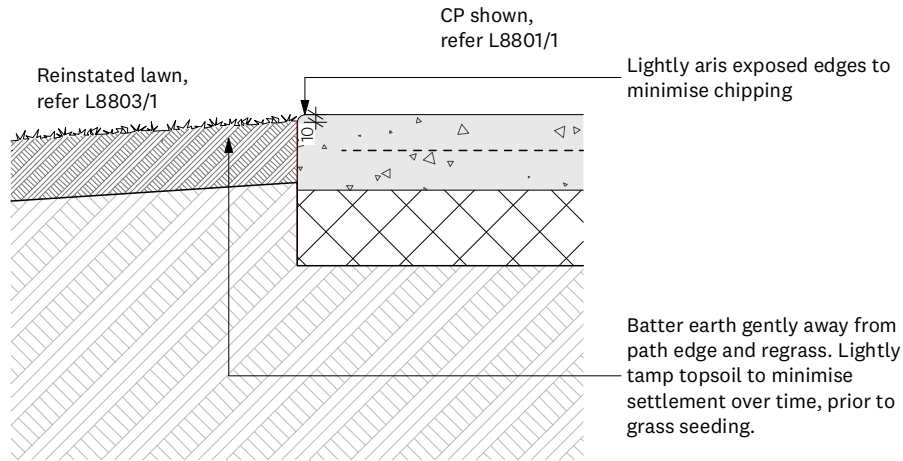


**\*NOTES:**  
Concrete mix to be standard basalt chip (10mm), with 4kg/m3 black oxide added and shell evenly broadcast into the top surface. Allow approx 5% of the top surface to appear as shell



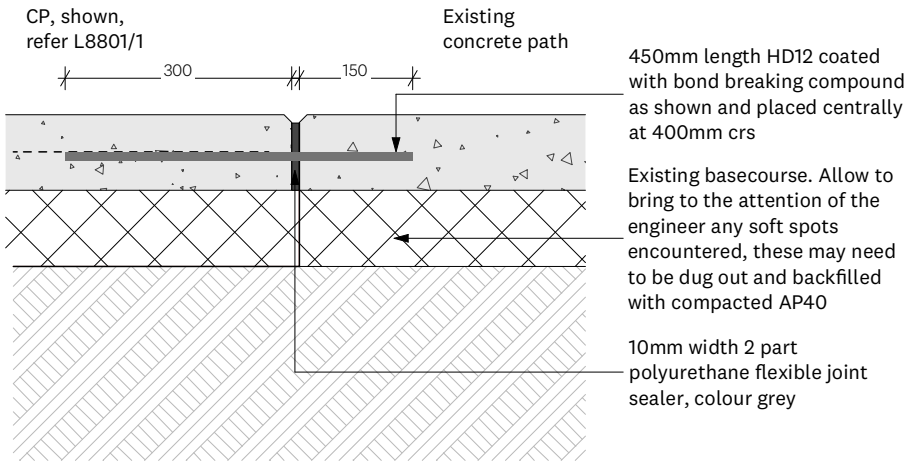
1 Concrete path [CP] for pedestrian loading detail 1:10

**\*NOTES:**  
For general use (as shown) and adjacent to grassed areas



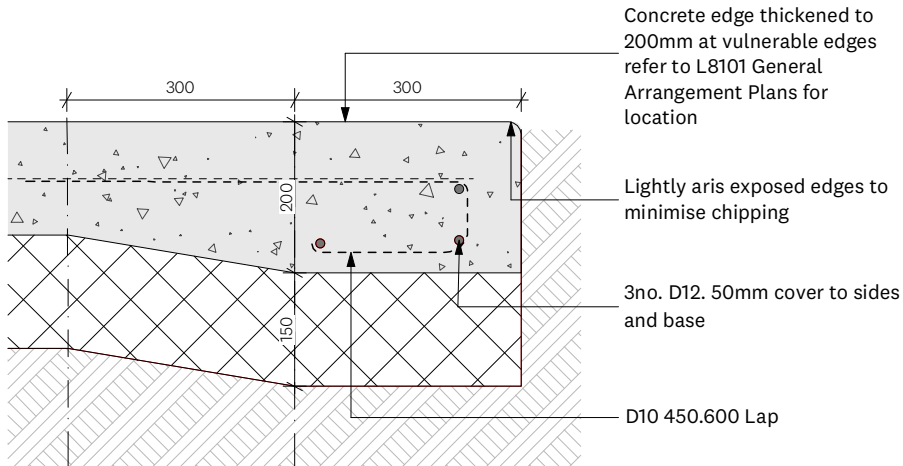
2 Concrete path / grass edge detail 1:10

**\*NOTES:**  
Add notes specific to this detail



3 Concrete path joining detail 1:10

**\*NOTES:**  
Thickened concrete edge to placed where adjoining to beach. Refer to L8101 General Arrangement Plans for location



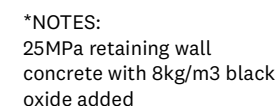
4 Thickened concrete edge 1:10

- NOTES:
1. All dimensions in millimetres.
  2. Refer also to General Arrangement plan (L8101) for location of paths, including excavation depths. Refer also to the technical specification for details on quality standards.
  3. All watercourses shall be protected during the course of works to prevent the migration of sediment and contaminants.
  4. Boxing must be to full depth of concrete.
  5. Sawcuts to be at 3m max crs, and cut perpendicular to the direction of travel. Ensure cuts are made within the maximum curing time - boards are not to be used.
  6. Ensure that concrete does not dry out during curing period.
  7. Ensure 50mm minimum to cover all reinforcing.
  8. All concrete to have minimum strength of 25MPa.
  9. Add 4kg/m<sup>3</sup> black oxide to concrete mix for paths. Lightly exposed aggregate finish
  10. Ensure all disturbed areas of grass are hydroseeded upon completion of path formation.

PROJECT:				
0	DETAILED DESIGN	VF	IS	29/08/2024
REV	DESCRIPTION	BY	CHKD	DATE

PROJECT NAME:			
TAKAPUNA BEACH ACCESSIBLE PATH			
ISSUED FOR:			
DETAILED DESIGN			
SHEET TITLE:			
Hard Surface Details			
PROJECT NO:	SCALE:	SHEET NUMBER:	REVISION:
SML2406	As Shown @A3	L8801	0





1. All dimensions in millimetres.
2. Refer also to General Arrangement plan (L8101), Levels & Drainage Plan (L8301), Demolition & Earthworks Plan (L8401), for location of seating wall, including excavation depths. Refer also to the technical specification for details on quality standards.
3. All concrete to have a minimum strength of 25MPa.
4. Add 8kg/m<sup>3</sup> black oxide to concrete mix for walls. F4 light sandblast finish.
5. Ensure that concrete does not dry out during curing period.
6. Ensure 50mm minimum to cover all reinforcing.
7. Ensure all disturbed areas of grass are hydroseeded upon completion of installation.

1:20

4 Concrete Landing Edging detail 1:20

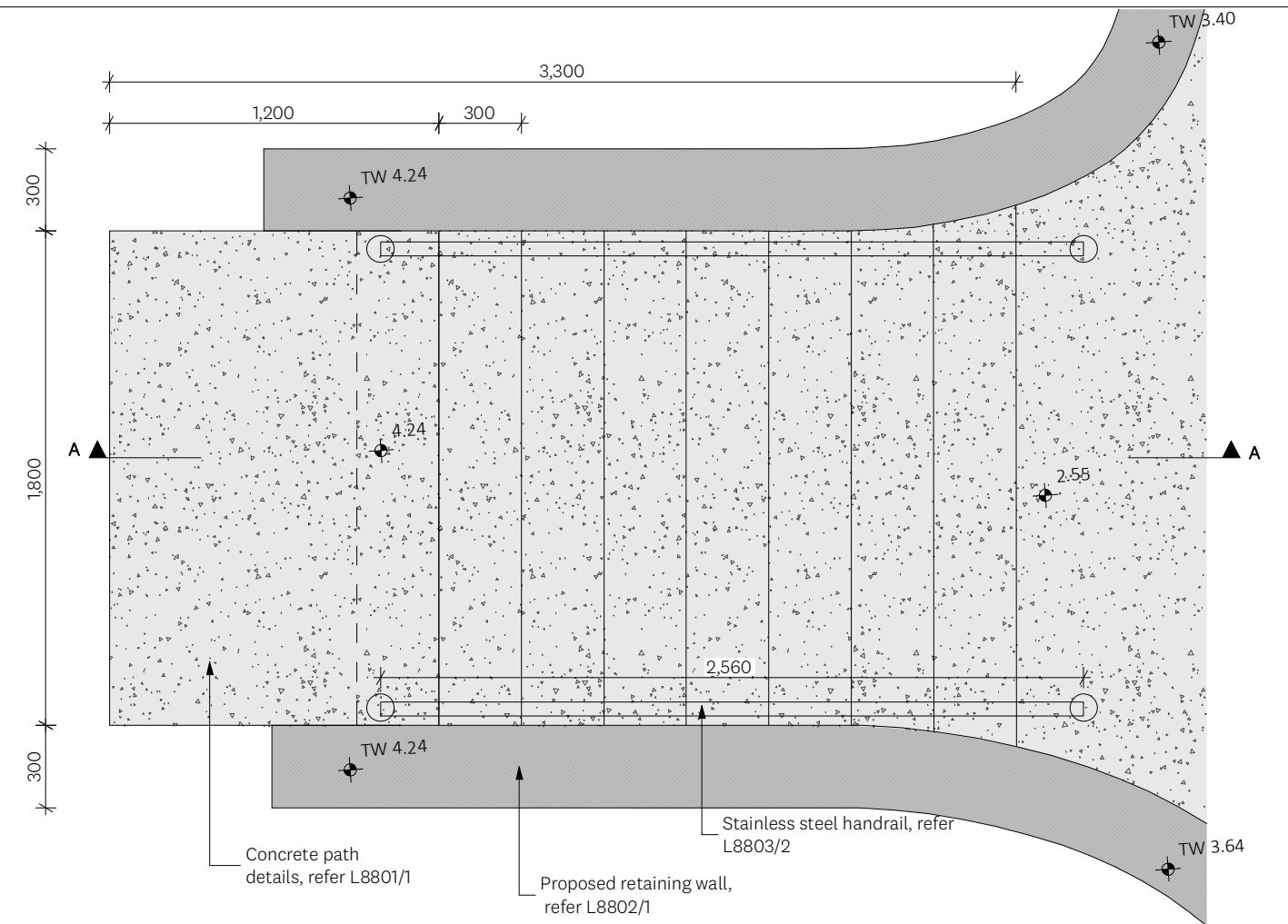


PROJECT:				
0	DETAILED DESIGN	VF	IS	29/08/2020
REV	DESCRIPTION	BY	CHKD	DATE

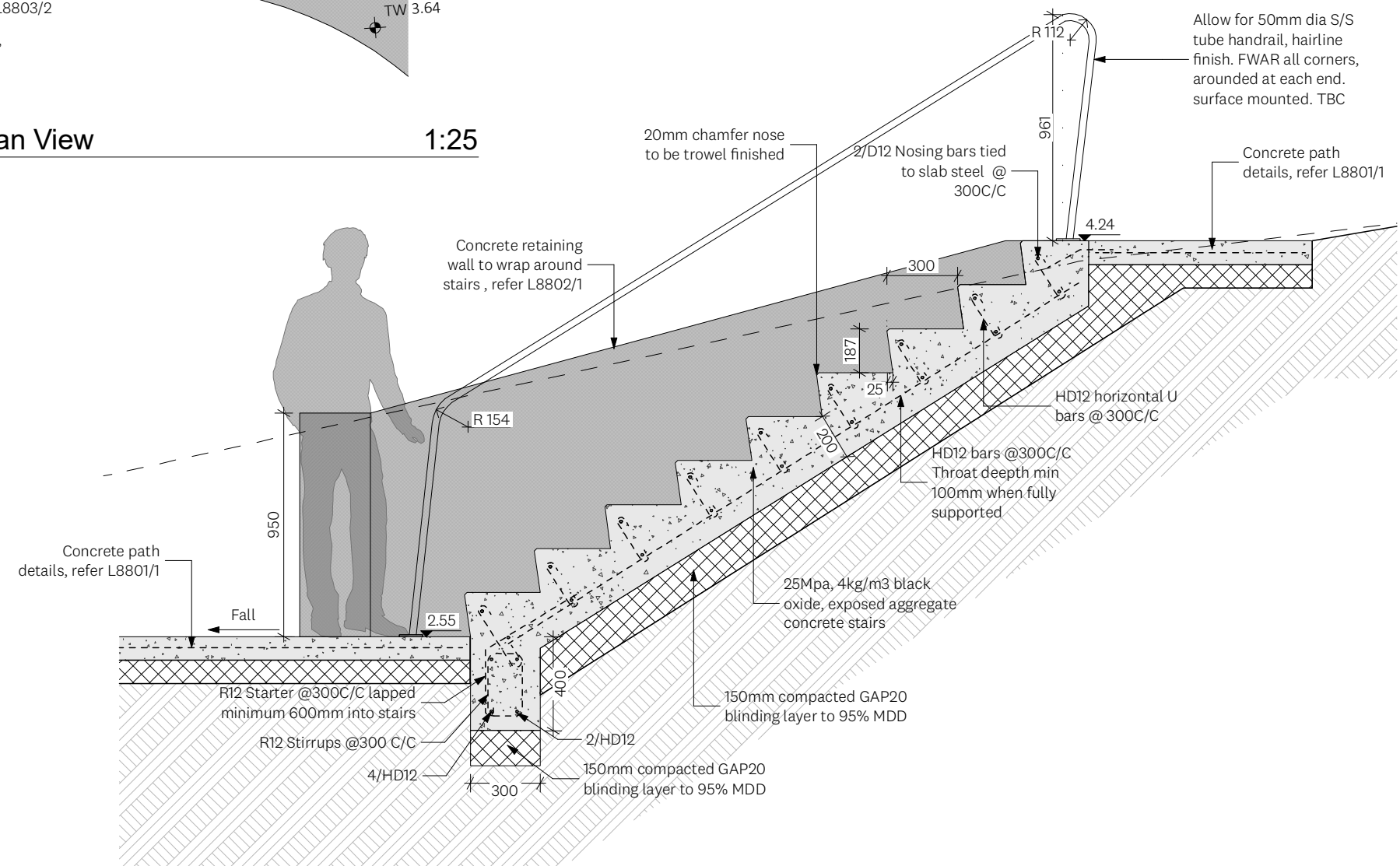
PROJECT NAME:	
TAKAPUNA BEACH ACCESSIBLE PATH	
ISSUED FOR:	
DETAILED DESIGN	
SHEET TITLE:	
Retaining Wall & Landing Details	

PROJECT NO:	SCALE:	SHEET NUMBER:	REVISION:
SML2406	As Shown @A3	L8802	0





1 Concrete Stairs Plan View 1:25



2	Concrete Stairs Plan View	1:25
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NOTES:

1. All dimensions in millimetres.
2. Refer also to General Arrangement plan (L8101), Levels & Drainage Plan (L8301), Demolition & Earthworks Plan (L8401), for location of seating wall, including excavation depths. Refer also to the technical specification for details on quality standards.
3. All concrete to have a minimum strength of 25MPa.
4. Add 4kg/m<sup>3</sup> black oxide to concrete mix. F4 light sandblast finish.
5. Ensure that concrete does not dry out during curing period.
6. Ensure 50mm minimum to cover all reinforcing.
7. Ensure all disturbed areas of grass are hydroseeded upon completion of installation.

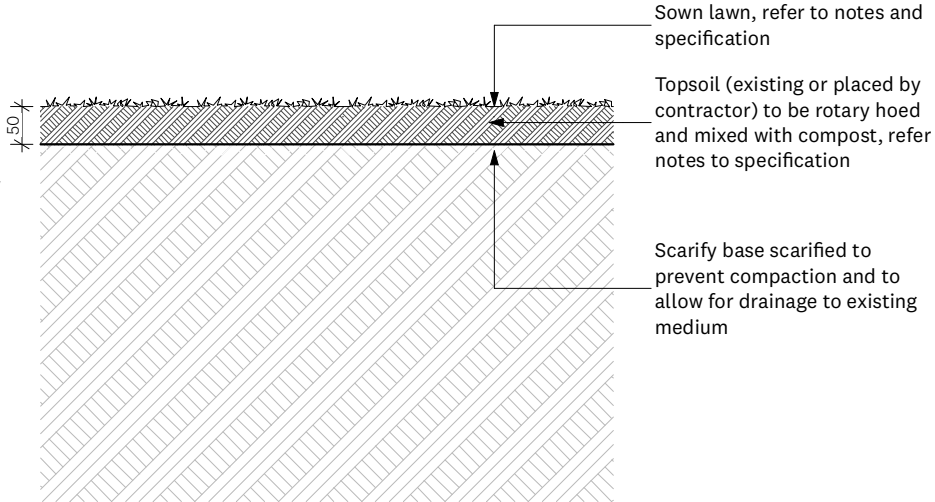


PROJECT:				
0	DETAILED DESIGN	VF	IS	29/08/2021
REV	DESCRIPTION	BY	CHKD	DATE

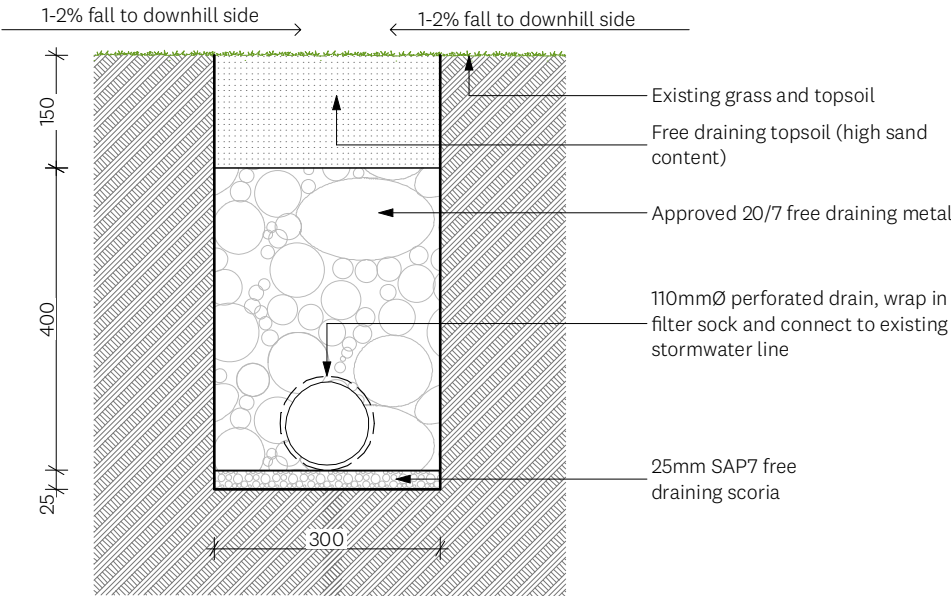
PROJECT NAME:			
TAKAPUNA BEACH ACCESSIBLE PATH			
ISSUED FOR:			
DETAILED DESIGN			
SHEET TITLE:			
Concrete Stairs Details			
PROJECT NO:	SCALE:	SHEET NUMBER:	REVISION:
SML2406	As Shown @A3	L8803	0



**\*NOTES:**  
**SPRAY:** all grass and broadleaf weeds prior to cultivation  
**CULTIVATION:** Place and spread 40mm of Living Earth compost or approved similar. Rotary hoe existing / imported topsoil at depth shown, mixing compost in.  
**TOPSOIL:** screeded, weed free as per specification  
**LAWN:** Sow grass seed mix as per specification

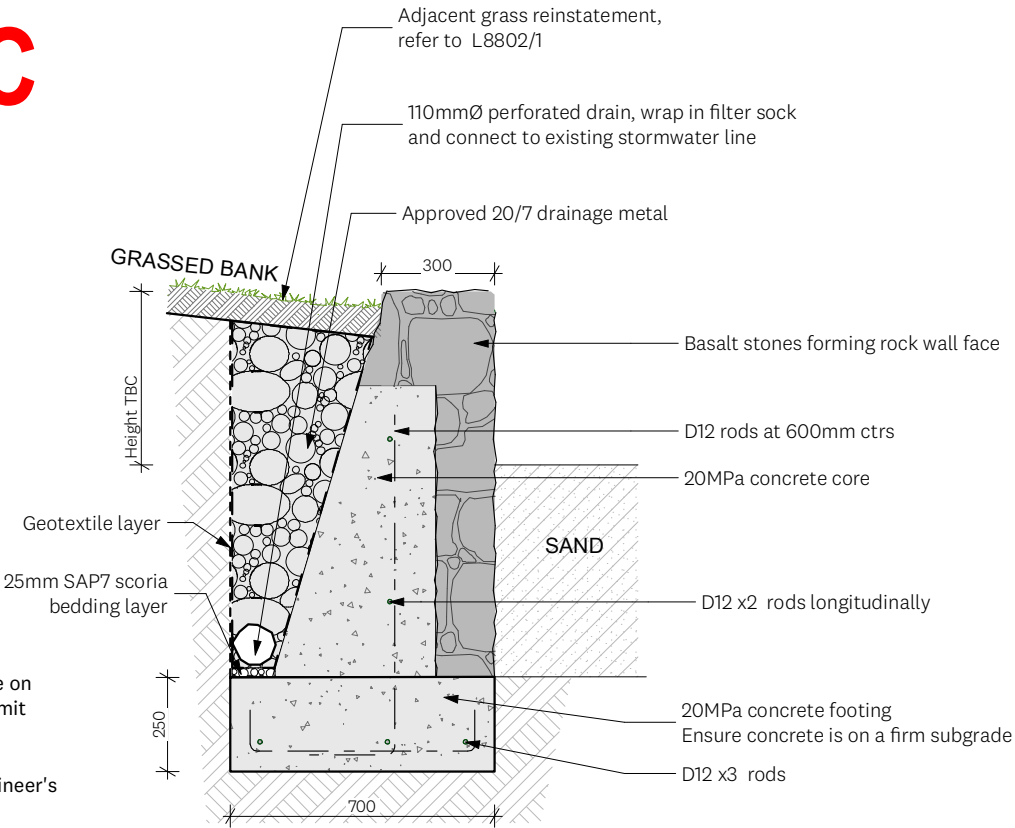


1 Grass reinstatement detail (site preparation) 1:10



2 Typical Subsoil Drainage (within lawn) detail 1:10

TBC



**\*NOTES:**  
Contractors shall base on site conditions to submit new basalt rock wall installation method statement for the engineer's approval.

3 Basalt Rock Wall Details 1:20

- NOTES:
1. All dimensions in millimetres.
  2. Refer also to the technical specification for details on quality standards.
  3. Contractor to determine the location of underground services and ensure that they are all adequately protected.
  4. All watercourses shall be protected during the course of the works to prevent migration of sediment and contaminants.
  5. Ensure drains fall at minimum 1% to catchpits, and test before backfilling.
  6. Ensure all disturbed areas of grass are hydroseeded upon completion of installation.
  7. Additional geotextile may be required around drainage metal for subsoil drains, depending on site conditions.



PROJECT:				
0	DETAILED DESIGN	VF	IS	29/08/2024
REV	DESCRIPTION	BY	CHKD	DATE

PROJECT NAME:			
TAKAPUNA BEACH ACCESSIBLE PATH			
ISSUED FOR:			
DETAILED DESIGN			
SHEET TITLE:			
Other Details			
PROJECT NO:	SCALE:	SHEET NUMBER:	REVISION:
SML2406	As Shown @A3	L8804	0



# Takapuna Beach Accessible Path

September 2024

Roma Leota – Senior Project Manager (Parks and Community Facilities)





## Purpose

To review the draft detailed design for the accessible path at Takapuna Beach.

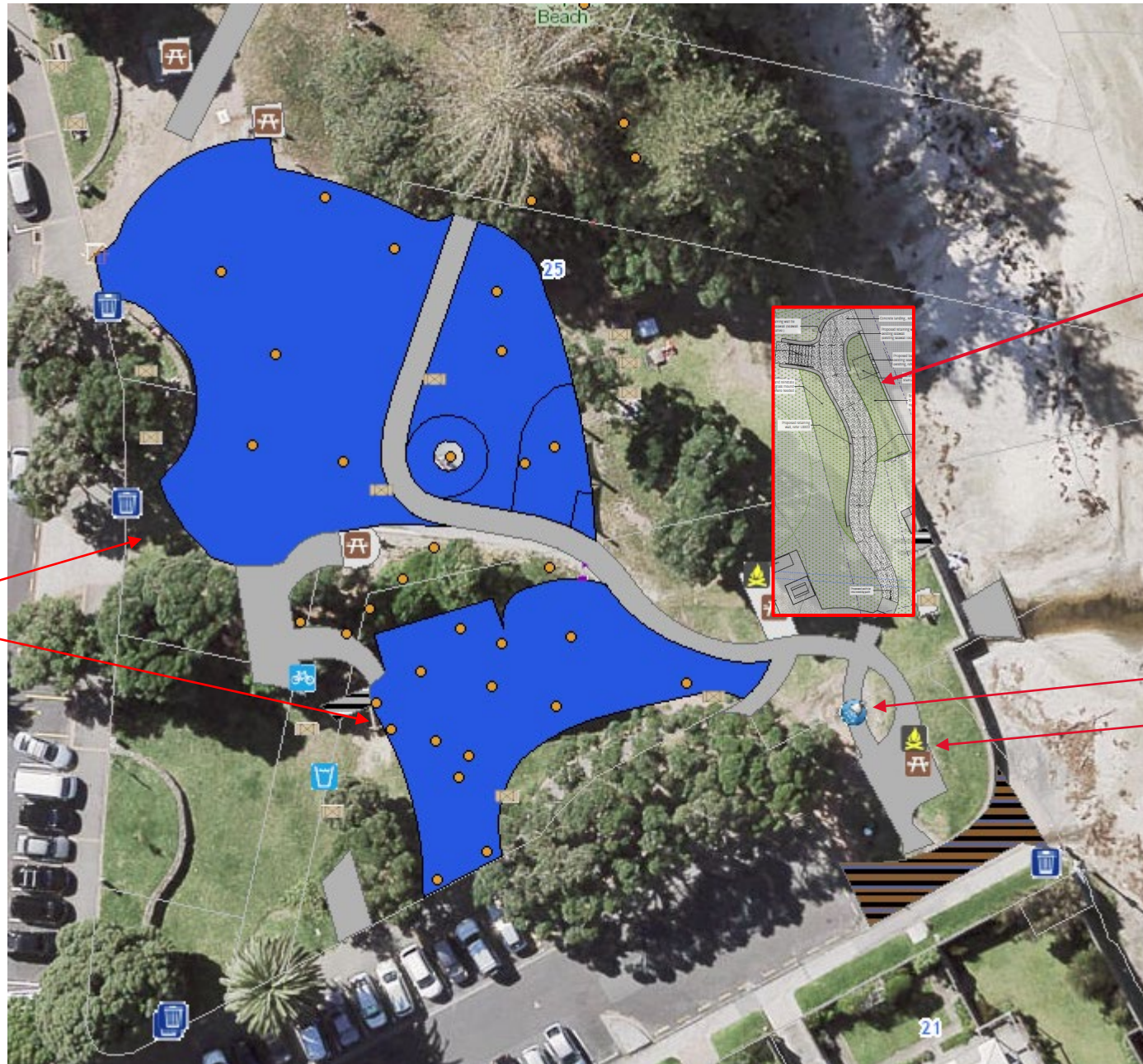






# Site

Playground



Proposed Accessible Path  
(indicative)

Shower

BBQ & Picnic table



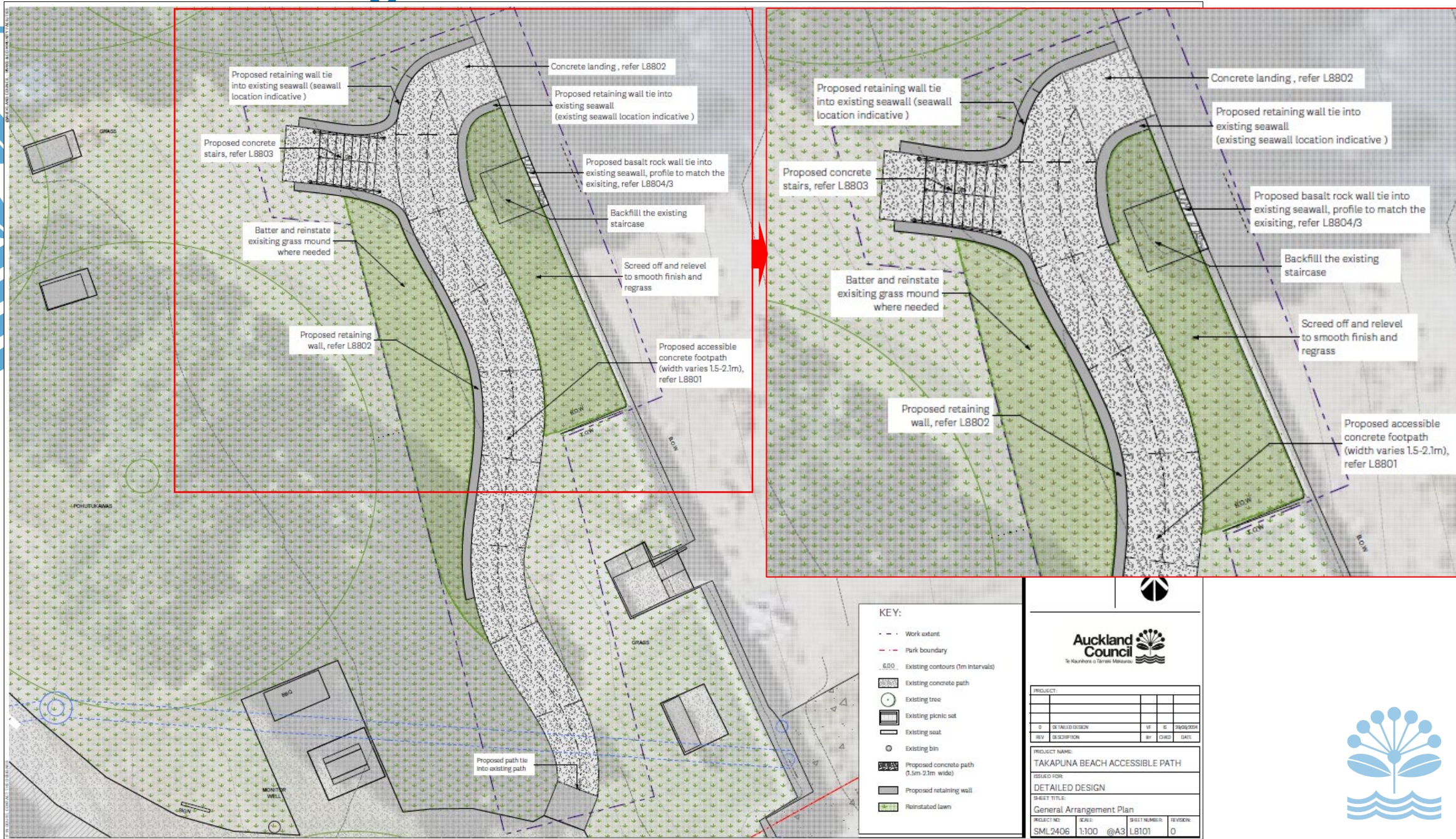


# Proposed path





# Detailed Design







# Budget

Financial Year	Total (\$)
FY 2025	\$51,079
FY 2026	\$64,900
FY 2027	\$179,346







## Next steps

- Update local board with cost estimates
- Share the design with YES Disability
- Prepare and lodge resource consent
- Tender and award contract for physical works





**Thank you**

**Ngā mihi**



# Schedule of Condition

Prepared For

AUCKLAND COUNCIL

---

139 Beach Road  
Castor Bay  
Auckland

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SEPTEMBER 2024  
P24-0186





# Document Control

## Document Revision History

REPORT TITLE	Schedule of Condition	
PROJECT NUMBER	P24-0186	
CLIENT	Auckland Council	
CLIENT CONTACT	Roma Leota	

REV	DATE	REVISION DETAILS
DRAFT	19/09/2024	Draft issue to client (Awaiting QS Estimate)
Rev 0	23/09/2024	Final copy with draft estimate

## Authorisation for Issue

Signed (Author)

Peer Reviewed

Name Chloe Parkin BSc (Hons)  
Position Building Surveyor  
For and on behalf of Hampton Jones Property Consultancy Limited

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Position Senior Building Surveyor  
For and on behalf of Hampton Jones Property Consultancy Limited





## Executive Summary

The premises is located at 139 Beach Road, on a sloping site within the grounds of Kennedy Park. The building is a timber framed, single storey structure with a corrugated fibre cement roof and timber joinery. This report was commissioned to provide an updated assessment on the condition of the premises following a prior condition and asbestos assessment in 2018 by Hampton Jones Property Consultancy Ltd.

As repairs or remedial works have not been undertaken, the building has deteriorated further with the majority of elements now in a poor condition and requiring major repairs or replacement.

Damage to framing is severe with borer and decay widespread. Lack of treatment has damaged, and will continue to damage, all timber elements. This includes walls, cladding, wall linings, floors, floor structure, and roof structure. Timber framing has succumbed to the same deterioration, and there is now the danger that the structure may not be able to withstand future extreme weather incidents without the risk of collapse.

Any further deterioration poses a risk to nearby users of the public park area as collapse or serious damage to the building increases the risk of damage to the roof covering and exposure to nearby occupants. Therefore, the following works are now required as a matter of urgency:

- Swab testing of the interior of the premises to confirm further asbestos contamination has not occurred following the prior removal of the ceiling lining. Further testing and restrictions may be required dependant on the outcome of the swab testing.
- Soil testing to confirm whether asbestos contamination has entered the grounds due to disconnected downpipes.
- Removal and replacement of the access ramp to the front of the premises due to damage to the framing and deck covering which is considered a risk to health and safety of building users.
- Fortifying of the perimeter temporary fencing (consider replacement with a timber fence if works are not to take place for some time) to deter unauthorised access to the site.
- Enclosing of the open areas such as the laundry and subfloor beneath the premises to prevent unwarranted access into the premises and creation of further damage.

Other works required within the short term are as follows:

- Replacement of the roof covering, gutters and downpipes.
- Replacement of decayed and/or infested timber roof framing.
- Replacement of decayed and/or infested timber wall framing.
- Replacement of decayed and/or infested timber floor framing.
- Replacement of timber weatherboards in their entirety.
- Replacement of external timber joinery in its entirety.
- Remedial works to framing throughout the building to raise the structural NBS score to an acceptable standard.
- Treatment to the entirety of the premises for insect infestation to prevent transfer of any borer to new timber linings and framing.

Works required to return the building to an operational and good standard (in addition to the above) are as follows:

- Replacement of all internal wall linings.
- Replacement of internal doors.
- Replacement of the kitchen cabinetry and facilities such as sinks and cookers.
- Replacement of sanitaryware within the bathroom and toilet.





- Replacement of power points, wiring, lighting and certifying of electrical system.
- Replacement of plumbing and certification/ testing.

The extent of the remedial works required are now likely to affect the historic and aesthetic properties of the building as the obligation to meeting the NZ Building Code will require alternative standards and construction methodologies to be utilised.



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## Section 1.0 Introduction

### 1.1 Survey Details

COMMISSIONED BY	Roma Leota of Auckland Council
ADDRESS	139 Beach Road Castor Bay Auckland
INITIAL INSPECTION DATE(S)	3 <sup>rd</sup> September 2024
INSPECTION BY	Chloe Parkin of Hampton Jones
OTHER PERSONS PRESENT	Roma Leota, Auckland Council Contractor
WEATHER AT TIME OF INSPECTION	Clear and cool
FORMAL DIALOGUE	Between Roma Leota of Auckland Council and Chloe Parkin of Hampton Jones
DOCUMENTS REVIEWED	Condition Assessment 2018, Hampton Jones Cost Estimate 2018, Hampton Jones Asbestos Survey Report 2018, Hampton Jones

### 1.2 Instruction

- 1.2.1 This Schedule of Condition accurately records the condition of the property located at 139 Beach Road, Castor Bay, Auckland on 03/09/2024.
- 1.2.2 The report is to be referenced by the parties in the event of any concerns being raised over the construction project having an adverse effect on any part of the premises and will assist in establishing the level of repairs and reinstatement if required.
- 1.2.3 The report covers the fabric elements to the premises only and has a primary focus to record the condition of elements that could be affected by adjacent construction works. For these reasons, comments describing inevitable weathering and age deterioration of decorative finishes and protective coatings will be limited.
- 1.2.4 The schedule must be read in conjunction with the photographs to provide a complete representation of the condition of the premises. Please refer to the condition tables and corresponding photographs in Section 2.0 for a full breakdown of all building fabric elements and commentary regarding their condition.

### 1.3 Definitions

- 1.3.1 The following is a definition of the comments as to the condition of the elements surveyed.

**Good:** Items which have suffered minimal weathering, wear or decay, and should remain in such condition for at least another five years if maintained according to good practice and as per the manufacturer's recommendations where applicable. No repair currently needed (minor blemishes and small defects may still exist).

**Reasonable/Satisfactory:** Items that have worn through 'normal' use and weathering, and are in commensurate condition to the building's age and use. Maintenance is required to prevent premature deterioration from occurring.



**Poor:** Items that are considered defective, worn, decayed, or weathered, either due to age, abnormal use, poor design or lack of maintenance. Accelerated deterioration will occur unless remedial works are undertaken. These items generally represent significant defects, or Health & Safety items requiring further investigation, or urgent repair (items typically include weather-tightness issues, hazardous wiring, structural issues, etc.).

The following expressions are used to classify the size of any cracks identified (based on approximate crack widths):

**Hairline:** 0.1mm to 1.0mm

**Slight:** 1.1mm to 5.0mm

**Moderate:** 5.1mm to 15mm

**Severe:** 15.1mm to 25mm

## 1.4 Reporting Conditions

- 1.4.1 This report is based on a visual inspection and covers the building fabric, super-structure and permanently fixed items only, and does not cover any temporary fixtures, fittings or chattels on or at the property.
- 1.4.2 For the avoidance of any doubt, this letter report is not a structural or geotechnical or soil investigation or condition survey. No intrusive or detailed investigations have been undertaken and therefore this report does not comprise and is not to be used as an expert witness report. The report does not cover the inspection or testing of any services unless specifically identified in the main body of the report. All comments relating to services are a guide only and should not be taken as verification that they are installed in accordance with current regulations.
- 1.4.3 No intrusive or destructive investigation has been undertaken, and as such, we have not inspected woodwork or other parts of the structure or services that are covered, unexposed or inaccessible. Therefore, we are unable to report that any such part of the structure is free from defect.
- 1.4.4 The property was fully occupied at the time of inspection. As such, various finishes were obscured by the occupants' fixtures, fittings and chattels and therefore we cannot claim these areas are free from defect.
- 1.4.5 This report is provided for the use of Auckland Council only and may not be used by others without written permission. Hampton Jones accepts no liability to third parties who may act on the contents of this report.

## 1.5 Exclusions

- 1.5.1 This report specifically excludes any investigation or reporting on the following:

- i Value of the property.
- ii Design of the property.
- iii Code Compliance and Building Code deficiencies.
- iv Design for Maintenance or Repair works.
- v Comment as to suitability of purpose for the existing or any proposed use.
- vi Statutory Notices, such as Notice to Fix or Compulsory Purchase Orders.
- vii Local authority files, including legal title, LIM or PIM reports.
- viii Identification of unauthorised works.
- ix Ground stability issues.
- x Restrictive Covenants or Rights of Way.
- xi Design or value of the surrounding area or environment.
- xii Lease obligation and financial commitments.



## 1.6 Orientation

- 1.6.1 For the purposes of reading this report, it has been assumed that the front elevation of the building is facing northeast. Any references are made on the basis of the surveyor standing outside the front of the building facing southwest.







- 1.6.2 The approximate site boundary of the building is outlined in blue above. (Aerial courtesy of Auckland Council GEOMaps).

## 1.7 Areas Not Accessed

- 1.7.1 All areas were accessed except for the following:
- i Concealed areas of the structure and framing.
  - ii The floor void was viewed from within the laundry only.
  - iii The roof framing and underside was viewed from ground level only.

## Section 2.0 Updated Findings and Recommendations

### 2.1 Roof

CONDITION 2018	CONDITION 2024
 <p>Photograph 1</p>	 <p>Photograph 2</p>
 <p>Photograph 3</p>	 <p>Photograph 4</p>

#### Summary of Condition 2024

- 2.1.1 The condition of the exterior roof covering does not appear to have significantly changed since the condition inspection in 2018. The covering remains in a brittle condition with widespread environmental build-up and deterioration of the fibre cement sheet surfaces noted.
- 2.1.2 Following the 2018 inspection and report, the asbestos dust was reportedly removed from within the roof void and the ceiling linings were removed and disposed of. It could not be confirmed whether the underside of the roof sheets had been finished in a protective coating.
- 2.1.3 No further timber samples were taken during the 2024 inspection however, it is apparent that there have been no improvements to the condition of the roof framing. Moisture staining was present to the roof framing, predominantly at ridges and beneath roof valleys indicating moisture ingress issues are ongoing and damage to the framing is also likely to be further developing.

#### Recommendations

- 2.1.4 Due to the lack of improvements to the roof covering and framing, the recommended works are much the same as the recommended works in 2018; the roof covering requires replacement and, as it is likely that there is widespread damage to the roof framing, replacement of the framing is likely necessary.



- 2.1.5 Further to this, the removal of the ceiling linings throughout the property may have exposed the interior of the premises to further asbestos contamination. In the immediate/ short term, it should be confirmed whether the application of a protective adhesive coating to the underside of the roof framing is required. Should this not be in place, it should be applied as a matter of urgency. It is strongly recommended that periodic swab samples and air sampling is undertaken throughout premises to provide ongoing reassurance and clarity on the areas of contamination and safety of access to the interior of the premises. Signage at entrance points notifying of the presence of asbestos (if detected) may also be required.

Note: for the purpose of this report and the associated budget costings, it has been assumed that the underside of the roof has been coated to prevent release of fibres and the interior of the premises has not been further contaminated. Should contamination be found to be widespread, the cost of remedial works will increase significantly to allow for decontamination and appropriate disposal procedures to comply with the Health and Safety at Work (Asbestos) Regulations 2016.

## 2.2 Rainwater Goods

CONDITION 2018	CONDITION 2024
 <p>Photograph 5</p>	 <p>Photograph 6</p>
 <p>Photograph 7</p>	 <p>Photograph 8</p>

### Summary of Condition 2024

- 2.2.1 The guttering was observed from ground level only however it appears that it has degraded somewhat since the prior inspection in 2018. Environmental staining and surface contaminants were evident to the exterior of guttering and vegetation growth observed within guttering indicates that they have not

been cleaned for some time. An isolated downpipe to the southeast elevation has disconnected from the guttering and vegetation is growing within the downpipe elbow.

- 2.2.2 Rainwater to the southwest of the premises continues to discharge directly onto the external ground rather than to a designed stormwater system. It is common for asbestos fibres from the roof to be carried into the rainwater system where roof sheets have broken down and therefore the grounds may now be subject to asbestos contamination.

#### Recommendations

- 2.2.3 Further deterioration of the rainwater system has been observed and due to the ongoing degradation of the roof covering, it is likely that asbestos contamination is present in the rainwater system. Whilst it is possible to decontaminate the gutters and downpipes, it is recommended that they are disposed of and replaced in their entirety during roof replacement works.
- 2.2.4 In the short term, cleaning of debris from the guttering, reconnecting of the detached downpipe and connection of drainage into the approved stormwater system is required.

Note: Asbestos testing of the soil surrounding the premises was not undertaken during the 2018 or 2024 inspections. It is possible that run-off from the roof has carried contaminants into the ground due to the disconnected downpipe and overflowing gutters. Until this is confirmed, it has been excluded from the estimated repair costs.

## 2.3 Walls/Cladding

CONDITION 2018



Photograph 9

CONDITION 2024



Photograph 10



Photograph 11



Photograph 12





Photograph 13



Photograph 14



Photograph 15



Photograph 16

### Summary of Condition 2024

- 2.3.1 In general, further deterioration of the cladding and external walls was observed throughout. It was noted by the client that there has been no maintenance undertaken to the property since the inspection in 2018, this was evidenced by further wear to the painted finishes across the elevations and build-up of environmental contaminants noted to the cladding surfaces.
- 2.3.2 Additional areas of decayed timber cladding are evident in some locations and areas where damaged cladding was previously reported have become further damaged. The holes within the cladding (indicative of an insect infestation) are now widespread which suggests that the infestation is still active and will continue to damage the cladding and framing if left untreated.
- 2.3.3 A section of the internal framing is visible through an opening within the scribe to the west. Whilst the deterioration of the cladding around the opening is easily observed, deterioration of the concealed vertical timber stud to the corner of the wall can also be observed. Previous testing of the timber wall framing confirmed the presence of decay, sections of the timber stud to this location appear to have detached from the structure indicating that the condition of framing has deteriorated further since the decay findings in 2018.
- 2.3.4 Whilst cracking was observed to the concrete wall to the south of the premises during the 2018 inspection, it appears that this cracking has worsened over recent years. Widening of both the vertical and horizontal cracking was noted, and displacement of the wall above the crack was observed. The increase in the extent of the cracking indicates ongoing movement of the structure. It was noted that this appears to be a structural wall as the timber joist structure of the property rests atop the wall.

### Recommendations

- 2.3.5 The recommendation for the cladding has not altered since the initial 2018 report; replacement of the weatherboard cladding in its entirety is required due to its condition, the condition of the timber framing behind the cladding, and in order for remedial works to achieve compliance with the building code.
- 2.3.6 The visible spread of insect infestations to the cladding, decayed weatherboards and deterioration of visible areas internal framing increases the likelihood that these defects have also spread within the timber structure of the premises. Therefore, from the prior timber samples and deterioration to the building envelope observed it is likely that replacement of the entirety of the wall framing will now be required.
- 2.3.7 It is also recommended that a geotechnical report is commissioned to ascertain the condition and type of the grounds surrounding the premises. This may also provide clarity on the cause of the cracking to the concrete walls.
- 2.3.8 Commissioning of a structural report or updating of any existing structural reports to confirm the condition of the foundations following the observed movement to the southern corner of the building is recommended.

## 2.4 Window/ Doors







Photograph 21



Photograph 22

### Summary of Condition 2024

- 2.4.1 Some joinery has been covered by plywood panels in order to prevent unauthorised access to the building. These panels largely obscured the joinery from the exterior however it was noted that painted finishes have continued to deteriorate. Where the joinery was exposed or had not been covered such as the front door and rear porch, both the glazing panels and timber have dilapidated further.
- 2.4.2 The timber mullions and transoms have disconnected to the rear porch window and glazing has largely been removed or is broken. Windows were predominantly viewed from the interior of the building where glazing panels are broken or missing throughout the premises. In some cases, the entire casement has been removed.
- 2.4.3 It was reported that no further works have been undertaken to the building, beyond the removal of ceiling linings, and therefore it is presumed that the joinery remains in poor condition.

### Recommendations

- 2.4.4 Replacement of all window and door joinery is required to maintain a weathertight and secure building envelope. Replacement should be undertaken within the parameters of restrictions in relation to work to heritage buildings and the building code.

## 2.5 Subfloor

### CONDITION 2018



Photograph 23

### CONDITION 2024



Photograph 24



Photograph 25



Photograph 26

### Summary of Condition 2024

- 2.5.1 The subfloor was viewed from the opening and within the laundry area only, however it was evident that no improvement works have been undertaken.
- 2.5.2 The borer flight holes present in 2018 remain to the joists within the laundry some frass remains around the holes which may indicate that the infestation is 'live' and is therefore causing further damage to the floor framing.
- 2.5.3 As works do not appear to have been undertaken to the subfloor, bracing straps have not yet been installed. Access within the subfloor is still relatively limited and samples were not taken from timber sections however some moisture staining was observed towards the ends of joists to the southeast.

### Recommendations

- 2.5.4 From an assessment of other timber elements and the lack of maintenance or repair works to the structure, it is presumed that the condition of the subfloor framing has not improved since 2018 and that replacement of joists, posts and bearers will still be required.
- 2.5.5 A detailed inspection and testing of the subfloor timbers will be required to establish the full extent of the replacement.

## 2.6 External Fixtures

### CONDITION 2018



Photograph 27

### CONDITION 2024



Photograph 28



## Summary of Condition 2024

- 2.6.1 The ramp is generally in a poor condition, the covering deflects underfoot, and some timber boards have split. The handrail has split and is detaching at the top of the ramp landing area. Timber posts supporting the ramp structure have also split.

### Recommendations

- 2.6.2 Full removal and replacement of the ramp is recommended to reduce any risk to health and safety of persons who may enter the site. It is likely that a new ramp structure will be required to comply with building code and may need redesigning.

## 2.7 Internal Elements

CONDITION 2018	CONDITION 2024
 <p>Photograph 29</p>	 <p>Photograph 30</p>
 <p>Photograph 31</p>	 <p>Photograph 32</p>



Photograph 33



Photograph 34



Photograph 35



Photograph 36

### Summary of Condition 2024

- 2.7.1 In general, since the inspection in 2018, there has been widespread deterioration of linings and destructive works undertaken to the interior of the premises which has resulted in an overall decline in the condition of internal linings and fixtures and fittings.
- 2.7.2 The ceiling linings have been removed throughout the building. Whilst it was previously noted that the roof void above had been contaminated with asbestos, it was not confirmed whether the underside of the roof sheets had been coated with an adhesive mixture since the removal of the ceiling lining. Without the ceiling lining to provide a form of enclosure, unencapsulated asbestos in a poor condition increases the risk of asbestos fibre release and contamination spread throughout the property.
- 2.7.3 Wall linings throughout the building have been impact damage and wallpaper has been torn away. The timber panelling within wardrobes is still subject to damage as a result of insect infestations. Frass was observed around flight holes within the wall panelling and doors which indicates that the infestations are active. Areas of the wall linings within the kitchen and bedrooms have been removed in areas, exposing the timber framing behind. Moisture staining was observed to the timber bottom plates and rear of the external cladding at the base of the walls. Mould was apparent to the rear of the building paper.
- 2.7.4 Cabinetry within the kitchen has been further dismantled with the counter tops removed and environmental debris has accumulated on the surface of the cabinets.
- 2.7.5 The bathroom sanitary items have largely been removed along with some areas of internal linings. As with the kitchen, this has exposed the timber framing within the external walls. A large amount of





moisture staining was concentrated to the area of external cladding and framing behind where the shower head used to be located.

- 2.7.6 Whilst sanitary items remained within the bathroom and toilet, they had been removed from the wall lining and have been damaged beyond economical repair.

#### **Recommendations**

- 2.7.7 As a matter of health and safety, it is recommended that the interior of the premises is swab tested for asbestos fibres to confirm whether the interior of the premises should be treated as contaminated.
- 2.7.8 Replacement of the internal linings to external walls will be required to facilitate replacement of the wall framing. Where penetrations have been made within partition walls, these linings will also require replacement.
- 2.7.9 Where borer has been found within timber panelling, this will require replacement and treatment of the entirety of the premises to prevent further insect infestations will be required.
- 2.7.10 The cabinetry within the kitchen requires replacement in its entirety due to deterioration of the timber and missing components.
- 2.7.11 The sanitaryware requires full replacement.

## **2.8 Other**

#### **Fire Detection**

- 2.8.1 The property has not been fitted with a fire detection system. As reported in 2018, dependent on the future use of the building, this will likely be required.

#### **Electrical**

- 2.8.2 At the time of inspection, there were no working light fixtures. Whilst switches and power points were not tested at the time of inspection, it is likely that electrical wiring is dated and may have been damaged.
- 2.8.3 Replacement of the wiring throughout the premises is recommended and certification of the system will be required.

#### **Plumbing**

- 2.8.4 Sanitaryware has been decommissioned and removed throughout the premises. Decay was also observed to the rear of the cladding behind the shower and to the framing indicating a potential water leak from the plumbing.
- 2.8.5 Replacement of the plumbing is recommended to ensure a completely functional system. Testing of the plumbing system will also be required to ensure the premises is free from contaminants such as legionnaires and water is safe for use.

#### **Security**

- 2.8.6 The premises had reportedly been subject to numerous instances of unauthorised access. In some cases, damage to the property such as broken windows has resulted from access into the property by unpermitted persons. Therefore, windows and doors throughout the property have been covered by timber boards.
- 2.8.7 It was noted that the laundry at ground level and the subfloor remain accessible, and it is recommended that these too are boarded up to prevent further damage from persons unlawfully accessing the property.
- 2.8.8 It is recommended that the temporary metal fencing is replaced with more robust timber hoarding should improvement works not be undertaken in the short term.

#### **Hazardous Materials**



- 2.8.9 In addition to the asbestos already detected at the premises, there is risk of further spread of asbestos as previously discussed within this report. As previously noted within the 2018 report, there is also a risk of lead paint having been utilised to painted surfaces.
- 2.8.10 Further testing should be undertaken for both asbestos contamination and lead within painted finishes to ensure appropriate disposal of items and safety measures are undertaken during accessing and future work at the property.





## Section 3.0 Summary of Condition and Recommendations

### 3.1 Summary of Condition

- 3.1.1 In general, the entirety of the property is now in a poor condition.
- 3.1.2 Elements have been damaged by numerous defects such as weathertightness issues, insect infestations and intentional damage by unauthorized access.
- 3.1.3 The timber framing to the subfloor, walls and roof has been subject to further deterioration with further spread of decay and insect infestation damage which could put the building at risk of collapse if remedial works are not undertaken in the near future.
- 3.1.4 Other items were also identified which require urgent attention:
- i Due to the condition of the asbestos elements, there is a risk that the grounds and interior of the premises may have been or may become contaminated should removal and replacement works not be undertaken in the short term. Any asbestos contamination will be costly to rectify. Note: the cost of potential contamination has not been included within the budget costing report associated with this condition report.
  - ii The ramp access to the front of the premises is extremely worn with damage observed to the timber structure and cladding materials. The structure and covering deflect underfoot and sections of the handrail have detached from the structure. It is recommended that the ramp is replaced in its entirety, this may require alterations to the design of the ramp to comply with the NZ Building Code.
  - iii Security at the site appears to have been challenging to maintain with all windows and doors having now been boarded over following widespread intentional damage. The metal fencing surrounding the site is easily penetrable and the subfloor access and laundry access beneath the building is open. Improvements to the fencing surrounding the site should be considered to improve public safety.
- 3.1.5 The below table provides a brief summary of the recommended works and outlines the general condition of building elements.

ELEMENT	CONDITION	RECOMMENDATION
Roof	Poor	Full replacement of the roof covering and partial replacement of the roof structure.
Rainwater Goods	Reasonable/ Poor	Full replacement of gutters and downpipes and connection to improved/ approved rainwater system.
Walls/Cladding	Poor	Full replacement of cladding and large-scale replacement of wall framing. Treatment of any remaining framing.
Windows/ Doors	Poor	Full replacement of all external joinery.
Subfloor	Reasonable/ Poor	Replacement of damaged joists and bearers and improvements to the structural integrity as advised by a structural engineer.
External Fixtures	Poor	Full replacement of the access ramp.
Internal Elements	Reasonable/ Poor	Full replacement of ceiling linings. Large scale replacement of the wall linings. Full replacement of floor coverings.



		Full replacement of kitchen cabinetry. Full replacement of sanitaryware.
Services	Poor	Full replacement of plumbing and wiring throughout the premises. Certification of systems.



# APPENDICES



Appendix A      QS Budget Cost for Remedial Works



# 139 Beach Road - Remediation Cost Estimate

For and on behalf of  
Auckland Council

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139 Beach Road, Castor Bay

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September 2024  
P24-0186

# 139 Beach Road - Remediation Cost Estimate

139 Beach Road, Castor Bay  
Auckland Council



Code	Description	Quantity	Unit	Rate	Total
139 BEACH ROAD, CASTOR BAY - REMEDIATION ESTIMATE					
	Construction	115	m2	4,100	471,517
	Preliminary & General	10	%		47,152
	Contractor's Margin	10	%		51,867
	Contingency Sum	20	%		Excluded
	<b>Subtotal - Construction Only</b>				<b>570,535</b>
	Professional Fees	11	%		62,759
	Heritage Requirements	1	PSum		100,000
	Building Consent Fees	1	sum		Excluded
	Escalation (12 months)	1	sum		Excluded
	<b>Total Cost Estimate excl. GST</b>				<b>733,294</b>
	<b>Total Cost Estimate incl. GST (15%)</b>				<b>843,289</b>

## Clarifications

### General

This cost estimate has been prepared at the request of the Auckland City Council and may not be used by others without the written permission of Hampton Jones who accepts no liability to third parties who may act on its contents. It may also contain legally privileged information.

This document should be considered in the context of the instruction. A full scope of works and specification will be required prior to tendering the works and budget costs should be reviewed again at this stage. The scope of work contained in this estimate is insufficient to instruct a building contractor to undertake the works.

This is a high-level desktop estimate only.

All measurements are approximate as no scaled floor-plans or property files have been provided. GFA is estimated from google earth.



# 139 Beach Road - Remediation Cost Estimate

139 Beach Road, Castor Bay  
Auckland Council



Code	Description	Quantity	Unit	Rate	Total
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This estimate assumes that a protective adhesive coating has been applied to the underside of the roof to prevent release of fibres and that the interior has not been contaminated with asbestos.

No allowance had been made for testing and/or removal of Asbestos contaminated soil

A provisional sum allowance of \$100,000 has been included to meet heritage requirements.

No allowance has been made for further remedial works required following geotechnical investigations.

## Reference Documentation

139 Beach Road Schedule of Condition Report by Hampton Jones, dated 23/09/2024

Cost Estimate - Remedial Repairs by Hampton Jones, dated 23/03/2024

## Exclusions

All values are GST exclusive unless stated otherwise

Building and resource consents

Unforeseen Ground Conditions

Re-use or credits for demolished materials unless otherwise stated

Increased costs or fluctuations from the date of this estimate

Remediation / upgrade work to interior and structure unless otherwise stated

Further/detailed, site specific geotechnical investigations

Soil asbestos testing

Upgrading existing infrastructure or upgrade to power supply

Network user upgrade charges

FF&E including whiteware unless otherwise stated

Power authority charges

Development levies

Community and network infrastructure contributions

Suitability for purpose of use, whether existing or proposed

Restrictive covenants or Rights of Way

Legal costs and fees

# 139 Beach Road - Remediation Cost Estimate



139 Beach Road, Castor Bay  
Auckland Council

Code	Description	Quantity	Unit	Rate	Total
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Working outside normal work hours  
Dishwasher, washing machine and drier

Review

Revision	Prepared By	Reviewed By	Issue Date
DRAFT	Elizabeth Patterson	N/A	23/09/2024



# 139 Beach Road - Remediation Cost Estimate



139 Beach Road, Castor Bay  
Auckland Council  
Construction

Code	Description	Total
	Site Preparation	82,400
	Roof	74,818
	Rainwater/Drainage	13,000
	External Walls	94,915
	External Timber Joinery	54,105
	Sub-floor	26,379
	Internal Linings/Doors	54,786
	Internal Fittings and Fixtures	29,170
	Electrical and Mechanical	22,145
	External Works	19,800
Total		471,517

# 139 Beach Road - Remediation Cost Estimate



139 Beach Road, Castor Bay  
Auckland Council  
Construction

Code	Description	Quantity	Unit	Rate	Total
Site Preparation					
	Allow to remove vegetation surrounding building to facilitate repairs	230	m2	15.00	3,450
	Allowance for Scaffolding to roof and 4 elevations (Allowed for 8 weeks)	1	PSum	21,000.00	21,000
	Allowance for Shrink wrap to roof and 4 elevations	1	PSum	7,000.00	7,000
	Allow to remove and dispose of timber ramp	1	sum	950.00	950
	Allowance to remove and dispose of all asbestos	1	Psum	50,000.00	50,000
	Allowance to remove and dispose asbestos down pipe [1 no]	1	sum		Included
	Allowance to remove and dispose asbestos cement roof sheets (approx. 145 m2)	1	sum		Included
	Allowance to remove asbestos cement wall linings within laundry	1	sum		Included
Total Site Preparation					82,400



# 139 Beach Road - Remediation Cost Estimate



139 Beach Road, Castor Bay

Auckland Council

Construction

Code	Description	Quantity	Unit	Rate	Total
<b>Roof</b>					
	<u>Enabling Works</u>				
	Remove and dispose of gutters	53	lm	19.00	1,007
	Remove and dispose of downpipes	4	no	23.00	92
	Allowance to remove and dispose asbestos down pipe [1 no]	1	PSum		Included
	Remove and dispose timber fascia boards and soffit boards	53	lm	21.00	1,113
	Allowance to remove and dispose lead flashings in the roof	1	sum	780.00	780
	Allowance to protect chimney stack during roof remediation	1	sum	2,000.00	2,000
	Allowance to remove and dispose asbestos cement roof sheets (approx. 145 m2)	1	PSum		Included
	Carefully remove and dispose timber roof framing (approx. 65% of total framing)	94	m2	33.00	3,110
	Allowance for propping existing roof as required	1	PSum	5,000.00	5,000
	Note: all asbestos removal included in 'Site Preparation'				
	<u>Replace / Reinstate the following:</u>				
	Supply and fix new timber roof framing to match existing (approx. 65%)	94	m2	193.00	18,190
	Supply and fix new timber roof purlins (whole roof)	145	m2	45.00	6,525
	Treat retained timber framing (approx. 35%)	1	sum	1,000.00	1,000
	Install new insulation to roof	145	m2	30.00	4,350
	PSum: Allow to remediate chimney stack as needed following roof replacement. Re-plaster and decorate including allowance to replace damaged chimney bricks as required.	1	PSum	2,400.00	2,400
	New roof sheets with pre-finished corrugated metal including underlay, flashings, ventilation and ridge, hip cappings	145	m2	150.00	21,750
	Allowance to supply and fix new flashings	1	sum		Included
	New timber fascia boards including painting	53	m	70.00	3,710
	New PVC gutters	53	m	50.00	2,650
	New PVC downpipes [5 no]	19	m	60.00	1,140
<b>Total Roof</b>					<b>74,818</b>

# 139 Beach Road - Remediation Cost Estimate



139 Beach Road, Castor Bay

Auckland Council

Construction

Code	Description	Quantity	Unit	Rate	Total
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## Rainwater/Drainage

	Allowance to disconnect and cap existing services to facilitate the work and reinstate on completion	1	sum	2,000.00	2,000
	Allowance for modification and renewal of underground drainage including new gulleys	1	PSum	6,000.00	6,000
	Allowance for a new soakhole (Allowed for 1 no)	1	PSum	5,000.00	5,000
	Note: gutters and downpipe works included under 'Roof'				

**Total Rainwater/Drainage 13,000**

## External Walls

	<u>Enabling Works</u>				
	Carefully remove existing timber weather boards including ventilation grills and timber casings, surrounds to corner posts and dispose off site	148	m2	39.00	5,772
	Carefully remove and dispose existing timber framing (approx. 70%)	104	m2	48.00	4,973
	Allowance for propping as required	1	PSum	2,500.00	2,500
	<u>Replace / Decorate following</u>				
	Supply and fix new timber weatherboards including ventilation grills and timber casings,surrounds to corner posts etc.	148	m2	290.00	42,920
	Supply and fix new timber framing (approx. 70%)	104	m2	125.00	12,950
	Treatment to existing timber framing	1	sum	1,000.00	1,000
	Supply and fix insulation	148	m2	34.00	5,032
	Allowance for structural improvements to masonry basement wall	1	PSum	6,000.00	6,000
	Allowance to epoxy repair existing cracking to basement wall, subject to confirmation of remediation strategy (approx. 2.5m)	1	PSum	2,000.00	2,000
	Allowance to decorate all concrete basement walls following localised epoxy repairs to cracked concrete wall render system	1	PSum	2,000.00	2,000
	Decorate weatherboards	148	m2	66.00	9,768

**Total External Walls 94,915**



# 139 Beach Road - Remediation Cost Estimate



139 Beach Road, Castor Bay  
Auckland Council

## Construction

Code	Description	Quantity	Unit	Rate	Total
<b>External Timber Joinery</b>					
	<u>Enabling Works</u>				
	Allowance to carefully remove all timber joinery windows including hardware and framing and dispose off site	1	sum	6,000.00	6,000
	Allowance to carefully remove and dispose external timber entrance door and sub-floor door	1	no	305.00	305
	<u>Replace / Decorate following</u>				
	Allowance to supply and fix new timber joinery single glazed windows including framing and hardware and paint finish	36	m2	1,200.00	43,200
	Supply and install solid core exterior timber door including paint finish	2	no	2,300.00	4,600
<b>Total External Timber Joinery</b>					<b>54,105</b>

## Sub-floor

	<u>Enabling Works</u>				
	Carefully remove and dispose existing timber joists (approx. 50%)	58	m2	64.00	3,680
	Remove existing timber floor boards and dispose off site (approx. 10%)	12	m2	48.00	552
	Carefully uplift floorboards and set aside to allow for substructure remedial works (approx. 30%)	35	m2	64.00	2,208
	<u>Replace following:</u>				
	Supply and fix new timber joists (approx. 50%)	58	m2	100.00	5,750
	Allowance for proprietary connections between timber posts and timber piles, timber joists and timber bearers and timber jack stud and timber bearers	1	sum	5,300.00	5,300
	Supply and fix new timber floor boards (hardwood for master bedroom, bed 1,2 & 3, approx 10%)	12	m2	320.00	3,680
	Reinstate previously removed existing floorboards. Allow for new fixings and minor repairs (approx. 30%)	35	m2	93.00	3,209
	Treat floor boards for borer infestation (allowed for all timber floor boards)	1	PSum	2,000.00	2,000
<b>Total Sub-floor</b>					<b>26,379</b>

# 139 Beach Road - Remediation Cost Estimate



139 Beach Road, Castor Bay  
Auckland Council  
Construction

Code	Description	Quantity	Unit	Rate	Total
<b>Internal Linings/Doors</b>					
	<u>Enabling Works</u>				
	Remove existing internal wall lining and dispose off site (approx. 70%)	210	m2	20.00	4,200
	Remove all ceiling linings and dispose off site	1	sum		Excluded
	Note: ceiling lining removal is complete				
	Remove vinyl floor linings to kitchen, bathroom and toilet and dispose of site	1	sum		Excluded
	Remove carpet flooring to lounge and hallway and dispose off site	1	sum		Excluded
	Note: all floor coverings have been removed				
	Allowance to remove internal hollow core doors and dispose off site (3 no doors)	1	sum	210.00	210
	Allowance to remove asbestos cement wall linings within laundry	1	Psum		Included
	Note: all asbestos removal included in 'Site Preparation'				
	<u>Replace / Decorate following</u>				
	Supply and fix internal wall linings with 13mm standard GIB including skirting and stopping (approx. 70%)	210	m2	75.00	15,750
	Supply and fix new ceiling linings with fibreboard and timber jointers to the ceilings (100%)	115	m2	90.00	10,350
	Decorate and make good all existing wall linings	90	m2	35.00	3,150
	Decorate new wall	210	m2	30.00	6,300
	Decorate new ceiling	115	m2	35.00	4,025
	Allowance to deep clean tiles to fireplace surround	1	Psum	500.00	500
	Supply and fix new vinyl floor to kitchen, bathroom and toilet	22	m2	120.00	2,640
	Supply and lay new carpet to lounge and hallway	33	m2	95.00	3,135
	Supply and fix new internal timber hollow core doors with framing and hardware	3	no	1,100.00	3,300
	Sand and varnish remaining doors (8 no doors)	27	m2	45.00	1,226
<b>Total Internal Linings/Doors</b>					<b>54,786</b>

# 139 Beach Road - Remediation Cost Estimate



139 Beach Road, Castor Bay  
Auckland Council  
Construction

Code	Description	Quantity	Unit	Rate	Total
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## Internal Fittings and Fixtures

	<u>Enabling Works</u>				
	Allowance to remove timber kitchen units and dispose off site	1	sum	1,000.00	1,000
	Remove all sanitary fixtures from bathroom and toilet, dispose offsite including disconnection of services	1	sum	2,000.00	2,000
	<u>Replace / Clean following:</u>				
	Allowance to supply and install new timber kitchen units	1	PSum	15,000.00	15,000
	Supply and install new WC including waste and water services	1	no	1,900.00	1,900
	Supply and install new shower including shower tray, mixer, shower head, waste and water services	1	no	3,000.00	3,000
	Supply and install new vanity including tapware, mixer, waste and water services	1	no	1,500.00	1,500
	Supply and install new PVC bathtub including mixer, tapware, waste and water services	1	no	1,700.00	1,700
	Test and commission new sanitary fixtures	1	sum	570.00	570
	Allowance to supply and install new hotwater cylinder	1	no	2,500.00	2,500

**Total Internal Fittings and Fixtures 29,170**

## Electrical and Mechanical

	<u>Enabling Works</u>				
	Allowance to disconnect and cap all internal services to facilitate the work and reinstate on completion	1	Psum	1,800.00	1,800
	Remove all electrical wiring including all electrical fittings and dispose off site	1	Psum	3,000.00	3,000
	Remove existing distribution board and dispose off site	1	sum	440.00	440
	<u>Replace / Install following</u>				
	Re-wire and install new light fittings and new power outlets (allow 1 no light fittings to one room to match existing)	115	m2	147.00	16,905
	Supply and fix new distribution board with RCD protection	115	m2		Included

**Total Electrical and Mechanical 22,145**



# 139 Beach Road - Remediation Cost Estimate



139 Beach Road, Castor Bay  
Auckland Council  
Construction

Code	Description	Quantity	Unit	Rate	Total
External Works					
	Allowance for reinstatement of soft and hard landscaping	1	PSum	14,000.00	14,000
	New timber ramp including handrail	1	PSum	5,800.00	5,800
Total External Works					19,800

Appendix B      Photographic Appendices (2024)



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6





Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12





Photograph 13



Photograph 14



Photograph 15



Photograph 16



Photograph 17



Photograph 18





Photograph 19



Photograph 20



Photograph 21



Photograph 22

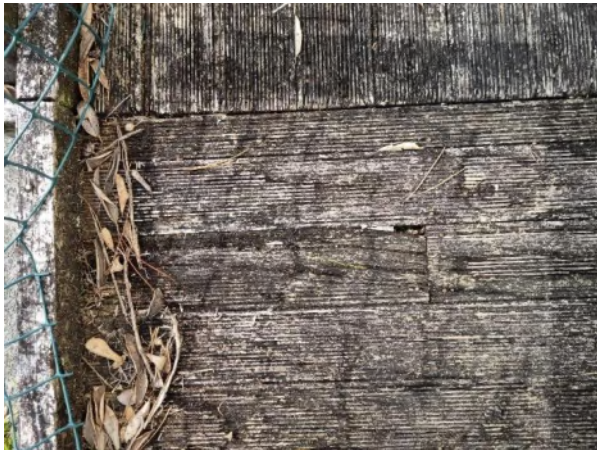


Photograph 23

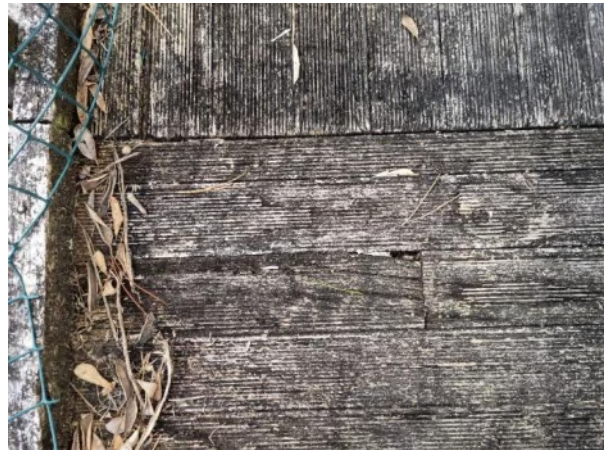


Photograph 24





Photograph 25



Photograph 26



Photograph 27



Photograph 28



Photograph 29



Photograph 30





Photograph 31



Photograph 32



Photograph 33



Photograph 34



Photograph 35



Photograph 36



Photograph 37



Photograph 38



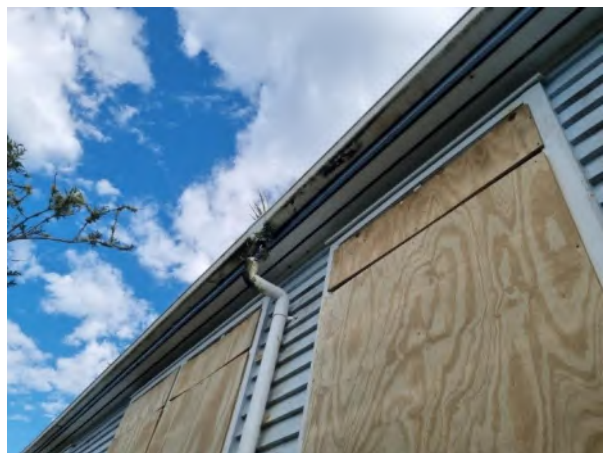
Photograph 39



Photograph 40



Photograph 41



Photograph 42





Photograph 43



Photograph 44



Photograph 45



Photograph 46



Photograph 47



Photograph 48





Photograph 49



Photograph 50



Photograph 51



Photograph 52



Photograph 53



Photograph 54





Photograph 55



Photograph 56



Photograph 57



Photograph 58



Photograph 59



Photograph 60





Photograph 61



Photograph 62



Photograph 63



Photograph 64



Photograph 65



Photograph 66





Photograph 67



Photograph 68



Photograph 69



Photograph 70



Photograph 71



Photograph 72





Photograph 73



Photograph 74



Photograph 75



Photograph 76



Photograph 77



Photograph 78





Photograph 79



Photograph 80



Photograph 81



Photograph 82



Photograph 83



Photograph 84



Photograph 85



Photograph 86



Photograph 87



Photograph 88



Photograph 89



Photograph 90





Photograph 91



Photograph 92



Photograph 93



Photograph 94



Photograph 95



Photograph 96





Photograph 97



Photograph 98



Photograph 99



Photograph 100



Photograph 101



Photograph 102





Photograph 103



Photograph 104



Photograph 105



Photograph 106



Photograph 107



Photograph 108





Photograph 109



Photograph 110



Photograph 111



Photograph 112



Photograph 113



Photograph 114





Photograph 115



Photograph 116



Photograph 117



Photograph 118



Photograph 119



Photograph 120





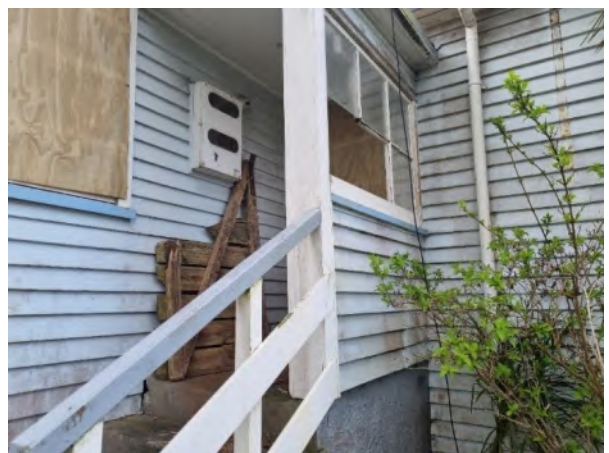
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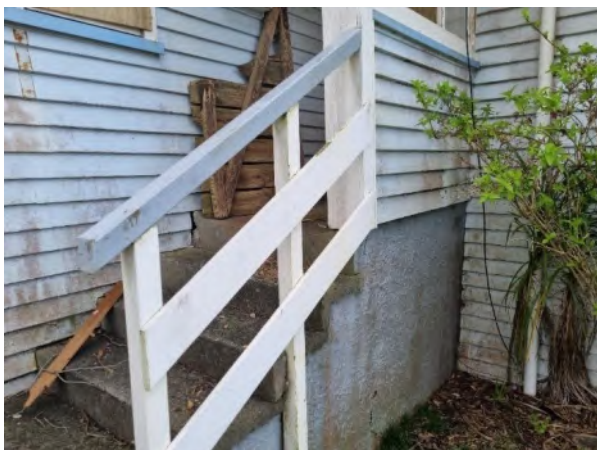
Photograph 122



Photograph 123



Photograph 124



Photograph 125



Photograph 126





Photograph 127



Photograph 128



Photograph 129



Photograph 130



Photograph 131



Photograph 132



Photograph 133



Photograph 134



Photograph 135



Photograph 136



Photograph 137



Photograph 138





Photograph 139



Photograph 140



Photograph 141



Photograph 142



Photograph 143



Photograph 144





Photograph 145



Photograph 146



Photograph 147



Photograph 148



Photograph 149



Photograph 150





Photograph 151



Photograph 152



Photograph 153



Photograph 154



Photograph 155



Photograph 156





Photograph 157



Photograph 158



Photograph 159



Photograph 160



Photograph 161



Photograph 162





Photograph 163



Photograph 164



Photograph 165



Photograph 166



Photograph 167



Photograph 168



Photograph 169



Photograph 170



Photograph 171



Photograph 172



Photograph 173



Photograph 174





Photograph 175



Photograph 176



Photograph 177



Photograph 178



Photograph 179



Photograph 180



Photograph 181



Photograph 182



Photograph 183



Photograph 184



Photograph 185



Photograph 186





Photograph 187



Photograph 188



Photograph 189



Photograph 190



Photograph 191



Photograph 192





Photograph 193



Photograph 194



Photograph 195



Photograph 196



Photograph 197



Photograph 198





Photograph 199



Photograph 200



Photograph 201



Photograph 202



Photograph 203



Photograph 204





Photograph 205



Photograph 206



Photograph 207



Photograph 208



Photograph 209



Photograph 210





Photograph 211



Photograph 212



Photograph 213



Photograph 214



Photograph 215



Photograph 216





Photograph 217



Photograph 218



Photograph 219



Photograph 220



Photograph 221



Photograph 222





Photograph 223



Photograph 224



Photograph 225



Photograph 226



Photograph 227



Photograph 228



Photograph 229



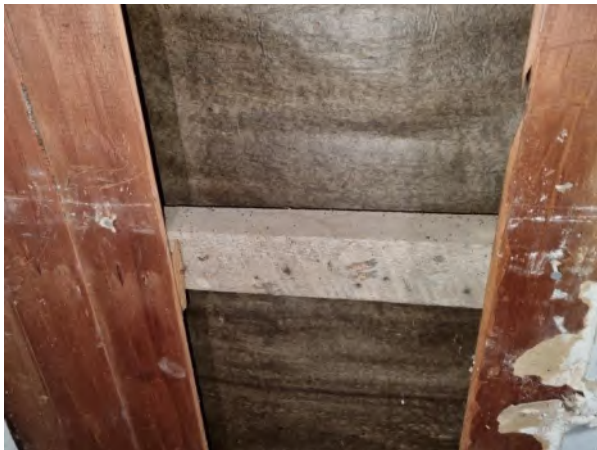
Photograph 230



Photograph 231



Photograph 232



Photograph 233



Photograph 234





Photograph 235



Photograph 236



Photograph 237



Photograph 238



Photograph 239



Photograph 240



Photograph 241



Photograph 242



Photograph 243



Photograph 244

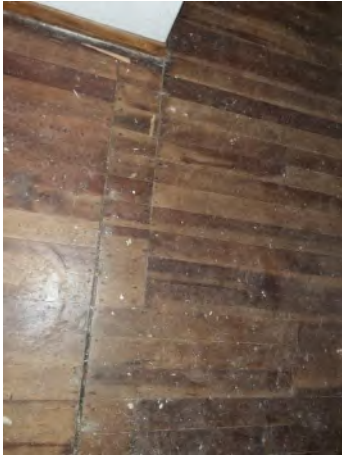


Photograph 245



Photograph 246





Photograph 247



Photograph 248



Photograph 249



Photograph 250



Photograph 251



Photograph 252



Photograph 253



Photograph 254



Photograph 255



Photograph 256



Photograph 257



Photograph 258





Photograph 259



Photograph 260



Photograph 261



Photograph 262



Photograph 263



Photograph 264



Photograph 265



Photograph 266



Photograph 267



Photograph 268



Photograph 269



Photograph 270





Photograph 271



Photograph 272



Photograph 273



Photograph 274



Photograph 275



Photograph 276



Photograph 277



Photograph 278



Photograph 279



Photograph 280



Photograph 281



Photograph 282





Photograph 283



Photograph 284



Photograph 285



Photograph 286



Photograph 287



Photograph 288



Photograph 289



Photograph 290



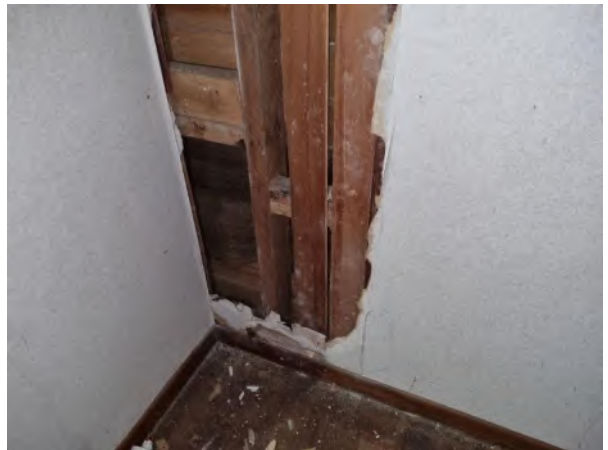
Photograph 291



Photograph 292



Photograph 293



Photograph 294





Photograph 295



Photograph 296



Photograph 297



Photograph 298



Photograph 299



Photograph 300



Photograph 301



Photograph 302



Photograph 303



Photograph 304



Photograph 305

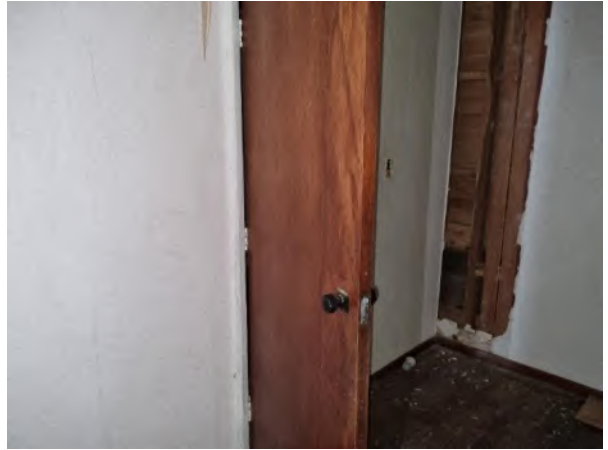


Photograph 306





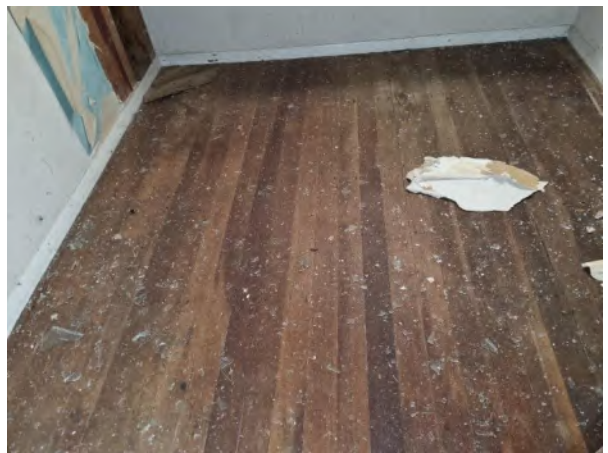
Photograph 307



Photograph 308



Photograph 309



Photograph 310



Photograph 311



Photograph 312



Photograph 313



Photograph 314



Photograph 315



Photograph 316



Photograph 317



Photograph 318





Photograph 319



Photograph 320



Photograph 321



Photograph 322



Photograph 323



Photograph 324



Photograph 325



Photograph 326



Photograph 327



Photograph 328



Photograph 329



Photograph 330





Photograph 331



Photograph 332



Photograph 333



Photograph 334



Photograph 335



Photograph 336



Photograph 337



Appendix C      2018 Condition Report

# Pre-acquisition Survey

For and on behalf of  
**AUCKLAND COUNCIL**

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139 Beach Road  
Castor Bay, Auckland

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**MARCH 2018**  
**ACC9266.025**





# Document Control

## DOCUMENT REVISION

### Document Revision History

REPORT TITLE	Condition Assessment for and on behalf of Auckland Council
JOB NUMBER	ACC9266.025
FILE PATH	P:\A\Auckland Council\ACC9266.025 - 139 Beach Road, Castor Bay\7 Reports
CLIENT	Auckland Council
CLIENT CONTACT	Paul Durling

REV	DATE	REVISION DETAILS
0	14/03/2018	Initial issue to client

### Authorisation for Issue

#### Signed (Author)

#### Peer Reviewed

Name Campbell Thomson *BSc (Hons)*

Position **Intermediate Building Surveyor**

For and on behalf of Hampton Jones Property Consultancy Limited.

Name Gareth Christopher *(DipSurv) MRICS*

Position **Group Manager - Building Surveying**

For and on behalf of Hampton Jones Property Consultancy Limited.



# Executive Summary

## 1.1 Recommendation

- 1.1.1 Overall the property is in poor condition commensurate with a lack of maintenance, the property has some pertinent defects which are outlined in more detail under section 3.0. To return the building to a condition in which it can be reoccupied or possibly utilized as a café, we anticipate significant replacement of the timber superstructure and substructure as well as much of the joinery and building fabric.

## 1.2 Summary of Findings

- 1.2.1 Below are the most significant issues which we identified during our visual inspection.

- The asbestos cement roof sheets have surpassed their notional life and have become brittle, resulting in contamination of the roof space which in turn presents a serious health and safety risk.
- The rainwater goods are heavily blocked, which is likely causing the overflow and redirection of rainwater towards the property.
- Widespread deterioration of the weatherboard cladding, borer beetle infestation and flight holes were evident to all elevations.
- Timber sample results show that the external timber frame is suffering from advanced brown rot and borer beetle infestation.
- Lack of maintenance to the timber joinery has resulted in severe timber decay.
- It was evident that the timber subfloor has suffered from widespread borer infestation.
- No connections have been made between the structural timber members within the subfloor.
- As the property was constructed prior to the 1980's, as such there is a potential for lead based paints.
- There is widespread borer beetle infestation to the internal timber wall and floor linings.
- Water ingress, mould growth and impact damage was all evident to the internal fibreboard and GIB linings.

- 1.2.2 Based on the extent of defects noted above we would recommend the following works;

- Immediate decontamination of the all Asbestos containing materials within the ceiling void.
- Replacement of the asbestos cement roof coverings with new metal roof sheets.
- Clean all foliage debris from the rainwater gutters and downpipes and renew downpipe to ground drainage.
- Replacement of the decayed timber superstructure and substructure. At this stage we would anticipate 60-70% of the timber frame.
- Replacement of timber window and door joinery.





- Undertake further investigation within the subfloor to determine the extent of borer infestation and effect on the structural capacity of the timber.
- Proprietary timber connectors will need to be installed between many of the structural members.
- Replacement of wall and ceiling linings in conjunction with replacement of timber frame.



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## Section 2.0 Introduction

### 2.1 Extent of Instructions

COMMISSIONED BY	Paul Durling on behalf of Auckland Council
SITE ADDRESS	139 Beach Road Castor Bay, Auckland
INSPECTION DATE(S)	31 <sup>st</sup> January 2018
INSPECTION BY	Gareth Christopher, Derek Westwood & Campbell Thomson of Hampton Jones
OTHER PERSONS PRESENT	None
WEATHER AT TIME OF INSPECTION	Approximately 25° C, clear and sunny

### 2.2 Documents Reviewed

2.2.1 Documents and technical literature referenced for the benefit of this report are stipulated where relevant and include the following:

- i TRS timber sample results.
- ii Asbestos sample results.
- iii Salmon Reed Condition Report (2009)

### 2.3 Site Investigation Methodology

2.3.1 The site plan below indicates the subject building to be investigated:





2.3.2 Hampton Jones follows a typical site investigation methodology set-out below.

- i Initial visual inspection of the exterior building envelope, including sub floor areas to assess potential deficiencies and establish whether further investigations are required. Noting the general condition of the building fabric.
- ii Initial visual inspection of the internal elements, noting the general condition of the building fabric and to assess potential deficiencies, establishing whether further investigations are required.
- iii Visual inspection within the ceiling void, to assess any potential deficiencies of the roof structure and the provision of insulation.
- iv Visual inspection of the internal fixtures & fittings, including but not limited to mechanical installations, security installations, electrical installations & sanitary ware provisions.

2.3.3 Our main investigation findings are set out in 3.0. Additional supporting information and explanatory notes are included in relevant appendices.

## 2.4 Reporting Conditions

2.4.1 This report has been prepared under the following conditions of engagement:

- i This report is based on a visual inspection and intrusive timber samples.
- ii This report is provided for the use of Auckland Council only and may not be used by others without written permission. Hampton Jones accepts no liability to third parties who may act on the contents of this report.
- iii This report contains legally privileged information and is intended for the benefit of the Auckland Council and its legal counsel only.
- iv Any comments made within this report regarding parties associated with the construction, and/or their roles, are based on the surveyor's professional opinion and interpretation of the information reviewed.
- v The information contained within this report is not a substitute for legal advice.
- vi Reference to compliance documents or other guidance publications are made as a comparison against recommendations of best practice rather than a mandatory requirement.
- vii Any recommended building repair works are provided as an outline scope of works only. They should not be taken as a specification and acted upon without further development through an appropriate design process.
- viii Estimated cost of building repair works are based on the outline scope of works and should therefore only be used for budget purposes.
- ix Moisture content readings have not been corrected to take into account timber species, preservative treatment or ambient temperatures. The readings obtained are therefore only indicative and not to be regarded as absolute moisture content values. They are primarily used comparatively, to indicate locations of likely moisture ingress and the likely overall condition of the timber framing.





## 2.5 Exclusions

2.5.1 This report specifically excludes any investigation or reporting on the following.

- i Value of the property.
- ii Design of the property.
- iii Code Compliance issues.
- iv Design for Maintenance or Repair works and long-term maintenance.
- v Statutory Notices, such as Notice to Fix or Compulsory Purchase Orders.
- vi Local authority files, including legal title, LIM or PIM reports.
- vii Valuations or Rates.
- viii Building Consent issues, including Identification of Illegal Works.
- ix Resource Consent matters.
- x Contamination or deleterious materials.
- xi Geotechnical matters/ground stability.
- xii Restrictive Covenants or Rights of Way.
- xiii Design or value of the surrounding area or environment.
- xiv Comment as to suitability of purpose for the existing or any proposed use.
- xv Lease obligation and financial commitments.

## 2.6 General Exclusions

2.6.1 This report does not include comments about the following:

- i The surrounding neighborhood.
- ii The value of the property.
- iii Illegal, or unauthorised works.

2.6.2 Additionally, no search has been made of:

- i Local Authority rates.
- ii Government valuation.

## 2.7 Areas Not Accessed

2.7.1 The following areas were not accessed:

- i Subfloor was padlocked, no key was provided.



## Section 3.0 Property Description

### 3.1 Building Description

#### 3.1.1 139 Beach Road

139 Beach road is a single storey former WW2 barracks constructed in 1942. It is positioned on relatively sloping site.

The building is of lightweight timber frame construction, built over a suspended timber floor and concrete pile foundations. The main roof construction comprises a pitched, hipped roof weathered in asbestos cement roof sheets. Rainwater discharges into uPVC gutters and a combination of uPVC and asbestos cement downpipes which in turn terminates into the underground system. External cladding to the property comprises painted timber weatherboards.

Single glazed, timber framed casement windows are present to all elevations. The front entrance door is a timber tongue and groove door with inset single glazed vision panels. The rear entrance door is a timber framed door with 4No. large single glazed vision panels.

The southwest basement/laundry room is formed from masonry exterior walls with a painted render finish constructed over a concrete slab on grade.

Internally, ceiling and wall linings are predominantly a combination of plasterboard and fibreboard with timber jointers. The exception is the laundry room which appear to be lined in asbestos wall linings.

The floor layout includes four bedrooms, a kitchen, lounge and bathroom with separate WC and a basement located to the southern corner which houses a laundry room.





## Section 4.0 Findings and Recommendations

### 4.1 139 Beach Road

#### 4.1.1 Roof

The methodology of the roof inspection consisted of a visual inspection of all the external elements, this was undertaken from ground level. An inspection was then carried out within the ceiling void however, this was limited due to the high level of asbestos contamination (as identified in the asbestos survey undertaken by Hampton Jones on the 19<sup>th</sup> January 2018). Finally, to aid with ascertaining the condition of the timber roof structure, a sample was taken from the ceiling joist in the bedroom located within the northwest of the property.

Externally the roof was in poor condition, the most notable defects are listed below;

- The asbestos cement roof sheets appear aged, brittle and beyond their notional life. The deterioration has likely been accelerated by lack of maintenance resulting in the widespread growth of moss and lichen.
- Hairline cracking was evident along the length of the mortar bedding to the ridge and hipped roof tiles.
- The steel fixings and washers were suffering from corrosion. Corrosion of the fixings and washers poses a greater risk for both wind lift and moisture ingress.
- Isolated galvanized steel patch repairs have been undertaken which have since suffered surface corrosion.

Within the ceiling void we noted;

- Friable asbestos debris within the ceiling void.
- No underlay had been installed to the underside of the roof tiles, which increases the risk of both condensation and wind lift.
- Significant borer infestation was evident, prevalent to the ceiling joists/nogs.
- Localized water staining and mould growth was apparent to the timber rafters and battens beneath fixing points of the asbestos roof sheets.
- It would appear that retrospective timber cross joists, purlins and props have been installed to provide additional structural support.

The timber sample analysis identified the timber as unsound and exhibiting light brown rot, refer to TRS report in appendix C. Dry/brown rot is evidence that moisture is currently present or has been present within the ceiling void. The corrosion of the fixings/washers, cracking to the mortar bedding, poorly detailed patch repairs and lack of underlay could all be contributing factors to this.

Immediate decontamination of the ceiling void is required to prior to any demolition/construction works. This will need to be carried out by a class A certified asbestos removals contractor.

To repair the roof to a good condition, we would recommend immediate replacement of the roof covering. However, a 'like for like' replacement of the asbestos cement sheet roof would be non-compliant under section F2 of the Building Code 'Hazardous Building Materials'. Therefore, to replace the roof covering, an alternative solution such as a metal corrugated roof would be required. Based, on our visual inspection and the results of the timber sample, it is probable that there is widespread decay within the timber roof structure, as such we also anticipate significant replacement of the timber structure.



Note: Removal/replacement of the roof covering, or timber structure would need to satisfy the code of Practice for the Management and removal of Asbestos under section 222 of the Health & Safety at Work Act (2015).

#### 4.1.2 Rainwater Goods

The rainwater goods were visually inspected from ground level and via a ladder.

The gutters and downpipes have been poorly maintained, foliage debris was noted along the length of the gutters and protruding from the individual downpipe junctions.

The blocked rainwater goods will likely result in overflow and redirection of rainwater towards the property, subsequently expediting the deterioration of the building fabric below.

The uPVC downpipe to the northeast corner of the property has not been connected to any underground/above ground drainage or fitted with a shoe, as such rainwater is being directed down the slope directly adjacent to the property, subsequently causing erosion of the ground soil which in turn has exposed large sections of the timber piles and concrete slab foundations.

We would recommend removing all debris from the rainwater goods with immediate effect and to undertake annual cyclical cleaning thereafter, downpipe to underground drain connections also need to be renewed to ensure rainwater can be discharged freely away from the property.

#### 4.1.3 Walls/Claddings

The methodology for the inspection of the walls consisted of a visual inspection before taking three timber samples of the timber framing localised to the most weather exposed areas. The samples were taken from three different elevations.

The external wall cladding is in poor condition. The most notable defects are listed below;

- Lack of maintenance and widespread deterioration of the painted finishes.
- Widespread borer beetle infestation and flight holes were evident to all elevations, most notably to the southeast elevation.
- There is insufficient ground clearance in a number of locations, together with a lack of maintenance and repairs the timber weatherboards are absorbing moisture resulting in decay. There is also a risk that
- Steel cover plates have also been installed over a number of isolated timber weatherboards, indicating rotten timber boards behind.
- Widespread decay to the timber corner, window and door surrounds.

Vertical and horizontal cracking was noted to the top of the masonry wall located within the southeast corner of the property, the result of which could be a combination of corrosion to steel reinforcement and erosion of the soil around the foundations causing loss of support to the concrete slab and thus the wall to subside.

Two of the three timber samples were taken from the external face of external timber frame and exhibited advanced brown rot and the other was taken from the internal face of the external timber frame which exhibited light brown rot. All three also showed signs of borer infestation. Refer to

The results of the timber samples and the spread of locations indicate that the brown rot affected timber is widespread. It is therefore likely that a significant amount of timber framing will require replacing and with anything that can be saved treated for borer beetle as a precautionary measure. This will result in the need to fully reclad the building on a cavity to meet the code requirements.





#### 4.1.4 Windows/Doors

The windows are generally in a poor condition. Corrosion to the metal hardware was evident to all windows and subsequently many of the windows were seized shut or difficult to open. Furthermore, many of the locks were non-operable which presents a security risk.

Widespread timber decay is evident to all windows which has been expedited by lack of maintenance to the painted finish and rainwater goods.

The timber front entrance door similarly to the windows has been poorly maintained and the painted finish and glazing putty has deteriorated to an extent that the door is suffering from severe timber decay.

The rear entrance door is protected from the elements by the canopy and has fared better than the front entrance door, the painted finish and glazing putty has deteriorated, however the timber is still sound.

The windows and front entrance door have been neglected to a point where it would be cost prohibitive to undertake repairs. As such, we would recommend wholesale replacement with 'like for like' timber framed windows and a new 'like for like' timber front entrance door. The rear entrance door requires redecorating and re-sealing to the perimeter of the glazing.

#### 4.1.5 Subfloor

The sub-floor was not accessible at the time of inspection; however, sections of the sub floor were visible from beneath the perimeter external walls.

From what was visible, it was evident that the timber has suffered from widespread borer beetle infestation, affirmed by the presence of flight holes within the timber. However, without carrying out timber samples it is hard to provide an accurate assessment of the borer infestations effect on the structural capacity. At this stage we anticipate replacement will be required to a number of the floor joists, posts and bearers.

We also noted that connections between the individual structural members and the diagonal bracing is very limited, as such the building is highly susceptible to lateral movement. To correct this, proprietary timber connectors would need to be installed at the junctions of the;

- Timber posts and concrete piles
- Timber joists and timber bearers and;
- Timber Jack studs and timber bearers.

#### 4.1.6 Internal Finishes

The internal finishes are in a poor condition commensurate with a lack of maintenance. Furthermore, as the building has been unoccupied for a long period of time, the rooms have been left unheated allowing for conditions which are susceptible to mould growth and borer beetle infestation, both of which are evident throughout the internal finishes.

Frass and flight holes from the borer beetle were noted to the tongue and groove board wall linings within the cupboard to the hallway, to the majority of the finishing trims, the timber floorboards within the master bedroom and to a number of the internal timber doors.

Moderate cracking was evident within bedroom 1 to the east wall below the windows which is likely to be associated with the external cracking to the basement masonry wall below.

Carpets are in a reasonable condition although a little aged and worn, the vinyl sheeting within the bathroom, WC and kitchen are delaminating and heavily soiled.



We would anticipate that as significant amounts of the timber framing will require replacement, it would be prudent to replace the wall linings in conjunction. To reduce the probability of further borer beetle activity, re-occupation, consistent heating and managing the ventilation would be necessary.

#### **Kitchen Provisions**

The kitchen was to a basic standard and is dated and in poor condition, the fit out included a stainless-steel sink and timber benchtop fitted above timber cabinets, an old electric cooker and hob.

#### **4.1.7 Bathroom and Sanitaryware**

The sanitaryware within the bathroom and adjoining toilet is to a basic specification. A PVC bath and ceramic sink are installed to the bathroom and a ceramic toilet pan and PVC cistern installed to the toilet. All the sanitaryware is in reasonable condition, however, cleaning and replacement of the sealant along the junction of the bath, sink and the wet wall lining is recommended. The ventilation to the bathroom and toilet is provided naturally via openable windows.

#### **Ventilation**

No ridge vents were noted however, the eaves are formed from open timber boards which is providing some air movement within the ceiling void. Ventilation grills were inset within the timber weatherboards to all elevations below ground floor level. As such, there appeared to be sufficient ventilation within the subfloor.

#### **4.1.8 Fire Detection**

No fire alarm/detection system was noted throughout the property. Depending in what capacity the property is to be reoccupied will determine the type of fire detection system required.

#### **4.1.9 Electrical Installation**

Due to the prolonged period in which the building has not been occupied, many of the light fittings were redundant or non-operational. It was also noted that there was no RCD protected distribution board. As such, the electrical wiring will have to be renewed with an RCD protected distribution to comply with current code.

#### **Security**

No alarm system was noted, however key locks were provided to all access doors. As previously mentioned, the deterioration of the doors and windows pose a security risk.

#### **4.1.10 Hazardous Materials**

As noted within the Asbestos Survey undertaken by Hampton Jones (16<sup>th</sup> January 2018), much of the building fabric contains asbestos, as such demolition/removal of these elements will need to satisfy the code of Practice for the Management and removal of Asbestos under section 222 of the Health & Safety at Work Act (2015).

As the building was constructed prior to the 1980s there is a high risk that a number of the paints used are lead based. Lead based paints are both a poison and a persistent environmental pollutant. It is recommended that prior to any intrusive works, samples taken to ascertain the existence of lead.





## Section 5.0 Summary & Recommendations

### 5.1 Summary

- 5.1.1 The roof sheets have surpassed their notational life and require immediate replacement to prevent further deterioration of the building fabric below. Also the aged, brittle roof sheets are causing a build up of asbestos debris which presents a serious health and safety risk.
- 5.1.2 The rainwater goods are heavily blocked, which is likely causing the overflow and redirection of rainwater towards the property, subsequently expediting the deterioration of the building fabric below. Furthermore, a downpipe to the northeast of the property has not been connected to ground drainage causing soil erosion and exposure of foundations.
- 5.1.3 Timber sample results show that the external timber frame is suffering from advanced brown rot and borer beetle infestation and therefore is unsound and not fit for purpose.
- 5.1.4 Widespread borer beetle infestation and flight holes were evident to a large proportion of the timber weatherboards. Insufficient ground clearances are present to a number of areas around the property which is resulting in the timber weatherboards to decay.
- 5.1.5 The windows and front entrance door have been neglected to a point where it would be cost prohibitive to undertake repairs and require replacement.
- 5.1.6 From what was visible of the subfloor, it was evident that the timber has suffered from widespread borer infestation, flight holes and frass were present, most noticeably within the timber floor joists. We noted that no connections have been made between the individual structural members. The diagonal bracing is also very limited, as such the building is highly susceptible to lateral movement.
- 5.1.7 As both of the properties were constructed prior to the 1980's, there is a moderate risk that lead-based paints are present within numerous elements of the building.

### 5.2 Recommendations

- 5.2.1 We would recommend immediate replacement of the roof covering. However, a 'like for like' replacement of the asbestos cement sheet roof would be non-compliant under section F2 of the Building Code 'Hazardous Building Materials'. Therefore, to replace the roof covering, an alternative solution such as a metal corrugated roof would be required.
- 5.2.2 We would recommend removing all debris from the rainwater goods with immediate effect and to undertake annual cyclical cleaning thereafter, downpipe to underground drain connections also need to be renewed to ensure rainwater can be discharged freely away from the property.

Note: Any works involving removal and replacement of the two asbestos containing downpipes will have to be in line with the Health and Safety at Work (asbestos) Regulations 2016 and Worksafe Approved Code of Practice November 2016. This will increase the cost of demolition work.

- 5.2.3 We would anticipate that a significant amount of timber framing will require replacing and anything that can be saved would need to be treated for borer beetle as a precautionary measure. The full extent cannot be determined without the removal of the timber weatherboards. As a result we would suggest that the timber weatherboards are replaced and installed on a cavity system to meet code requirements.
- 5.2.4 We would recommend wholesale replacement with 'like for like' timber framed windows and a new 'like for like' timber front entrance door.
- 5.2.5 At this stage we anticipate replacement will be required to a number of the floor joists, posts and bearers. Proprietary timber connectors will also need to be installed between many of the structural members.

# Appendices

The background of the page is a solid teal color. A decorative element consisting of many thin, parallel, wavy lines in a slightly lighter shade of teal starts from the left edge and extends diagonally across the middle of the page, creating a textured, water-like effect.





## Appendix A      Photographs - 139 Beach Road



Photograph 1

Overview of the front elevation.



Photograph 2

Overview of the asbestos cement roof sheets.



Photograph 3

Vegetation growth protruding from the asbestos cement downpipe bracket.



**Photograph 4**

Flight holes from borer beetle noted to the timber weatherboards.



**Photograph 5**

Further evidence of rotted timber window joinery.



**Photograph 6**

Evidence of timber decay to the glazing bead.





**Photograph 7**

Timber decay causing the window mullion to fracture.



**Photograph 8**

Horizontal and vertical cracking evident to the top of the masonry wall within the southeast corner of the property.



**Photograph 9**

No visible connections between the structural members within the subfloor were evident.



**Photograph 10**

Borer infestation and evidence of water ingress was noted within the ceiling void.



**Photograph 11**

Internal wall linings were in poor condition and require substantial repairs/replacement.



**Photograph 12**

Widespread mould growth present to the kitchen particle board ceiling linings.





**Photograph 13**

Widespread borer infestation noted to the timber wall linings within the cupboard to the hallway.



**Photograph 14**

Frass from borer beetle within the internal timber door evident to the floor covering.



**Photograph 15**

Further evidence of borer beetle infestation with the timber floor lining and skirting boards.



**Photograph 16**

Horizontal cracking below the window within bedroom 1. Most likely caused by movement within the masonry wall below.



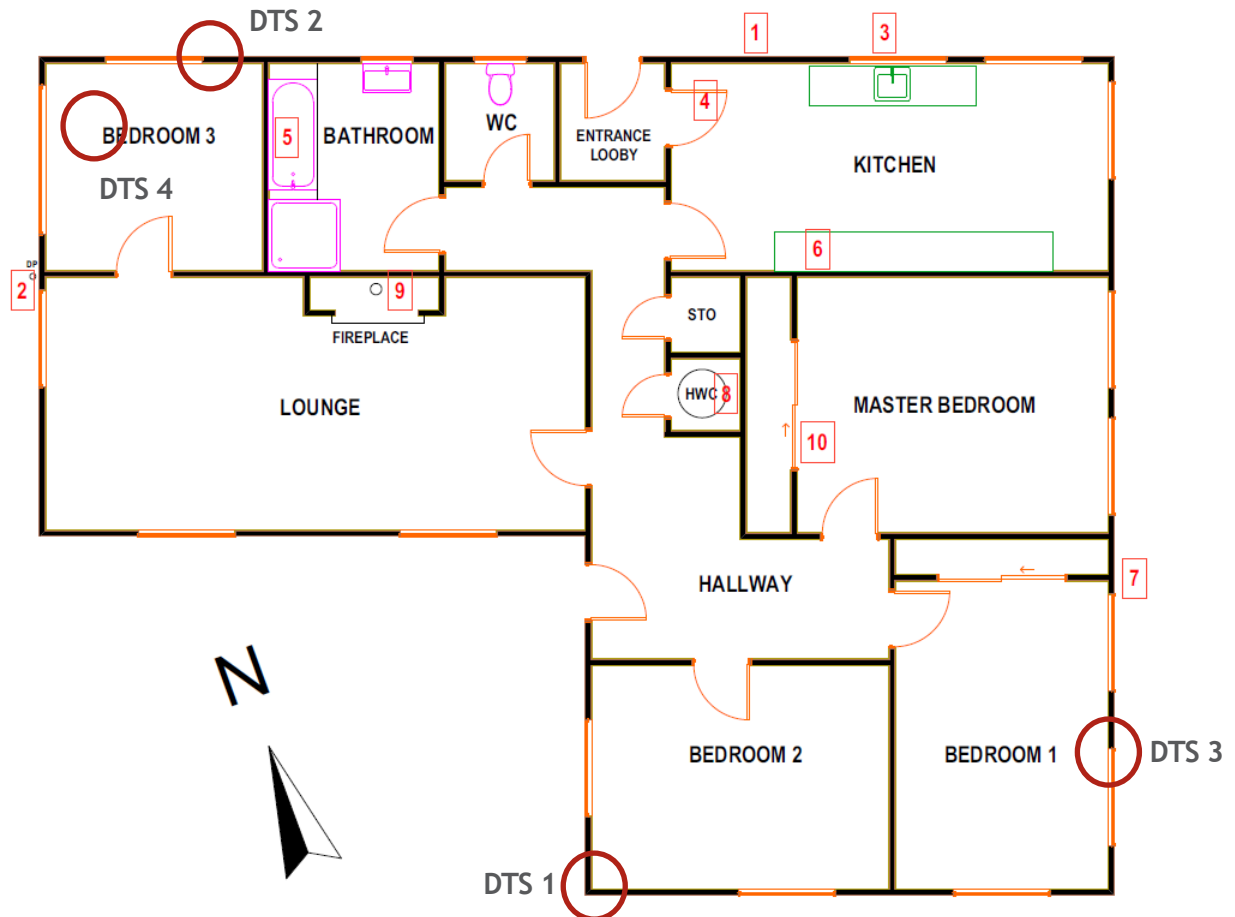
**Photograph 17**

Damage and water ingress noted to the ceiling lining within bedroom 3.





## Appendix B Floor Plan





## Appendix C      TRS Timber Samples



**TIMBER & RESEARCH SERVICES LTD****Ref: TRS191, 5th February 2018****Your Ref; ACC9266.025**

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**RE: WOOD SAMPLES FOR DECAY AND PRESERVATIVE ANALYSIS, YOUR REF: 139 BEACH ROAD-ACC9266.025**

Four wood samples were received (03/02/18) for decay, species and treatment analysis.

**SAMPLES EXAMINED -**

Dr. Adrian Spiers

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Location	Description	Analysis
DTS1	Rear corner stud	Decay/Treatment/Replacement
DTS2	Adjacent to window	Decay/Treatment/Replacement
DTS3	SW room under window	Decay/Treatment/Replacement
DTS4	Ceiling joist	Decay/Treatment/Replacement

## MICROSCOPY

Wood sections from across the depth of the samples were mounted in glycerol, stained with aniline blue and examined by light microscopy under polarised light and bright field illumination. Where appropriate, sections removed from the sample were compared with sections from sound wood of *Pinus radiata*. This comparison is useful for determining the loss of cell wall integrity.

## DECAY ANALYSIS

- Samples were all Rimu, a native species of conifer.
- Samples DTS 1 and 2 exhibited advanced brown rot.
- Samples DTS3 and 4 exhibited light brown rot.

## PRESERVATIVE (spot test)

The sample was spot tested for boron, tin and copper. We cannot test for the organic treatments, Permethrin + IPBC (H1.2) nor did Azole + Permethrin (H3.1) used late 2003-March 2005 in accordance with NZ3640.2003 and NZ3640.1992 used earlier as H1-plus. Tin is difficult to test in small samples due to low retention. A treatment, (H3.1) based on Tebuconazole, Propiconazole and Permethrin has been used widely in recent years. Azoles (triazoles) cannot be tested for in spot tests. Since NZS3640.2003, IPBC has been used with Permethrin as an LSOP treatment (H1.2, blue coded framing). IPBC was used in H1 framing from mid-2001-2003. Permethrin has been used since 1992 as an H1 insecticide treatment (NZS3640.1992).

Sample	Boron	Copper	Tin
DTS1	Negative	Negative	Negative
DTS2	Negative	Negative	Negative
DTS3	Negative	Negative	Negative
DTS4	Negative	Negative	Negative



## Moisture levels drive decay

**Below 18%.** Decay is considerably reduced with the exception of the dry rot fungus *Serpula lacrymans*.

**Between 18 - 30%.** Decay is uncertain. Initiation of decay requires higher moisture levels than for maintenance. Establishment probably requires levels closer to 30% (24 – 30%), whereas ongoing decay occurs at 22 – 25%.

**At 30%.** Decay, is almost certain. This is close to the moisture saturation point of wood.

## Discussion and Conclusions

- All samples exhibited brown rot and should be replaced with sound wood. The sap wood of Rimu is susceptible to decay fungi and also attack by Borer. Heart wood is very durable and resistant to Borer and decay.
- All samples tested negative for preservative treatment as expected since Rimu does not take up preservatives. Whilst the presence of durable framing creates greater latitude for remediation all framing requires effective moisture management.
- Decay in buildings, its significance for structural failure and appropriate remediation is complex. Several samples may be required to diagnose the extent of the problem.

## SUMMARY

The purpose of the table below is to briefly summarize the **“FIT FOR PURPOSE”** properties of the wood sample examined.

Sample	Sound	Unsound
DTS1		X
DTS2		X
DTS3		X
DTS4		X

**SOUND-** the wood can be left *in situ* provided framing is permanently dried to below 18% moisture content.

**UN SOUND-** the wood should be replaced in accordance with established remediation practice.

Yours Sincerely

A handwritten signature in dark ink, appearing to read 'A. Spiers', written in a cursive style.

Dr A.G. Spiers

Dr. Adrian Spiers

4



## BACKGROUND INFORMATION

Wood decay fungi have four major constraints to overcome in order to colonize wood namely,

1. Substrate complexity.
2. Lack of nitrogen.
3. Lack of moisture (in the absence of leaky buildings).
4. Presence of fungitoxic compounds (natural inhibitors and preservatives).

Wood contains only small amounts of usable substrates such as simple sugars and starch. These are present in the ray parenchyma cells and are utilized rapidly by sap stain fungi which “bloom” on freshly cut logs then vanish.

Wood is composed of;

**Cellulose**, (40-50% dry weight) = long chains of beta-1, 4-linked glucose.

**Hemicelluloses** (25-40%) = mixed polymers of glucose, mannose, xylose and arabinose.

**Lignin** (20-35%) = a complex polymer of 3 types of phenyl-propane units.

Lignin is distributed throughout the secondary wall and compound middle lamella, but the greatest concentration occurs in the middle lamella. Lignin is highly resistant to enzymatic attack and envelops other wall materials or forms chemical complexes with them preventing easy degradation.

The distribution of hemicellulose parallels that of lignin. Hemicelluloses surround the cellulose microfibrils and occupy spaces between fibrils. Crystalline and amorphous forms of cellulose occur within the cell wall. In one model of the cell wall cellulose fibrils are encrusted in a matrix of lignin and hemicellulose.

The wood cell wall is composed of various layers. The middle lamella and primary wall make up the compound middle lamella which is located between the secondary walls of adjacent cells. The secondary wall has three layers designated S1, S2 and S3. The S3 is located nearest the cell lumen. The S2 region, usually the largest, is the middle layer, and the S1 is the outermost layer of the secondary wall. The layers are distinct from one another because the cellulose occurs in different microfibrillar orientations around the cell axis in each layer.

Wood typically has a very low nitrogen content (less 0.1%) and low phosphorous, two elements required for fungal growth.

Fungitoxic compounds are commonly found in the heartwood and include tannins in broadleaved trees and various phenolic compounds (terpenes, stilbenes, flavonoids, and tropolones) in coniferous trees. The most toxic tropolones are the thuajaplicins, which uncouple oxidative phosphorylation. The natural decay resistance of Cedar is due to these compounds. The specificity of fungi for particular wood types is related to their tolerance of particular fungitoxic compounds.

## TYPES OF WOOD DECAY FUNGI

Wood decay fungi can be grouped in various ways, namely,

1. Their method of degrading wood which reflects fundamental differences in enzymatic activities – the **white-rot**, **brown-rot** and **soft-rot** fungi.
2. Their general biology – whether they are;
  - a. pathogens which attack and destroy living sapwood,
  - b. parasites which attack stressed trees,
  - c. saprotrophs which colonize dead wood.

## GROUPINGS OF FUNGI ON WOOD

### MOULDS & SCAVENGERS

Generally colonize the surface of wood rather than its structural components and have no effect on wood strength.

**Hazard;** may produce mycotoxins and cause allergies.

Examples; *Aspergillus spp.*, *Penicillium spp.*, *Trichoderma spp.*, *Stachybotrys spp.*, *Gliocladium spp.*

### STAIN FUNGI

Colonize sapwood where their pigmented hyphae stain wood. Degrade cell contents rather than cell walls so have little effect on wood strength.

**Hazard;** May cause allergies.

Examples; *Alternaria spp.*, *Aureobasidium spp.*, *Cladosporium spp.*, *Ophiostoma spp.*

### BROWN-ROT FUNGI

Brown-rot decay fungi degrade cellulose and hemicellulose extensively and cause only limited degradation of lignin. Rapid and uniform loss of cellulose causes shrinkage and cracks which gives rotted wood a cubical appearance. Removal of crystalline cellulose in the cell walls is confirmed by a rapid loss of birefringence when the wood is examined by polarized light. The loss of birefringence may not be uniform suggesting some variation in diffusion of enzymes which is possibly related to lignin distribution. Brown-rot fungi cause extensive loss of polysaccharides early in the decay process when only a few hyphae are present suggesting that an extremely diffusible agent is responsible for the degradation.

**Hazard;** Brown-rot fungi are the most common cause of decay of timber in service. They also play an important role in the forest ecosystem for the recycling of nutrients and moisture retention.

Examples; *Serpula lacrymans*, *Piptoporus spp.*, *Coniophora puteana*, *Gloeophyllum sepiarium*, *Poria spp.*, *Postia placenta*

### Enzymology of Brown-rot fungi

Brown-rot fungi are unique, because they cause a generalized rot which extends far beyond the fungal hyphae. This cannot be explained by actions of conventional cellulose enzymes. Instead, brown-rot hyphae produce the enzyme **glucose oxidase** which generates hydrogen peroxide (H<sub>2</sub>O<sub>2</sub>) from glucose in the hemicelluloses. The H<sub>2</sub>O<sub>2</sub> then oxidizes cellulose and also modifies but does not degrade lignin, leaving it as a brown framework. Being a small molecule, the H<sub>2</sub>O<sub>2</sub> can diffuse freely through out the wood, causing generalized breakdown. In fact, the characteristic decay pattern caused by brown-rot fungi can be reproduced by treating wood with H<sub>2</sub>O<sub>2</sub> alone.



## WHITE-ROT FUNGI

White-rot fungi degrade all the major wood components (cellulose, hemicelluloses and lignin) more or less simultaneously, so the wood becomes progressively more fragile but remains white as it decays. The decayed wood may be brittle, soft, and spongy or separate into string-like fragments. White rot fungi colonize wood quickly and become established in all cells of the xylem. The ray parenchyma cells are frequently the first to be colonized. Bore holes may be numerous and hyphal penetration from cell to cell via pits or directly through the cell wall is easily accomplished. Erosion of the cell wall from the cell lumen toward the middle lamella may also occur.

**Hazard.** White-rot decay causes total loss of strength in affected areas.

Examples; *Armillaria mellea*, *Heterobasidion annosum*, *Coriolus versicolor*, *Xylaria hypoxylon*, *Xylaria polymorpha*, *Irpex lacteus*, *Ganoderma* spp., *Phellinus pini*, *Schizophyllum commune*.

## Enzymology of White-rot fungi

White-rot fungi degrade cellulose and hemicellulose by conventional enzymes released from the fungal hyphae. To decay cellulose, three types of enzymes are required: **Cellobiohydrolase, endo-beta—1, 4-glucanase and beta-glucosidase**. Together these enzymes provide the fungus with glucose. However, the main chain-splitting enzymes are large and therefore do not diffuse far hence decay is localized around hyphae.

Lignin is a complex, three dimensional polymer which can only be degraded by white-rot fungi via a process termed “enzymatic combustion”. Essentially, this process is an enzyme-mediated oxidation, involving transfer of single electrons to the intact lignin molecule. Then these electrons are transferred to other parts of the molecule in uncontrolled chain reactions, leading to breakdown of the molecule. Some of the enzymes involved include; **lignin peroxidase, manganese peroxidase, laccase (phenol oxidase)** and several hydrogen peroxide generating enzymes, for example, **glucose oxidase**.

## SOFT-ROT DECAY

Soft-rot fungi degrade only the cellulose and hemicelluloses, and typically occur in wood of high water content and high nitrogen content. They are most commonly found in rotting window frames, wet floor boards and fence posts etc., where nitrogen is recruited from soil or atmospheric contamination. Some of these fungi are common decomposers of cellulose in soil eg. *Chaetomium* spp. and they are the least specialized of the wood-rot fungi.

Soft-rot fungi are species of Ascomycotina and Deuteromycotina that grow within the cell wall forming cavities in the S2 layer. The term soft rot was first used by Savory in 1954 to characterize the decay due to the soft appearance of the surface. When dry the decayed wood is brown with cracks and checks that are similar to brown-rotted wood. A unique feature of soft-rot attack is the chains of biconical and cylindrical cavities produced within the secondary wall. The rate of decay by soft-rot fungi appears to be influenced by the type and quantity of lignin in the wood.

**Hazard;** Soft-rot decay can be significant in wood saturated with moisture.

Examples; *Chaetomium globosum*, *Alternaria alternata*, *Phialophora* spp., *Papulaspora* spp., *Paecilomyces* spp., *Graphium* spp. *Thielavia terrestris*.

## Enzymology of Soft-rot fungi

Soft-rot fungi decay cellulose and hemicelluloses in the same way as white-rot fungi and utilize **cellobiohydrolase, endo-beta-1, 4-glucanase** and **beta-glucosidase enzymes**. Together these enzymes provide the fungus with glucose. However, since these chain-splitting enzymes are large they do not diffuse far and decay is localized near hyphae.





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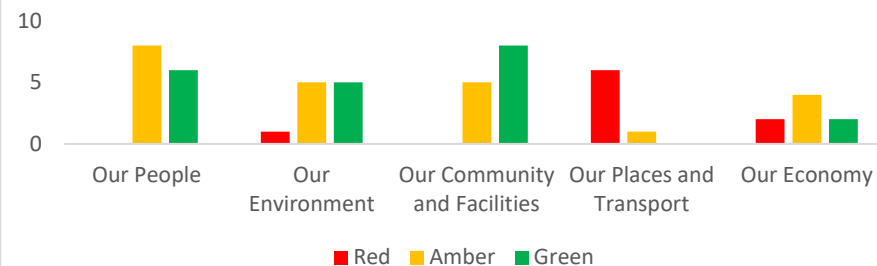
Te mahere ā rohe o Devonport-Takapuna 2023

# Devonport-Takapuna Local Board Plan 2023

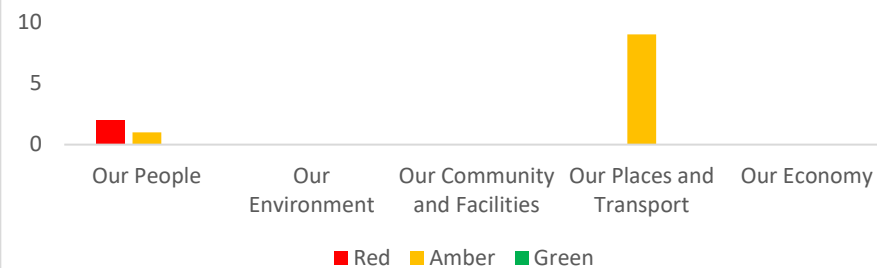


## Local Board Plan monitoring

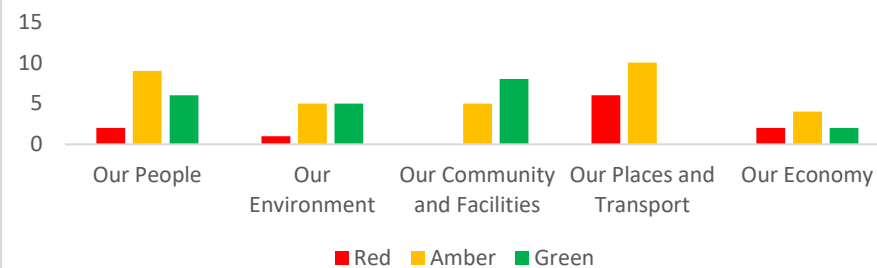
Local Board Plan Initiatives



Local Board Plan Advocacy



Local Board Plan





Plan / Advocacy	What we want to achieve (Objectives)	What we will deliver in the next 3 years (Key Initiatives) / What we will advocate for in	What success looks like (Measure of success)	RAG	Key LBWP activities / Advocating to	Comments
Plan	All members of the community feel they can have a say in the decisions that affect them.	Community conversations – enabling communities we hear from less to engage more comfortably and on their terms.	Community are active participants at community conversations and the local board is reaching and hearing from all corners of the community.	Green	Key LBWP Activities: WP ID 4415: Increase the awareness and effectiveness of local board engagement activities through investment in things such as engagement materials and resources, and facility hireage for engagement events. WP ID 3939: Community Activator Raki WP ID 3940: Community Activator Taitonga  Activites outside of WP:	Community Conversations were adopted under resolution DT/2024/98
Plan	All members of the community feel they can have a say in the decisions that affect them.	Continue to support Younite Youth Board who work with rangatahi from across Devonport-Takapuna. We want their aspirations to be included in local planning and decision making.	Increased support for youth involvement in the planning and decision-making process by having a youth representative at the table serving in an advisory capacity to offer youth perspective on decisions.	Green		
Plan	Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	Support our growing Asian and ethnic communities by implementing the Devonport-Takapuna Ethnic Plan.	Ethnic communities have better access and understanding of local services, facilities, and programmes and their increased participation is reflected in participation demographics. Partner with service providers working with Asian families to celebrate Chinese and Korean culture, language and initiatives which support Asian families to achieve their aspirations. Increased involvement from ethnic and diverse communities is reflected in consultation statistics and civic participation	Green	Key LBWP Activities: WP ID 87: Ethnic Communities Plan - Devonport-Takapuna WP ID 1218: Library services - Devonport - Takapuna WP ID 3917: Community Development Specialist delivery- Devonport-Takapuna wp id 100 Community Grants Devonport-Takapuna Activites outside of WP:	Ethnic plan adopted in resolution DT/2024/90
Plan	Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	Partner with mana whenua and mataawaka to deliver initiatives that support sharing Māori cultural knowledge and practices through storytelling projects, celebrating te reo Māori and responding to Māori aspirations.	Programmes and activities are being delivered in collaboration with Māori for our Māori community and supported by the local board.	Amber	Key LBWP Activities: WP ID 77 Operational grant - The Lake House Arts Centre WP ID 3917: Community Development Specialist delivery- Devonport-Takapuna WP ID 4000: Mana Whenua Initiatives WP ID 95: Māori Outcomes WP ID 4149: Devonport -Takapuna Local Board - Te Kete Rukuruku Māori Naming of Parks and Places: Tranche One Phase Two WP ID 20689 Te Uru Tapu Sacred Grove Takapuna Beach Activites outside of WP:	
Plan	Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	People with disabilities are actively engaged as key stakeholders.	Disabled people's views are actively sought, referenced, and considered in local decision making.	Amber	Key LBWP Activities: WP ID 97 Activation of community led venue partners Devonport-Takapuna (SCH DCH) WP ID 3939: Community Activator Raki WP ID 3940: Community Activator Taitonga WP ID 1336 review f Community service Takapuna Activites outside of WP:	
Plan	Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	Our senior community are provided support and opportunity to navigate a rapidly changing world and enjoy a rewarding, safe and sustainable quality of life.	Community partners continue to deliver services that target and support our senior population through programmes and activities that enable wider participation and connection such as digital competency, Active Aging, and Elderly Shoppers Run.	Amber	Key LBWP Activities: WP ID 89 Operational grant - The Rose Centre WP ID 83 Operational grant - The Devonport Museum WP ID 91 Digital Equity for Seniors WP ID 97 Activation of community led venue partners Devonport-Takapuna WP ID 3939: Community Activator Raki WP ID 3940: Community Activator Taitonga WP ID 1218: Library services - Devonport - Takapuna WP ID 3854: Food security initiatives WP ID 3917: Community Development Specialist delivery- Devonport-Takapuna WP ID 3197 Devonport Senior Citizens Association Grant of new community lease Activites outside of WP:	



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Plan	Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	Explore opportunities and activities that bring together people of different ages, backgrounds, and cultures.	Intergenerational activities are supported and encouraged.	Green	<p>Key LBWP Activities:</p> <p>WP ID 80 Operational grant - North Shore Brass</p> <p>WP ID 84 Operational grant - Michael King Writers Centre</p> <p>WP ID 83 Operational grant - The Devonport Museum</p> <p>WP ID 89 Operational grant - The Rose Centre</p> <p>WP ID 88 Operational grant - The Pumphouse Theatre</p> <p>WP ID 90 Operational grant - The Depot Artspace</p> <p>WP ID 97 Activation of community led venue partners Devonport-Takapuna (SNCH, DCH)</p> <p>WP ID 3939: Community Activator Raki</p> <p>WP ID 3940: Community Activator Taitonga</p> <p>WP ID 98: Access to community places Devonport-Takapuna (Venue hire)</p> <p>WP ID 103: Citizenship ceremonies Devonport-Takapuna</p> <p>WP ID 1008: Devonport-Takapuna Local Board - Activation of parks, places and open spaces</p> <p>WP ID 1218: Library services - Devonport - Takapuna</p> <p>WP ID 3917: Community Development Specialist delivery- Devonport-Takapuna</p> <p>WP ID 3012: Restoring Takarunga Hauraki - Devonport</p> <p>WP ID: 3013: Pupuke Birdsong Project</p> <p>Activites outside of WP:</p>	
Plan	Māori are involved in decision making.	Develop and strengthen relationships between mana whenua and the Devonport-Takapuna Local Board to enable sustained open dialogue and input into local decisions.	Rangatira ki te Rangatira. Sustained leadership dialogue. Ongoing conversations take place with groups that have strong interests in our area. Mana whenua are engaged in the early stages of projects	Amber	<p>Key LBWP Activities:</p> <p>WP ID 95: Māori Outcomes</p> <p>WP ID 4000: Mana Whenua Initiatives</p> <p>WP ID 102: Local implementation of Ngā Hapori Momoho (Thriving Communities strategic action plan)- Devonport-Takapuna</p> <p>WP ID 4149: Devonport -Takapuna Local Board - Te Kete Rukuruku Māori Naming of Parks and Places: Tranche One Phase Two</p>	
Plan	Māori are involved in decision making.	Develop and strengthen relationships with mataawaka groups and the Devonport-Takapuna Local Board to enable open dialogue and input into local decisions.	Opportunities are sought to establish relationships and work in partnership with the local board.	Amber	<p>Key LBWP Activities:</p> <p>WP ID 95: Māori Outcomes</p> <p>WP ID 4000: Mana Whenua Initiatives</p> <p>WP ID 102: Local implementation of Ngā Hapori Momoho (Thriving Communities strategic action plan)- Devonport-Takapuna</p> <p>WP ID 4149: Devonport -Takapuna Local Board - Te Kete Rukuruku Māori Naming of Parks and Places: Tranche One Phase Two</p> <p>WP ID 20689 Te Uru Tapu Sacred Grove Takapuna Beach</p> <p>Activites outside of WP:</p>	
Plan	Provide opportunities to recognise and celebrate Māori heritage and culture.	Continue to deliver Te Kete Rukuruku, the dual naming of parks and reserves, to celebrate and share stories that showcase our unique Māori identity and heritage.	Our parks and reserves have names that reflect their Māori history.	Amber	<p>Key LBWP Activities:</p> <p>WP ID 4149: Devonport -Takapuna Local Board - Te Kete Rukuruku Māori Naming of Parks and Places: Tranche One Phase Two</p> <p>Activites outside of WP:</p>	
Plan	Provide opportunities to recognise and celebrate Māori heritage and culture.	Restore and enhance the wahi tapu site, Te Uru Tapu/Sacred Grove.	Te Uru Tapu/Sacred grove is protected and restored.	Amber	<p>Key LBWP Activities:</p> <p>WP ID 4000: Mana Whenua Initiatives</p> <p>WP ID: 3013: Pupuke Birdsong Project</p> <p>WP ID 20689 Te Uru Tapau Sacred Grove Takapuna Beach</p> <p>Activites outside of WP:</p>	
Plan	Provide opportunities to recognise and celebrate Māori heritage and culture.	Matariki is promoted and celebrated.	Local board supports local Matariki events.	Green	<p>Key LBWP Activities:</p> <p>WP ID 95: Māori Outcomes</p> <p>WP ID 4000: Mana Whenua Initiatives</p> <p>WP ID 102: Local implementation of Ngā Hapori Momoho (Thriving Communities strategic action plan)- Devonport-Takapuna</p> <p>Activites outside of WP:</p>	Include Matariki support given in June 2025
Plan	Our communities are thriving and empowered to support one another.	Promote opportunities to build local resilience and support ideas and projects that encourage strong, positive, and cooperative social connections.	Everyone in our community has access to information on how to prepare for emergencies and understands their risk of flooding and hazards and have opportunities to strengthen their connection and mutually support one another.	Green	<p>Key LBWP Activities:</p> <p>WP ID 3953: Devonport-Takapuna Local Board, community and business emergency response plans and resilience programme</p> <p>WP ID 102: Local implementation of Ngā Hapori Momoho (Thriving Communities strategic action plan)- Devonport-Takapuna</p> <p>WP ID 1218: Library services - Devonport - Takapuna</p> <p>WP ID 3939: Community Activator Raki</p> <p>WP ID 3940: Community Activator Taitonga</p> <p>WP ID 97 Activation of community led venue partners Sunnynook Community Centre Devonport Community House</p> <p>Activites outside of WP:</p>	

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Plan	Our communities are thriving and empowered to support one another.	We are partnered with community organisations in the delivery of community safety and crime prevention activities.	Our communities feel safe in their neighbourhoods.	Amber	<p>Key LBWP Activities:</p> <p>WP ID: 94 Organisational Capacity building ANCAD</p> <p>WP ID 3953: Devonport-Takapuna Local Board, community and business emergency response plans and resilience programme</p> <p>WP ID 102: Local implementation of Ngā Hapori Momoho (Thriving Communities strategic action plan)- Devonport-Takapuna</p> <p>WP ID 3917: Community Development Specialist delivery- Devonport-Takapuna</p> <p>WP ID 3939: Community Activator Raki</p> <p>WP ID 3940: Community Activator Taitonga</p> <p>WP ID 97 Activation of community led venue partners Devonport-Takapuna (SCH DCH)</p> <p>WP ID 4073: Community Activator Review</p> <p>Activites outside of WP:</p>	
Advocacy		Advocate for accessible and easy to use engagement methods that suit our residents for both local and regional consultations.		Red	<p>Key LBWP Activities:</p> <p>Advocating to:</p>	
Advocacy		Advocate to and work with Auckland Emergency Management and wider council departments to support community networks and connections that help people to fare better and respond to emergencies and the impacts of climate change.		Amber	<p>Key LBWP Activities:</p> <p>WP ID 3953: DTLB, Community, and Business emergency response plans and resilience programme</p> <p>Advocating to:</p> <p>Auckland Emergency Management, wider council departments</p>	
Advocacy		Advocate for improved communication by Auckland Council to ensure diverse representation, fostering an informed community and enhancing engagement.		Red	<p>Key LBWP Activities:</p> <p>Advocating to:</p>	





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Plan	Improve water quality in the Wairau Catchment, Lake Pupuke, and our marine environment.	Work with the Kaipātiki Local Board and community partners to reduce litter, sediment, and industry pollutants to improve the water quality in the catchment of the Wairau Estuary	The Devonport-Takapuna and Kaipātiki Local Boards are aligned in their support and advocacy for the improvement of the Wairau Catchment	Red	Key LBWP Activities: WP ID 550: Wairau Estuary enhancement Planting  Activities outside of WP: Joint workshop to discuss making Space for Water 22 July 2024	
Plan	Improve water quality in the Wairau Catchment, Lake Pupuke, and our marine environment.	Develop a Wairau Water Quality Action Plan to include riparian planting, regular clean-up, monitoring, and building site management for sediment control.	A Wairau Water Quality Action Plan is in development.	Amber	Key LBWP Activities: WP ID 550: Wairau Estuary enhancement Planting  Activities outside of WP:	
Plan	Natural and built heritage are conserved and both colonial and Māori history and significant places are valued, promoted, and celebrated	Our communities practice te ao Māori guardianship (kaitiakitanga) principles led by mana whenua.	Communities are educated and prepared to follow tikanga when working with taonga and working on sacred land. We are partnered with mana whenua, mataawaka and community groups to restore te taiao, prepare for climate impacts and deliver initiatives that increase understanding of mātauranga Māori.	Amber	Key LBWP Activities: WP ID 77: Operational grant - The Lake House Arts Centre WP ID 83: Operational grant - The Devonport Museum WP ID 106: Anzac services Devonport-Takapuna WP ID 4000: Mana Whenua Initiatives WP ID 4149: Devonport -Takapuna Local Board - Te Kete Rukuruku Māori Naming of Parks and Places: Tranche One Phase Two WP ID 3012: Restoring Takarunga Hauraki - Devonport WP ID: 3013: Pupuke Birdsong Project  Activities outside of WP:	
Plan	Empower the community to contribute to the control of plant and animal pests to allow native trees, birds and other biodiversity to thrive.	Support community-led environmental groups in undertaking community-led conservation to manage the negative effects of plant and animal pests on both public and private land.	Invasive plant and animal species in the targeted areas are reduced. Native plant and animal species in our parks are increased through planting.	Green	Key LBWP Activities: WP ID 525: Devonport-Takapuna Ecological and environmental programme WP ID 938: Devonport-Takapuna Ecological Restoration contracts WP ID 3012: Restoring Takarunga Hauraki - Devonport WP ID: 3013: Pupuke Birdsong Project  Activities outside of WP:	
Plan	Empower the community to contribute to the control of plant and animal pests to allow native trees, birds and other biodiversity to thrive.	Support the ongoing valuable work of our ecological and environmental volunteers in our local parks.	Invasive plant and animal species in the targeted areas are reduced. Native plant and animal species in our parks are increased through planting.	Green	Key LBWP Activities: WP ID 525: Devonport-Takapuna Ecological and environmental programme WP ID 938: Devonport-Takapuna Ecological Restoration contracts WP ID 3012: Restoring Takarunga Hauraki - Devonport WP ID: 3013: Pupuke Birdsong Project  Activities outside of WP:	
Plan	Empower the community to contribute to the control of plant and animal pests to allow native trees, birds and other biodiversity to thrive.	Continue to work alongside the Tūpuna Maunga Authority by connecting them with volunteer groups to support efforts in planting and pest trapping.	Invasive plant and animal species in the targeted areas are reduced. Native plant and animal species in our parks are increased through planting.	Amber	Key LBWP Activities: WP ID 525: Devonport-Takapuna Ecological and environmental programme WP ID 938: Devonport-Takapuna Ecological Restoration contracts WP ID 3012: Restoring Takarunga Hauraki - Devonport  Activities outside of WP:	

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Plan	Communities live more sustainably	Support initiatives which provide whānau and communities with education on reducing their carbon footprint and living more sustainably e.g., - bike hubs and micro-mobility education - community gardens - composting workshops - regeneration and sustainability workshops - mode shift programmes for short journeys	Our communities can access resources to help them reduce emissions and adapt to the impacts of climate change. Waste generated by business and individuals is reduced. Increase in the number of materials diverted from landfills through waste avoidance, reuse, recycling, and composting. Increased number of low carbon and waste minimisation initiatives. Events supported by the local board provide zero waste initiatives.	Amber	Key LBWP Activities: WP ID 1218: Library services - Devonport - Takapuna WP ID 3854: Food security initiatives WP ID 3917: Community Development Specialist delivery- Devonport-Takapuna WP ID 3939: Community Activator Raki WP ID 3940: Community Activator Taitonga WP ID 3012: Restoring Takarunga Hauraki - Devonport WP ID: 3013: Pupuke Birdsong Project WP ID 4403: Naughty Wasters Zero Waste Makerspace WP ID 521 Devonport-Takapuna Local Board greenways Plan refresh WP ID 3996 Devonport-Takapuna Walking and Cycling Guide. Activities outside of WP: Forrest Hill Bike Hub	
Plan	Communities live more sustainably	Support zero waste initiatives that promote a circular economy.	Our communities can access resources to help them reduce emissions and adapt to the impacts of climate change. Waste generated by business and individuals is reduced. Increase in the number of materials diverted from landfills through waste avoidance, reuse, recycling, and composting. Increased number of low carbon and waste minimisation initiatives. Events supported by the local board provide zero waste initiatives.	Amber	Key LBWP Activities: WP ID 1218: Library services - Devonport - Takapuna WP ID 3854: Food security initiatives WP ID 3917: Community Development Specialist delivery- Devonport-Takapuna WP ID 4403: Naughty Wasters Zero Waste Makerspace Activities outside of WP:	
Plan	Communities live more sustainably	Support pātaka kai and food security initiatives	Food security and resilience is invested in.	Green	Key LBWP Activities: WP ID 3854: Food security initiatives WP ID 3917: Community Development Specialist delivery- Devonport-Takapuna WP ID 3939: Community Activator Raki WP ID 3940: Community Activator Taitonga Activities outside of WP:	
Plan	Canopy coverage is increased.	Continue to support the delivery of the Devonport-Takapuna Urban Ngahere Strategy	Our existing trees are protected, and our canopy cover continues to increase.	Green	Key LBWP Activities: WP ID 942: Devonport-Takapuna Arboriculture contracts WP ID 1305: Devonport-Takapuna Local Parks Management Plan WP ID 3001: Devonport-Takapuna Urban Ngahere - Knowing Activities outside of WP:	
Plan	Canopy coverage is increased.	Support focus on appropriate planting and having the principle of having the right tree in the right place.	Community nurseries are supported to grow native and ecologically appropriate plants.	Green	Key LBWP Activities: WP ID 525: Devonport-Takapuna Ecological and environmental programme WP ID 938: Devonport-Takapuna Ecological Restoration contracts WP ID 942: Devonport-Takapuna Arboriculture contracts WP ID 1305: Devonport-Takapuna Local Parks Management Plan WP ID 3001: Devonport-Takapuna Urban Ngahere - Knowing WP ID 3012: Restoring Takarunga Hauraki - Devonport WP ID: 3013: Pupuke Birdsong Project Activities outside of WP:	Pupuke birdsong & RTH
Advocacy		Advocate to the Governing body for increased investment in the Wairau catchment to better manage stormwater and the impacts from extreme weather.			Key LBWP Activities:  Advocating to: Governing Body	

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Advocacy		Advocate for appropriate attention and funding towards correcting poor stormwater infrastructure in and around our parks and reserves that have been severely impacted by flooding, particularly in Sunnynook, Braemar Reserve and Brian Byrnes reserve.			Key LBWP Activities:  Advocating to:	
Advocacy		Advocate for appropriate land use planning and associated funding to improve stormwater and wastewater infrastructure in growth areas that supports Auckland's climate goals and builds resilience to future climate impacts.			Key LBWP Activities:  Advocating to:	
Advocacy		Advocate for regional funding to reduce sediment and contaminants, using nature-based solutions where appropriate, from urban development and land use entering our waterways and for an increase in compliance staff to support this important work.			Key LBWP Activities:  Advocating to:	
Advocacy		Advocate to the Governing Body for continuation of the Natural environment targeted rate to tackle pests, weeds, and pathogens such Kauri Dieback disease.			Key LBWP Activities:  Advocating to: Governing Body	
Advocacy		Advocate to the Governing Body for investment in the health of Lake Pupuke and the improvement of the lakes eco systems and water quality.			Key LBWP Activities:  Advocating to: Governing Body	
Advocacy		Advocate to Watercare to inform the community about the importance of reporting faults in order to support the reactive maintenance programme for wastewater.			Key LBWP Activities:  Advocating to: Water Care	
Advocacy		Advocate to the responsible water entity for improvements in water quality and infrastructure.			Key LBWP Activities:  Advocating to:	
Advocacy		Advocate to the Governing Body for additional funding to renew our heritage asset portfolio and enable greater protection for our heritage assets.			Key LBWP Activities:  Advocating to: Governing Body	
Advocacy		Work with the Land & Coasts department to support the development of Shoreline Adaptation Plans to ensure a sustainable approach to the management of our shorelines.			Key LBWP Activities:  Advocating to:	



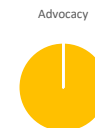


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Plan	Services are integrated and streamlined	Investigate opportunities to connect and consolidate services and avoid duplication.	Our facilities are multi-use, sustainable, fit-for-purpose and able to support our growing population.	Green	Key LBWP Activities: WP ID 1336: Review of community services in Takapuna WP ID 3997: 27 Lake Rd Service Assessment WP ID 4324: Devonport-Takapuna local service property portfolio review  Activities outside of WP:	
Plan	Services are integrated and streamlined	Optimise our spaces and facilities to better manage our asset portfolio with reduced funding whilst still supporting community activities.	Our facilities are multi-use, sustainable, fit-for-purpose and able to support our growing population.	Green	Key LBWP Activities: WP ID 1336: Review of community services in Takapuna WP ID 3997: 27 Lake Rd Service Assessment WP ID 4324: Devonport-Takapuna local service property portfolio review  Activities outside of WP:	
Plan	Services are integrated and streamlined	Continue the investigation into community service delivery in Takapuna and opportunities to fund a future proofed community hub and library.	Our facilities are multi-use, sustainable, fit-for-purpose and able to support our growing population.	Green	Key LBWP Activities: WP ID 1336: Review of community services in Takapuna WP ID 4324: Devonport-Takapuna local service property portfolio review  Activities outside of WP:	
Plan	Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	Identify partnership opportunities with local schools, churches, and other organisations to make their spaces available for community use.	Community needs are better responded to by delivering projects in partnership with other organisations when opportunities arise.	Amber	Key LBWP Activities: WP ID 100: Community Grants Devonport-Takapuna WP ID 1008: Devonport-Takapuna Local Board - Activation of parks, places and open spaces WP ID 3997: 27 Lake Rd Service Assessment WP ID 4324: Devonport-Takapuna local service property portfolio review  Activities outside of WP:	

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Plan	Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	Work with our community houses, recreational facilities, sports clubs, arts partners, and leaseholders to ensure they are providing programming and initiatives that are coordinated to fill any gaps and to avoid duplication.	Initiatives that connect our communities and respond to their needs are prioritised and monitored. Activities that are in alignment with local board plan outcomes are increased and well attended.	Green	<p>Key LBWP Activities:</p> <p>WP ID 1008: Devonport-Takapuna Local Board - Activation of parks, places and open spaces</p> <p>WP ID 1218: Library services - Devonport - Takapuna</p> <p>WP ID 2865: Legacy Rates Grants - Devonport-Takapuna</p> <p>WP ID 4391: Pupukemoana Sport and Recreation Collective</p> <p>WP ID 97 Activation of community led venue partners Devonport-Takapuna (SCH DCH)</p> <p>WP ID 3939: Community Activator Raki</p> <p>WP ID 3940: Community Activator Taitonga</p> <p>WP ID 77: Operational grant - The Lake House Arts Centre</p> <p>WP ID 80: Operational grant - North Shore Brass</p> <p>WP ID 83: Operational grant - The Devonport Museum</p> <p>WP ID 84: Operational grant - Michael King Writers Centre</p> <p>WP ID 88: Operational grant - The Pumphouse Theatre</p> <p>WP ID 89: Operational grant - The Rose Centre</p> <p>WP ID 90: Operational grant - The Depot Artspace</p> <p>WP ID 94: Organisational Capacity building : ANCAD</p> <p>WP ID 3012: Restoring Takarunga Hauraki - Devonport</p> <p>WP ID: 3013: Pupuke Birdsong Project</p> <p>Activites outside of WP:</p>	
Plan	Use of sustainable and locally sourced materials and practices are encouraged and supported.	Te Aranga Māori Design principles are reflected in our playgrounds, buildings, and street furniture.	Te Aranga Māori design principles have been reflected in our built environment.		<p>Key LBWP Activities:</p> <p>WP ID 3821: Devonport-Takapuna - Play Advocacy</p> <p>Activites outside of WP:</p>	
Plan	Use of sustainable and locally sourced materials and practices are encouraged and supported.	Parks and facilities are developed, renewed, and maintained with the use of sustainable, long-lasting materials that reduce impervious surfaces.	Sustainable design and materials have been prioritised and invested in.		<p>Key LBWP Activities:</p> <p>WP ID 940: Devonport-Takapuna Full Facilities maintenance contracts</p> <p>WP ID 3821: Devonport-Takapuna - Play Advocacy</p> <p>Activites outside of WP:</p>	
Plan	Investment is targeted where the need is greatest.	Development of the Local Parks Management Plan.	Completion of an Operational Devonport-Takapuna Local Parks Management Plan	Green	<p>Key LBWP Activities:</p> <p>WP ID 1305: Devonport-Takapuna Local Parks Management Plan</p> <p>WP ID 2784: Auburn Street Reserve service assessment</p> <p>Activites outside of WP:</p>	
Plan	Investment is targeted where the need is greatest.	Existing strategic assessments and parks management plans are used to identify gaps and duplication in the provision of open space and play equipment.	Our investment decisions are aligned with key strategic planning documents and deliver outcomes that respond to our community's needs.	Amber	<p>Key LBWP Activities:</p> <p>WP ID 3997: 27 Lake Rd Service Assessment</p> <p>WP ID 4324: Devonport-Takapuna local service property portfolio review</p> <p>Activites outside of WP:</p>	
Plan	Parks and facilities are accessible to people of all ages and abilities.	Māori language is promoted and visible in the programmes and services delivered, from libraries and community facilities to bilingual signage.	Signage is renewed using English and te reo Māori. Raised awareness of the Rahopara Pa site and promote the cultural and historical significance of this site in Castor Bay.	Amber	<p>Key LBWP Activities:</p> <p>WP ID 4149: Devonport -Takapuna Local Board - Te Kete Rukuruku Māori Naming of Parks and Places Tranche One Phase Two</p> <p>WP ID 4000 Reconise andcommunicate the importance of Rahopara Pa</p> <p>Activites outside of WP:</p>	

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Plan	Parks and facilities are accessible to people of all ages and abilities.	Development of a Devonport-Takapuna walking guide to showcase our areas beautiful walkways and parks.	A Devonport-Takapuna walking guide is in development.	Green	Key LBWP Activities: WP ID 3996: Devonport - Takapuna Cycling and Walking Guide  Activites outside of WP:	
Plan	Parks and facilities are accessible to people of all ages and abilities.	Investigate the development of a Chinese themed and co-designed playground in the Sunnynook/Forrest Hill area.	Options are explored for different playground options.	Green	Key LBWP Activities: WP ID 32052 Knightsbridge Reserve renew playground Activites outside of WP:	
Plan	Parks and facilities are accessible to people of all ages and abilities.	Safe and well-lit public spaces, in particular in the Sunnynook and Forrest Hill areas.	Investment has been made in making our public spaces safe and well lit.	Amber	Key LBWP Activities: WP ID 521: Devonport-Takapuna Greenways Plan 2015- review phase two WP ID 2784: Auburn Street Reserve service assessment WP ID 40144 Devonport-Takapuna lights for safety improvements in Windsor Reserve, Stanley Bay and Sunnynook Park Activites outside of WP:	
Plan	Parks and facilities are accessible to people of all ages and abilities.	Barriers to participation are reduced and accessibility is a priority.	Capital work programme projects and decisions specifically consider accessibility.	Amber	Key LBWP Activities: WP ID 3821: Devonport-Takapuna - Play Advocacy WP ID 42581 Milford Beach Front Reserve develop pathway 31867 Takapuna Beach Investigate ermannent accessibility options to the beach Achilles Crescent Reserve Playground renewal including accessible elements Allenby Reserve Playground renewal including accessible elemnts Activites outside of WP:	WP ID WP ID 31688 WP ID 30098
Plan	Opportunities to participate in sport and active recreation are available and accessible.	Support participation in sport and recreation opportunities	Access to facilities and local reserves is continued and maintained and participation has increased.	Green	Key LBWP Activities: WP ID 9: Takapuna Pool and Leisure Centre operations WP ID 940: Devonport-Takapuna Full Facilities maintenance contracts WP ID 1008: Devonport-Takapuna Local Board - Activation of parks, places and open spaces WP ID 3821: Devonport-Takapuna - Play Advocacy WP ID 23962 Sunnynook Park develop and renew skate facilities 32055 Devonport-Takappunarenew sport field lighting Taharoto and Bayswater Parks Activites outside of WP:	WP ID
Advocacy		Advocate to the Governing Body for the support of active recreation by securing and increasing funding to Sport and Recreation Facility Investment Fund & Regional Sport and Recreation Facilities Operating Grant to enable communities to deliver facilities and lessen the burden on council.			Key LBWP Activities:  Advocating to: Governing Body	
Advocacy		Advocate to the Governing Body for increased financial support and enhancement of Auckland's creative industries.			Key LBWP Activities:  Advocating to: Governing Body	
Advocacy		Advocate to the Governing Body for the establishment of a Regional Heritage Facilities Maintenance Fund to support local boards in maintaining, renewing, and preserving our costly heritage asset portfolio for our community.			Key LBWP Activities:  Advocating to: Governing Body	





Plan / Advocacy	What we want to achieve (Objectives)	What we will deliver in the next 3 years (Key Initiatives) / What we will advocate for in the next 3 years (Advocacy)	What success looks like (Measure of success)	RAG	Key LBWP activities / Advocating to	Comments
Plan	Our transport network is connected and provides multiple transport modes that are safe, efficient, reliable, and affordable.	Continue to work alongside the Governing Body, Auckland Transport and Waka Kotahi to progress the Lake Road project.	Local board feedback is represented and considered in planning and infrastructure projects to deliver efficient public transport, active modes of transport and roads. Increase in Public Transport patronage to and from the Devonport-Takapuna area.	Red	Key LBWP Activities:  Activites outside of WP:	Simon Watts?
Plan	Our transport network is connected and provides multiple transport modes that are safe, efficient, reliable, and affordable.	Work closely with the Governing Body and Waka Kotahi to encourage public transport initiatives that connect us and the wider North Shore with the North-South and East-West corridors.	Local board feedback is represented and considered in planning and infrastructure projects to deliver efficient public transport, active modes of transport and roads. Increase in Public Transport patronage to and from the Devonport-Takapuna area.	Red	Key LBWP Activities:  Activites outside of WP:	
Plan	Our transport network is connected and provides multiple transport modes that are safe, efficient, reliable, and affordable.	Work with Auckland Transport and Waka Kotahi to secure funding and support for routes that link to the proposed Northern Pathway.	Local board feedback is represented and considered in planning and infrastructure projects to deliver efficient public transport, active modes of transport and roads. Increase in Public Transport patronage to and from the Devonport-Takapuna area.	Red	Key LBWP Activities: WP ID 521 Greenways Plan 2015 Review Activites outside of WP:	
Plan	Our transport network is connected and provides multiple transport modes that are safe, efficient, reliable, and affordable.	Investigate implementing priority routes outlined in the refreshed Devonport-Takapuna Greenways Plan.	People can safely use active transport modes at any time because walkways and cycleways are safe well lit.	Amber	Key LBWP Activities: WP ID 521: Devonport-Takapuna Greenways Plan 2015- review phase two  Activites outside of WP:	
Plan	Our transport network is connected and provides multiple transport modes that are safe, efficient, reliable, and affordable.		Increased uptake of active modes of transport is supported by safer and more accessible connections.	Red	Key LBWP Activities: 521: Devonport-Takapuna Greenways Plan 2015- review phase two  Activites outside of WP:	
Plan	Our transport network is connected and provides multiple transport modes that are safe, efficient, reliable, and affordable.	Further investigate opportunities to develop a walking and cycling link along the Wairau estuary.	Investigation into a Wairau Estuary walking link is being undertaken.	Red	Key LBWP Activities:  Activites outside of WP:	

Plan / Advocacy	What we want to achieve (Objectives)	What we will deliver in the next 3 years (Key Initiatives) / What we will advocate for in the next 3 years (Advocacy)	What success looks like (Measure of success)	RAG	Key LBWP activities / Advocating to	Comments
Plan	Our transport network is connected and provides multiple transport modes that are safe, efficient, reliable, and affordable.	Identify additional wayfinding signage opportunities in our area.	Clear and helpful way finding signage is installed.	Red	Key LBWP Activities:  Activities outside of WP:	
Advocacy		Advocate to Auckland Transport for greater integration and alignment of all public transport services and timetables.		Amber	Key LBWP Activities:  Advocating to: Auckland Transport	
Advocacy		Advocate to Auckland Transport for a supercharged ferry service for the whole region, including a future proofed terminal at Bayswater Marina.		Amber	Key LBWP Activities:  Advocating to: Auckland Transport	
Advocacy		Advocate for better active travel options between the local board area and the central city, including on designs of the additional Waitematā Harbour Connections.		Amber	Key LBWP Activities:  Advocating to:	
Advocacy		Advocate to Auckland Transport to deliver projects that contribute to Te Tāruke-a-Tāwhiri: Auckland Climate Plan's Key Transport priority to move to a low carbon, safe transport system.		Amber	Key LBWP Activities:  Advocating to: Auckland Transport	
Advocacy		Advocate for any road corridor changes or new transport infrastructure options to include a high standard of stormwater management.			Key LBWP Activities:  Advocating to:	
Advocacy		Advocate to Governing Body for the retention, increase and long-term security of the Local Board Transport Capital Fund to support us to make strategic decisions towards projects that span multiple trienniums.		Amber	Key LBWP Activities:  Advocating to: Auckland Transport	
Advocacy		Advocate to Auckland Transport for increased funding towards footpath renewals that meet a new wider standard.		Amber	Key LBWP Activities:  Advocating to: Auckland Transport	
Advocacy		Advocate for funding to deliver the refreshed Devonport-Takapuna Greenways Plan to achieve fit-for-purpose, accessible, safe and well-lit network of pathways and cycleway connections, whilst also considering biodiversity and light pollution.			Key LBWP Activities:  Advocating to:	

Plan / Advocacy	What we want to achieve (Objectives)	What we will deliver in the next 3 years (Key Initiatives) / What we will advocate for in the next 3 years (Advocacy)	What success looks like (Measure of success)	RAG	Key LBWP activities / Advocating to	Comments
Advocacy		Input into the development and planning of an Additional Waitematā Harbour Connections to improve transport connections and congestion.			Key LBWP Activities:  Advocating to:	
Advocacy		Advocate to Auckland Transport and Waka Kotahi to secure funding to progress the Lake Road Project.		Amber	Key LBWP Activities:  Advocating to: Auckland Transport, Waka Kotahi	
Advocacy		Advocate to Auckland Transport to secure funding to progress the Francis-Esmonde link.		Amber	Key LBWP Activities:  Advocating to: Auckland Transport	
Advocacy		Advocate that all new developments are appropriately designed for our area and that infrastructure is upgraded to support growth and housing needs.		Amber	Key LBWP Activities:  Advocating to:	





Plan / Advocacy	What we want to achieve (Objectives)	What we will deliver in the next 3 years (Key Initiatives) / What we will advocate for in the next 3 years (Advocacy)	What success looks like (Measure of success)	RAG	Key LBWP activities / Advocating to	Comments
Plan	Our town centres and villages are vibrant, safe, and attractive for locals, businesses, and visitors.	Partner with council departments and local businesses to deliver projects that support the urban regeneration of Takapuna.	Waiwharariki Anzac Town Square is thriving with a vibrant and bustling atmosphere.	Amber	Key LBWP Activities: WP ID 1349: Supporting Business Improvement Districts (BIDs) - Takapuna Beach Business Association WP ID 3951 Placemaking Waiwharariki ANZAC Town Square Advocating to: Activities outside of WP:	
Plan	Our town centres and villages are vibrant, safe, and attractive for locals, businesses, and visitors.	As budget allows, we will continue to prioritise investment in village centres and our smaller precincts by delivering on key actions from the following planning documents: - Devonport-Takapuna Area Plan - Sunnynook Centre Plan - Milford Centre Plan - Belmont Centre Improvement Plan - Takapuna Centre Plan - Devonport Master Plan	Our investment decisions are aligned with key strategic planning documents.	Red	Key LBWP Activities:  Activities outside of WP:	
Plan	Our town centres and villages are vibrant, safe, and attractive for locals, businesses, and visitors.	Promote and support accessible events and play activations that attract visitors and whanau to our town centres.	Events in our area are well promoted and attended.	Green	WP ID 1349: Supporting Business Improvement Districts (BIDs) - Takapuna Beach Business Association WP ID 1351 Supporting Business Improvement Districts (BIDs) - Milford Village Business Association Supporting Business Improvement Districts (BIDS) -Devonport Business Association WP ID 3951 Placemaking Waiwharariki ANZAC Town Square ID Community Grants Devonport-Takapuna	WP ID 1352 WP
Plan	Our local businesses and industry are resilient and sustainable.	Support environmentally sustainable social enterprise, by funding initiatives that promote a circular economy (particularly waste and pollution reduction).	More businesses have sustainable business practices and are resilient to the impacts of climate change.	Amber	Key LBWP Activities: 4403: Naughty Wasters Zero Waste Makerspace  Activities outside of WP:	
Plan	Our local businesses and industry are resilient and sustainable.	Work with Tātaki Auckland Unlimited, council departments and Business Improvement Districts to provide support to local businesses to engage in initiatives to reduce waste, to become carbon neutral and climate resilient.	Small businesses are engaged and supported by the local board.	Red	Key LBWP Activities:  Activities outside of WP:	
Plan	Our local businesses and industry are resilient and sustainable.	Work alongside businesses that sit outside of the Business Improvement Districts to enable stronger business collaboration.	Small businesses are engaged and supported by the local board.	Amber	Key LBWP Activities: WP ID 4044 Supporting businesses outside the BID areas - Sunnynook Activities outside of WP:	
Plan	Opportunities for rangatahi in training and employment	Continue to partner with Shore Junction Innovation Centre to provide training, access to business mentoring and work experience opportunities for youth and rangatahi Māori.	Increased training and employment opportunities for youth.	Green	Key LBWP Activities: WP ID 3892: Youth Specialist delivery Devonport-Takapuna Local Board WP ID 93: Youth development  Activities outside of WP: Devonport-Takapuna Local Board Youth Representation Project	

Plan / Advocacy	What we want to achieve (Objectives)	What we will deliver in the next 3 years (Key Initiatives) / What we will advocate for in the next 3 years (Advocacy)	What success looks like (Measure of success)	RAG	Key LBWP activities / Advocating to	Comments
Plan	Opportunities for rangatahi in training and employment	Support initiatives that provide access to business mentoring and work experience to youth, including CV writing and interview skills.	Increased training and employment opportunities for youth.	Amber	Key LBWP Activities: 1218: Library services - Devonport -Takapuna WP ID 3892: Youth Specialist delivery Devonport-Takapuna Local Board WP ID 93: Youth development  Activities outside of WP:	
Advocacy		Advocate for appropriate public transport and active transport options that would reduce the need for private vehicle use to access employment opportunities.			Key LBWP Activities:  Advocating to:	
Advocacy		Advocate for changes to the procurement policy that allows for greater use of local businesses, and more consideration of local boards views in decision making over major sub regional contracts – such as the full facilities contracts.			Key LBWP Activities:  Advocating to:	
Advocacy		Advocate on behalf of Business Improvement Districts (BIDs) for support on environmental sustainability and business resilience and continuity.			Key LBWP Activities:  Advocating to:	

Auckland Emergency Management Work Programme 2023/2024 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	Delivery Year(s)	Budget Source	2024/2025
3953	Devonport-Takapuna Local Board, community and business emergency response plans and resilience programme	Increase disaster awareness, adopt and implement readiness and response plans in collaboration with the Local Board and the community.	Ensuring people within the Local Board rohe understand their hazard risks, have mitigated these risks, are prepared and have strong social networks to ensure they are better able to cope and support each other during an emergency and recover faster.		2020DT1 - Environment and heritage	2020DT1.3 - Significant environmental challenges are identified and responded to	GOV: Auckland Emergency Management	2024/2025	Regional	0



Customer and Community Services Capex Work Programme 2024/2025 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	RAP	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	Estimated completion date	Budget Source	2023/2024 FCast + prior years Actual	2024/2025	2025/2026	2026/2027	2027/2028+	Total Cost
18203	139 Beach Road, Castor Bay - Old Barracks - investigate options for the building	Remove asbestos and refurbish the interior and exterior of a heritage building, considering all options prior to commencement of works. <input type="checkbox"/> FY24/25 - investigation and design. <input type="checkbox"/> FY25/26 to FY26/27 - physical works. <input type="checkbox"/> Risk Adjusted Programme (RAP) project <input type="checkbox"/>	RAP Project	Preservation of heritage assets in the local community	Options to be presented to Local Board for review and input 2023.	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2027	ABS: Capex - Local Renewal	\$129,060	\$350,000	\$80,000	\$357,000	\$0	916,060
27832	2 Mary Poynton Crescent - renew roof and refurbish the building lift	Renew the roof at 2 Mary Poynton Crescent and replace the lift in the building. The roof was completed in July 2020. The lift was discovered not to be working during the roof works. It now works but its old and needs to be investigated for replacement of the machinery and potentially the car. <input type="checkbox"/> FY21/22 - investigate and design. <input type="checkbox"/> FY21/22 to FY24/25 - physical works. <input type="checkbox"/>	-	Maintain current service levels	No further decisions are anticipated	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2025	ABS: Capex - Local Renewal	\$679,007	\$10,000	\$0	\$0	\$0	689,007
31688	Achilles Crescent Reserve - renew playground	Achilles Crescent Reserve playground is to be renewed. Investigation and design have been completed and physical works are to be undertaken. <input type="checkbox"/> FY24/25 - physical works. <input type="checkbox"/> <input type="checkbox"/>	-	Maintain current service levels	No further decisions are anticipated.	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2025	ABS: Capex - Local Renewal	\$12,310	\$203,000	\$0	\$0	\$0	215,310
40162	Achilles Reserve - renew sports surface area	Renew the surface by reinstating the grass and planting to the sports area of Achilles Reserve. <input type="checkbox"/> FY24/25- investigation and design. <input type="checkbox"/> FY25/26 - physical works.	-	Maintain current service levels	Concept design presented to local board for input and feedback	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2026	ABS: Capex - Local Renewal	\$0	\$20,000	\$80,000	\$0	\$0	100,000
48696	Anzac Street to Patuone walkway	Construct a walkway to connect Anzac Street to the Patuone track. <input type="checkbox"/> FY25/26 - investigation and design. <input type="checkbox"/> FY26/27 - physical works. <input type="checkbox"/> <input type="checkbox"/>	-	improve transport choices and connections to walkways	No further decisions are anticipated	2023DT4 - Our places and transport	2023DT4.1 - Our transport network is connected and provides multiple transport modes that are safe, efficient, reliable, and affordable	P&CF: Project Delivery	Estimated project completion June 2027	LDI - Capex	\$0	\$0	\$25,000	\$50,000	\$0	75,000
37704	Balmain Reserve - renew public toilet facility	Renew the public toilet facility at Balmain Reserve. FY25/26 - investigation and design. FY26/27 to FY27/28 - physical works.	-	Maintain current service levels	No further decisions are anticipated	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2028	ABS: Capex - Local Renewal	\$0	\$0	\$30,000	\$200,000	\$20,000	250,000
32080	Bayswater Park - renew toilets and changing rooms	Renew the toilet and changing rooms leased to North Shore United Football club, including water fountain and bike parking. <input type="checkbox"/> FY23/24 - investigation and design. <input type="checkbox"/> FY24/25 to FY25/26 - physical works. <input type="checkbox"/> Risk Adjusted Programme (RAP) project <input type="checkbox"/> <input type="checkbox"/>	RAP Project	Maintain current service levels	Concept design to be presented to the local board for review and input	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2026	ABS: Capex - Local Renewal	\$8,599	\$121,000	\$430,000	\$0	\$0	559,599
37707	Bayswater Park - renew playground, paths and fence	Renewal of the playground equipment, the ramp into the playspace, park signage, and the paths at Bayswater Park. FY25/26 - investigation and design. FY26/27 - physical works.	-	Maintaining current service levels	Concept plans to be presented to local board workshop for input and review	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2027	ABS: Capex - Local Renewal	\$0	\$0	\$50,000	\$200,000	\$0	250,000

Customer and Community Services Capex Work Programme 2024/2025 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	RAP	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	Estimated completion date	Budget Source	2023/2024 FCast + prior years Actual	2024/2025	2025/2026	2026/2027	2027/2028+	Total Cost
20104	Becroft Reserve - renew toilets and changing rooms	Renew the toilet block and changing rooms at Becroft Reserve. <input type="checkbox"/> FY22/23 - scoping and design. <input type="checkbox"/> FY23/24 - complete concept design and consent. <input type="checkbox"/> FY24/25 to FY25/26 - physical works. <input type="checkbox"/> <input type="checkbox"/> Risk Adjusted Programme (RAP) project <input type="checkbox"/>	RAP Project	Maintain current service levels	Concept design to be presented to the local board for review and input	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2026	ABS: Capex - Local Renewal	\$299,112	\$743,000	\$1,000,000	\$0	\$0	2,042,112
23853	Belle Verde Reserve - renew park play spaces	Renew equipment and safety surface at Belle Verde Reserve to small neighbourhood playground standard. <input type="checkbox"/> FY22/23 - investigation and design. <input type="checkbox"/> FY23/24 to FY24/25 - physical works. <input type="checkbox"/>	-	Maintain current service levels	Concept design to be presented to the local board for review and input	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2025	ABS: Capex - Local Renewal	\$19,999	\$103,000	\$0	\$0	\$0	122,999
23658	Blair Park (Stanley Point) - renew pathways, dinghy ramp and associated retaining structures	Renew pathways, dinghy ramp and retaining structures at Blair Park (Stanley Point). <input type="checkbox"/> FY21/22 - investigation and design. <input type="checkbox"/> FY21/22 - complete concept design. <input type="checkbox"/> FY24/25 - physical works. <input type="checkbox"/> <input type="checkbox"/>	-	Maintain current service levels	No further decisions are anticipated	2023DT4 - Our places and transport	2023DT4.1 - Our transport network is connected and provides multiple transport modes that are safe, efficient, reliable, and affordable	P&CF: Project Delivery	Estimated project completion June 2025	ABS: Capex - Local Renewal	\$20,304	\$152,500	\$0	\$0	\$0	172,804
17990	Claystore Heritage building - full facility renewal	Comprehensive renewal of the heritage building, scope in collaboration with the heritage team. Building currently leased by the Devonport Community Workshop Trust. <input type="checkbox"/> FY18/19 - investigate, design and scope the works required. <input type="checkbox"/> FY19/20 - complete concept design. <input type="checkbox"/> FY20/21 to FY25/26 - physical works. <input type="checkbox"/> <input type="checkbox"/> Risk Adjusted Programme (RAP) project <input type="checkbox"/>	RAP Project	Maintain current service levels	Concept design to be presented to the local board for review and input	2023DT2 - Our environment	2023DT2.2 - Natural and built heritage are conserved and both colonial and Māori history and significant places are valued, promoted, and celebrated	P&CF: Project Delivery	Estimated project completion June 2026	ABS: Capex - Local Renewal	\$290,805	\$640,000	\$572,000	\$0	\$0	1,502,805
45566	Dacre Park - comprehensive renewal	Full renewal of Dacre Park including car park, gates, fences, paths, retaining wall, access from Allenby Terrace and Abbotsford Terrace and grandstands. <input type="checkbox"/> FY24/25 - investigation and prioritisation. <input type="checkbox"/> FY25/26 - design. <input type="checkbox"/> FY26/27 to FY27/28 - physical works. <input type="checkbox"/> <input type="checkbox"/> Risk Adjusted Programme (RAP) project <input type="checkbox"/>	RAP Project	Maintain current service standards	Investigation of priorities and design options to be discussed with local board for input	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2028	ABS: Capex - Local Renewal	\$0	\$75,000	\$270,000	\$600,000	\$400,000	1,345,000
42583	Devonport cemeteries improvements	Improvements to Mount Victoria cemetery including signage, water connection for public and graves and ground improvements. Also to install more lighting at O'Neills cemetery. <input type="checkbox"/> FY25/26 - investigation and design. <input type="checkbox"/> FY26/27 - physical works.	-	Improve current level of service	Options to be presented to local board for review and input	2023DT2 - Our environment	2023DT2.2 - Natural and built heritage are conserved and both colonial and Māori history and significant places are valued, promoted, and celebrated	P&CF: Project Delivery	Estimated project completion June 2027	LDI - Capex	\$0	\$0	\$6,000	\$50,000	\$0	56,000
30508	Devonport Domain - renew play space <input type="checkbox"/>	Renew play space at Devonport Domain (design in conjunction with iwi). <input type="checkbox"/> FY24/25 to FY25/26 - investigation, design and consenting. <input type="checkbox"/> FY26/27 - physical works. <input type="checkbox"/> <input type="checkbox"/>	-	Maintain current service levels	Concept design to be presented to the local board for review and input	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2027	ABS: Capex - Local Renewal	\$1,072	\$7,000	\$44,900	\$135,000	\$0	187,972
45722	Devonport Takapuna - approved storm damaged assets remediation work	Remediation work to storm damaged assets including fence at Quinton Park, and bridges at Sunnynook Bush reserve and Stanley Bay Park. <input type="checkbox"/> FY23/24 - investigation and design. <input type="checkbox"/> FY24/25 - physical works.	-	Maintain current service standards.	No further decisions are anticipated	2023DT2 - Our environment	2023DT2.2 - Natural and built heritage are conserved and both colonial and Māori history and significant places are valued, promoted, and celebrated	P&CF: Project Delivery	Estimated project completion June 2025	ABS: Capex - Local Renewal	\$35,964	\$40,000	\$0	\$0	\$0	75,964

Customer and Community Services Capex Work Programme 2024/2025 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	RAP	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	Estimated completion date	Budget Source	2023/2024 FCast + prior years Actual	2024/2025	2025/2026	2026/2027	2027/2028+	Total Cost
37706	Devonport Takapuna - car park renewals	Renewal of car parks in Devonport Takapuna, including Barry's Point Reserve. <input type="checkbox"/> Sunnynook Community Centre <input type="checkbox"/> Woodall Park - squash club carpark <input type="checkbox"/> Dacre Park <input type="checkbox"/> (more sites to be confirmed) <input type="checkbox"/> FY23/24 - investigation and design. <input type="checkbox"/> FY24/25 to FY26/27 - physical works. <input type="checkbox"/> <input type="checkbox"/> Risk Adjusted Programme (RAP) <input type="checkbox"/>	RAP Project	Maintaining current service levels	No further decisions are anticipated	2023DT4 - Our places and transport	2023DT4.1 - Our transport network is connected and provides multiple transport modes that are safe, efficient, reliable, and affordable	P&CF: Project Delivery	Estimated project completion June 2027	ABS: Capex - Local Renewal	\$316,682	\$390,000	\$50,000	\$850,000	\$0	1,606,682
42270	Devonport Takapuna - community buildings investigation and minor capital works	Investigation and options of work required on community buildings, including heritage sites, and allow for essential minor capital work, whilst investigations are ongoing. <input type="checkbox"/> Including the roof work for The Rose Centre (minor capital work), investigation into Allenby Scout Den, the all abilities ramp at the Pump house and the Sunnynook Community Centre. <input type="checkbox"/> FY23/24 - investigation and design. <input type="checkbox"/> FY24/25 to FY26/27 - physical works. <input type="checkbox"/> <input type="checkbox"/> Risk Adjusted Programme (RAP) project <input type="checkbox"/>	RAP Project	Maintain current service level	Options to be presented to Local Board for decision	2023DT3 - Our community and facilities	2023DT3.1 - Services are integrated and streamlined	P&CF: Project Delivery	Estimated project completion June 2027	ABS: Capex - Local Renewal	\$46,196	\$113,880	\$306,183	\$1,023,684	\$0	1,489,943
36639	Devonport Takapuna - increase the level of service in youth and neuro diverse play	Investigate existing play spaces for upgrade to include the development of youth play and equipment for neuro diverse children. <input type="checkbox"/> FY22/23 - investigation and concept design. <input type="checkbox"/> FY23/24 - consultation and detail design. <input type="checkbox"/> FY24/25 to FY25/26 - deliver approved physical works. <input type="checkbox"/> <input type="checkbox"/> Risk Adjusted Programme (RAP) project <input type="checkbox"/>	RAP Project	Options of play for community aged 15 - 25	Possible locations and equipment to be presented to the local board for review and input	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2026	LDI - Capex	\$4,333	\$60,500	\$50,000	\$0	\$0	114,833
40144	Devonport Takapuna - lighting for safety improvements in parks and reserves	Install lighting to improve safety in Windsor Reserve, Stanley Bay wharf, Devonport Domain and Sunnynook Park. <input type="checkbox"/> FY23/24 - investigation and design. <input type="checkbox"/> FY24/25 to FY26/27 - physical works. <input type="checkbox"/> <input type="checkbox"/> Risk Adjusted Programme (RAP) project <input type="checkbox"/>	RAP Project	Improve community safety in parks and reserves	No further decisions are anticipated	2023DT4 - Our places and transport	2023DT4.1 - Our transport network is connected and provides multiple transport modes that are safe, efficient, reliable, and affordable	P&CF: Project Delivery	Estimated project completion June 2027	LDI - Capex	\$13,097	\$41,900	\$25,000	\$60,000	\$0	139,997
42575	Devonport Takapuna - new swimming pontoons	Investigate possible sites and install new swimming pontoons in the local board area. <input type="checkbox"/> FY23/24 - investigation and consent. <input type="checkbox"/> FY25/26 to FY26/27 - physical work.	-	Increase level of service.	Site options to be presented to local board for input	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2027	LDI - Capex	\$0	\$0	\$33,000	\$20,000	\$0	53,000
40180	Devonport Takapuna - remediate storm effected assets	Identify and remediate assets damaged in the storms of 2023. <input type="checkbox"/> FY23/24 - investigation and design. <input type="checkbox"/> FY24/25 to FY25/26 - physical works. <input type="checkbox"/> <input type="checkbox"/> Risk adjusted Programme (RAP) project <input type="checkbox"/>	RAP Project	Maintain current service levels	Identify and priority list to be presented to local board for discussion and input	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2026	ABS: Capex - Local Renewal	\$189,440	\$79,000	\$92,800	\$0	\$0	361,240
40032	Devonport Takapuna - renew park and facilities signage 2023 - 2025	Renew park and facilities signage, including old legacy signs. <input type="checkbox"/> FY23/24 - investigation and design. <input type="checkbox"/> FY24/25 - physical works. <input type="checkbox"/> <input type="checkbox"/>	-	Maintain current service levels	No further decisions are anticipated	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2025	ABS: Capex - Local Renewal	\$57,471	\$22,500	\$0	\$0	\$0	79,971



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ID	Activity Name	Activity Description	RAP	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	Estimated completion date	Budget Source	2023/2024 FCast + prior years Actual	2024/2025	2025/2026	2026/2027	2027/2028+	Total Cost
31704	Devonport Takapuna - renew park furniture and fixtures 2024/2025	Renew park furniture and fixtures such as fencing, gates, bollards at the following sites.□ - Bayswater Park - renew bollards surrounding the park □ - Plymouth Reserve, Bayswater - renew bollards at five accessway along Plymouth Road □ - Quinton Park, Bayswater - renew bollards along road frontage □ -rubbish bins at Omana Road, Milford□ FY22/23 - investigation and design.□ FY23/24 to FY24/25 - physical works.□ □ □	-	Maintain current service levels	No further decisions are anticipated	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2025	ABS: Capex - Local Renewal	\$220,678	\$40,000	\$0	\$0	\$0	260,678
40147	Devonport Takapuna - renew park furniture, fixtures and play items 2026 to 2027	Renew park furniture, fixtures and play items such as seating, fencing, gates, bollards, slides and swings. Sites to be identified.□ FY25/26 to FY26/27 - physical works.	-	Maintain current service levels	No further decisions are anticipated	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2027	ABS: Capex - Local Renewal	\$0	\$0	\$178,000	\$158,000	\$0	336,000
31700	Devonport Takapuna - renew paths, tracks and structures 2025 to 2027	Renew paths, tracks and structures such as handrails, retaining walls and pedestrian bridges at the following sites:□ -Blomfield Spa beach access□ -Macky Ave, Cheltenham Beach accessway□ -Probert Park□ FY24/25 - investigation and design.□ FY25/26 to FY26/27- physical works.□ □ Risk Adjusted Programme (RAP) project□	RAP Project	Maintain current service levels	No further decisions are anticipated	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2027	ABS: Capex - Local Renewal	\$476,035	\$32,500	\$100,000	\$100,000	\$0	708,535
40321	Devonport Takapuna - upgrade renewal playground with sun shades, chatterbox seat and water fountains	As playgrounds are renewed, upgrade to include sun shades and if possible water fountains and a chatterbox seat (suicide prevention).□ FY24/25 - investigation and design.□ FY25/26 - physical works.□ □	-	Increase service standards	No further decisions are anticipated	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2026	LDI - Capex	\$0	\$59,900	\$64,560	\$0	\$0	124,460
37701	Devonport Takapuna - automatic door renewals	Renew the automatic doors at Devonport Library, Takapuna Library and other community buildings with automatic doors, to maintain current level of service.□ FY24/25 - physical works.□ □ □ □	-	Maintain current service levels	No further decisions are anticipated	2023DT3 - Our community and facilities	2023DT3.1 - Services are integrated and streamlined	P&CF: Project Delivery	Estimated project completion June 2025	ABS: Capex - Local Renewal	\$36,249	\$14,000	\$0	\$0	\$0	50,249
32051	Fort Takapuna Reserve - investigate options to eliminate vehicle access	Investigate the car park condition and heritage park protection from vehicles. □ FY22/23 to FY23/24 - investigation and design.□ FY24/25 - physical works. □	-	Improve current service levels	Concept design to be presented to the local board for review and input	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2025	LDI - Capex	\$40,187	\$135,000	\$0	\$0	\$0	175,187
26409	Greville Reserve - 'Learn to ride' painting renewal	Repaint the 'Learn-To-Ride' track at Greville Reserve.□ FY24/25 - design and deliver the physical works.	-	Improved recreation spaces for the local community to enjoy	Designs to be workshopped with the board	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2025	ABS: Capex - Local Renewal	\$20,593	\$15,000	\$0	\$0	\$0	35,593
23094	Kennedy Park - renew World War II tunnels	Remediate leaking World War II tunnels at Kennedy Park. □ FY19/20 - investigation and design.□ FY23/24 to FY24/25 - complete concept design and continue to asses and monitor □ FY25/26 to FY26/27 - physical works.□ □ Risk Adjusted Programme (RAP) project□ □	RAP Project	Preservation of heritage assets in the local community	Report of options to be presented to local board for direction and decision	2023DT2 - Our environment	2023DT2.2 - Natural and built heritage are conserved and both colonial and Māori history and significant places are valued, promoted, and celebrated	P&CF: Project Delivery	Estimated project completion June 2027	ABS: Capex - Local Renewal	\$117,524	\$14,000	\$2,000	\$128,000	\$0	261,524

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ID	Activity Name	Activity Description	RAP	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	Estimated completion date	Budget Source	2023/2024 FCast + prior years Actual	2024/2025	2025/2026	2026/2027	2027/2028+	Total Cost
32052	Knightsbridge Reserve renew playground	Renew the playground at Knightsbridge Reserve with an Asian inspired theme, and assess the decommissioning of nearby Selwyn Reserve playground.□ FY22/23 - investigation and design.□ FY23/24 - complete concept design.□ FY24/25 - physical works.□ □	-	Maintain current service levels	Concept design to be presented to the local board for review and input	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2025	ABS: Capex - Local Renewal	\$39,028	\$260,000	\$0	\$0	\$0	299,028
46272	Lake Pupuke - lake edge asset renewal	Renewal of lake edge assets on Lake Pupuke, including the ramps at Killarney Park, the large ramp at Sylvan Park, the wharf and edge at Henderson Park and the eroded section at Quarry Lake.□ FY24/25 - investigation and design.□ FY25/26 to FY26/27 - physical work.	-	Maintain current service standards	No further decisions are anticipated	2023DT2 - Our environment	2023DT2.2 - Natural and built heritage are conserved and both colonial and Māori history and significant places are valued, promoted, and celebrated	P&CF: Project Delivery	Estimated project completion June 2027	ABS: Capex - Local Renewal	\$0	\$20,000	\$200,000	\$340,000	\$0	560,000
42581	Milford Beach Front reserve - develop pathway	Develop a pathway from the playground to the toilets to provide safe and accessible connection for all community and park users.□ FY24/25 - investigation and design.□ FY25/26 - physical works.□ □ Risk Adjusted Programme (RAP) project□	RAP Project	Upgrade level of service	Options to be presented to local board for review and input	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2026	LDI - Capex	\$0	\$27,700	\$65,000	\$0	\$0	92,700
42580	Milford Beach front reserves - road end upgrades investigation	Investigate the options for tidying up the beach front ends of roads at Milford Road, Cecil Road and Craig Road.□ FY26/27 - investigation.	-	Increase level of service	Options to be presented to the local board for approval.	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2027	LDI - Capex	\$0	\$0	\$0	\$15,000	\$0	15,000
42546	Milford Beach to Takapuna path renewal and hoggin path at Takapuna campground	Renew the hard surface path between Oceanview Road and the Watercare facility and also the hoggin path at the Takapuna campground.□ FY25/26 - investigation and design.□ FY26/27 - physical works.□	-	Maintain current service levels	No further decisions are anticipated	2023DT4 - Our places and transport	2023DT4.1 - Our transport network is connected and provides multiple transport modes that are safe, efficient, reliable, and affordable	P&CF: Project Delivery	Estimated project completion June 2027	ABS: Capex - Local Renewal	\$0	\$0	\$10,000	\$190,000	\$0	200,000
45598	Milford Marina walkway renewal	Upon completion of the coastal retaining wall renewal, renew the grass walkway with a boardwalk to today's standards. □ FY24/25 - investigation and design.□ FY25/26 - physical works.□ □ Risk Adjusted Programme (RAP) project.□	RAP Project	Maintain current service levels	No further decisions are anticipated	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2026	ABS: Capex - Local Renewal	\$0	\$10,000	\$100,000	\$0	\$0	110,000
37708	Mount Cambria Reserve - renewal of park assets	Renew the park assets, including paths, steps, planters, seats and pergola at Mount Cambria Reserve.□ FY25/26 - investigation and design.□ FY26/27 - physical works.□	-	Maintaining current service levels	No further decisions are anticipated	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2027	ABS: Capex - Local Renewal	\$0	\$0	\$10,000	\$290,000	\$0	300,000
45567	Ngataranga Park - install interpretive signage	Interpretive signage for Ngataranga Park, using the 1850's Devonport Geology and Landforms map to educate the public on the history of the area surrounding Ngataranga Park.□ FY25/26 - investigation and design.□ FY26/27 - physical works.	-	Improve park experience	Design options to be presented to the local board for input	2023DT2 - Our environment	2023DT2.2 - Natural and built heritage are conserved and both colonial and Māori history and significant places are valued, promoted, and celebrated	P&CF: Project Delivery	Estimated project completion June 2027	LDI - Capex	\$0	\$0	\$5,000	\$15,000	\$0	20,000
31763	Ngataranga Park - investigate the skatepark use and relocation	Investigate the future use and location of the skate park at Ngataranga Park.□ FY22/23 to FY23/24 - investigation and design.□ FY24/25 to FY25/26 - deliver physical works.□ □ Risk Adjusted Programme (RAP) project□	RAP Project	This activity contributes to the 'Five Ways to Wellbeing' action: Be active□ □ Improved recreational infrastructure	Concept design to be presented to the local board for review and input	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2026	ABS: Capex - Local Renewal	\$44,871	\$40,000	\$861,000	\$0	\$0	945,871

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31699	Northboro Reserve - renew playground and hoggin path	Renew the playground and hoggin path at Northboro Reserve. <input type="checkbox"/> FY22/23 – investigation and design. <input type="checkbox"/> FY23/24 to FY24/25 – physical works. <input type="checkbox"/> <input type="checkbox"/>	-	Maintain current service levels	Concept design to be presented to the local board for review and input	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2025	ABS: Capex - Local Renewal	\$62,354	\$220,000	\$0	\$0	\$0	282,354
31813	Stanley Bay Park - renew storage shed/pavilion, walkways and lamp posts	Renew the storage shed/pavilion, walkways by the tennis club, playground and bus stops, and lamp posts. This project has also merged with #24392 Stanley Bay Park - renew walkway and lamp posts. <input type="checkbox"/> FY22/23 - investigate and design. <input type="checkbox"/> FY23/24 to FY25/26 - physical works. <input type="checkbox"/> <input type="checkbox"/> Risk Adjusted Programme (RAP) project <input type="checkbox"/>	RAP Project	This activity contributes to the 'Five Ways to Wellbeing' action: Be active. <input type="checkbox"/> Maintain current service levels	Concept design to be presented to the local board for review and input	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2026	ABS: Capex - Local Renewal	\$252,027	\$294,000	\$50,000	\$0	\$0	596,027
26462	Sunnynook Community Centre renewal	Renewal of the Sunnynook Community Centre including the replacement of the Tawa room floor, heating, boiler and air conditioning options. <input type="checkbox"/> FY24/25 - investigation and urgent work. <input type="checkbox"/> FY25/26 - physical works.	-	Maintaining current service levels	No further decision points are anticipated	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2026	ABS: Capex - Local Renewal	\$0	\$50,000	\$180,000	\$0	\$0	230,000
23962	Sunnynook Park - develop and renew skate facilities	Renew the Sunnynook Park skate park at the preferred location at Sunnynook Square. <input type="checkbox"/> FY22/23 - investigate and design. <input type="checkbox"/> FY23/24 - consultation and consenting. <input type="checkbox"/> FY24/25 - physical works. <input type="checkbox"/> <input type="checkbox"/> (FY19/20 - \$275 - LDI Capex) <input type="checkbox"/> (FY20/21 - \$16,745 - LDI Capex) <input type="checkbox"/> (FY21/22 - \$8,527 - LDI Capex) <input type="checkbox"/> (FY22/23 - \$10,000 - LDI Capex) <input type="checkbox"/> (FY23/24 - \$8,000 - LDI Capex) <input type="checkbox"/> <input type="checkbox"/>	-	Improved recreational spaces for the local community to enjoy	Concept design to be approved by the local board	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2025	ABS: Capex - Local Renewal, LDI - Capex	\$77,891	\$540,000	\$0	\$0	\$0	617,891
31867	Takapuna Beach - investigate permanent accessibility options to the beach	Identify suitable permanent accessibility options to Takapuna Beach, this will be delivered in collaboration with the coastal specialist team. <input type="checkbox"/> FY22/23 to FY23/24 - investigation and consultation. <input type="checkbox"/> FY24/25 to FY26/27 - deliver physical works as approved by the local board. <input type="checkbox"/> <input type="checkbox"/> Risk Adjusted Programme (RAP) project <input type="checkbox"/>	RAP Project	Improved recreation spaces for the local community to enjoy	Investigation findings to be presented to the local board for review, input and direction setting	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities	P&CF: Project Delivery	Estimated project completion June 2027	LDI - Capex	\$23,991	\$57,664	\$64,900	\$179,346	\$0	325,901
30083	Takapuna Beach - renew path and grass turf by the beach ramp	Remediate and stabilise the turf area by the beach ramp near the yacht club including the renewal of pathways as identified. <input type="checkbox"/> FY21/22 to FY23/25 - investigate and design. <input type="checkbox"/> FY24/25 to FY25/26 - physical works. <input type="checkbox"/> <input type="checkbox"/> Risk Adjusted Programme (RAP) project <input type="checkbox"/>	RAP Project	Maintain current service levels	No further decisions are anticipated	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2026	ABS: Capex - Local Renewal	\$49,646	\$20,000	\$200,000	\$0	\$0	269,646
31569	Takapuna Library and Service Centre - weather tightness renewal	Renew guttering and downpipe at Takapuna library and ensure building is weather tight. <input type="checkbox"/> FY22/23 to FY23/24 - investigation and design. <input type="checkbox"/> FY23/24 to FY24/25 - physical work.	-	Improve current service level	No further decisions anticipated	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2025	ABS: Capex - Local Renewal	\$282,365	\$20,000	\$0	\$0	\$0	302,365
39953	Takapuna Pool & Leisure Centre - renew assets as identified in building assessment	Renew assets in facility as identified in comprehensive building condition assessment, including roof, electrical services, CO2 detection, pool plant, boilers, AHU's and pumps. <input type="checkbox"/> FY23/24 - investigation and design. <input type="checkbox"/> FY 24/25 to FY27/28 - physical works. <input type="checkbox"/> <input type="checkbox"/> Risk Adjusted Programme (RAP) project	RAP Project	Maintain current service standards	No further decisions anticipated	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	P&CF: Project Delivery	Estimated project completion June 2028	ABS: Capex - Local Renewal	\$40,104	\$257,805	\$500,000	\$797,416	\$230,000	1,825,325



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ID	Activity Name	Activity Description	RAP	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	Estimated completion date	Budget Source	2023/2024 FCast + prior years Actual	2024/2025	2025/2026	2026/2027	2027/2028+	Total Cost
20689	Te Uru Tapu / Sacred Grove Takapuna Beach Development Plan - develop and implement concept design	Te Uru Tapu / Sacred Grove - Takapuna Beach Development Plan - develop concept design and implement physical works.□ FY18/19 - engagement and consultation.□ FY19/20 - develop concept design with cost estimates.□ FY20/21 - detailed design and scoping based on local board preference.□ FY23/24 - detailed design and consent.□ FY23/24 to FY24/25 - ecological restoration works.□ FY24/25 to FY27/28 - physical works.□ □ (FY18/19 - \$20,000 - LDI Capex)□ (FY18/19 - \$50,000 - LDI Opex)□ □ Risk Adjusted Programme (RAP) project□	RAP Project	Improved recreational community facilities and preserved cultural spaces	Detailed cost estimates and concept design to be approved by local board□	2023DT2 - Our environment	2023DT2.2 - Natural and built heritage are conserved and both colonial and Māori history and significant places are valued, promoted, and celebrated	P&CF: Project Delivery	Estimated project completion June 2028	ABS: Capex - Local Renewal, LDI - Capex, LDI - Opex	\$340,160	\$152,500	\$106,000	\$360,000	\$267,516	1,226,175
											4,247,153	5,452,349	5,841,343	6,118,446	917,516	22,576,807

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ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or	Delivery Year(s)	Budget Source	2024/2025
9	Takapuna Pool and Leisure Centre operations	Operate Takapuna Pool and Leisure Centre in a safe and sustainable manner. Deliver a variety of accessible programmes and services that get the local community active. These services include: aquatics, fitness, group fitness and learn-to-swim; along with core programmes that reflect the needs of the local community.	Increased physical activity, health and wellbeing; improved social connection and quality of life; safe and easy access to a diverse range of services and programmes.	Workshop to discuss the VFM (Value for Money) review of Pools & Leisure services	2023DT3 - Our community and facilities	2023DT3.6 - Opportunities to participate in sport and active recreation are available and accessible.	CCS: Active Communities – Leisure	2021/2022; 2022/2023; 2023/2024; 2024/2025; 2025/2026	ABS: Opex	1,148,420
77	Operational grant - The Lake House Arts Centre	Provide a funding contribution to the Lake House Trust Incorporated to operate the Lake House Arts Centre as a community arts facility, providing exhibition, education, participation and performance opportunities for local artists and members of the local community. The budgets for each year are uninflated, and subject to annual inflation adjustments.	The heritage and quality of the Lake House's built and natural environments is protected and maintained through the use of the centre as a community arts facility.  Inclusive and diverse public arts programmes provide the community with opportunities to express themselves through participation in the arts.  Local artists have opportunities to exhibit or perform their work and to share new art and ideas.	No further decisions.	2023DT1 - Our people	2023DT1.2 - Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	CCS: Connected Communities – Community Delivery	2024/2025	ABS: Opex	71,400
80	Operational grant - North Shore Brass	Provide a funding contribution to North Shore Brass Incorporated to provide quality brass band performances (including local ANZAC services), access to instruments and targeted teaching programmes in percussion and brass for all ages and abilities for the local community, with a particular focus on youth.	Brass musicians have the opportunity to develop, practice and perform their craft, and the community has access to high quality brass band performances in multiple locations and contexts.  The community, including youth, can access instruments, music and tutorage and participate in and learn about the artform.	No further decisions.	2023DT1 - Our people	2023DT1.2 - Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	CCS: Connected Communities – Community Delivery	2024/2025	LDI: Opex	10,000
83	Operational grant - The Devonport Museum	Provide a funding contribution to the Devonport Historical and Museum Society Incorporated to operate the Devonport Museum as a museum and research facility, which collects, preserves and displays artefacts and interprets histories of the district.	The local community and visitors can learn about the area's culture, history and heritage.  The museum celebrates local history and promotes a sense of local pride and identity.	No further decisions.	2023DT1 - Our people	2023DT1.2 - Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	CCS: Connected Communities – Community Delivery	2024/2025	LDI: Opex	10,000
84	Operational grant - Michael King Writers Centre	Provide a funding contribution to the Michael King Studio Trust to operate the Michael King Writers Centre as a community arts facility for resident writers and related programmes, that support high quality writing and writers, and providing workshops for all levels of writers and ages, with public programmes, and the production of literary works. The budgets for each year are uninflated, and subject to annual inflation adjustments.	The trust contributes to, develops and celebrates New Zealand's local and national literary heritage as part of a flourishing arts environment.  The community has opportunities to learn, experience, create and appreciate arts and culture at innovative arts facilities.  Artists have the opportunity to practice their craft.  Arts and culture activities promote sites of cultural and historic importance to locals and visitors.	No further decisions.	2023DT1 - Our people	2023DT1.2 - Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	CCS: Connected Communities – Community Delivery	2024/2025	ABS: Opex	30,600
87	Ethnic Communities Plan - Devonport-Takapuna	Using the Devonport-Takapuna Ethnic Communities Plan, the contracted community provider will action goals laid out in the plan. The Ethnic Communities Plan draws from the community-led outcomes of the Nga Momoho Hapori/Thriving Communities Strategy 2022-2032, and the Devonport-Takapuna Local Board Plan 2023-2026. The plan includes internal council activities that staff will prioritise with the local board and community-led activities that the provider will support groups to deliver themselves. The local board will use the Devonport-Takapuna Ethnic Communities Plan priorities when considering new projects with those relative communities.	<ul style="list-style-type: none"> <li>Local ethnic communities are empowered to partner with the local board to deliver on their priorities.</li> <li>Capacity and capability is built through seed funding of smaller projects that might not have been able to proceed otherwise</li> <li>Communities feel they can contribute to decisions that affect them</li> <li>Programmes and activities that create a sense of wellbeing and belonging are prioritised</li> <li>Enhanced appreciation of local diversity, better understanding and exchanged between residents from differing backgrounds</li> </ul>	No further decisions.	2023DT1 - Our people	2023DT1.2 - Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	CCS: Connected Communities – Community Delivery	2024/2025	LDI: Opex	20,000

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ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or	Delivery Year(s)	Budget Source	2024/2025
88	Operational grant - The Pumphouse Theatre	Provide a funding contribution to the North Shore Theatre and Arts Trust, towards the cost to operate the Pumphouse Theatre for the performance, display and promotion of the arts. The budgets for each year are uninflated, and subject to annual inflation adjustments.	People of all ages, cultures and levels of experience can access and participate in arts and culture activities and programmes at the Pumphouse Theatre, which supports the community to be engaged and connected.	No further decisions.	2023DT1 - Our people	2023DT1.2 - Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	CCS: Connected Communities – Community Delivery	2024/2025	ABS: Opex	86,700
89	Operational grant - The Rose Centre	Provide a funding contribution to The Rose Centre Incorporated, to operate The Rose Centre for cultural, theatrical, community and early childhood educational purposes. The budgets for each year are uninflated, and subject to annual inflation adjustments.	The community can access and participate in community and performing arts, resulting in engaged and connected communities.  The expression and celebration of culture and heritage fosters a sense of identity and inclusivity.	No further decisions.	2023DT1 - Our people	2023DT1.2 - Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	CCS: Connected Communities – Community Delivery	2024/2025	ABS: Opex	61,200
90	Operational grant - The Depot Artspace	Provide a funding contribution to The Depot Art and Music Space Charitable Trust, to operate the Depot Artspace at 48 Clarence Street and Whare Toi (formerly Kerr Street Artspace) as community arts and culture facilities.  The budgets for each year are uninflated, and subject to annual inflation adjustments.	Artists and craftspeople can access employment and development opportunities that foster creative entrepreneurship and encourage the development of sustainable arts practices.  Services, activities and programmes enable access to and participation in visual, performing and literary arts for people of all generations, cultures, and levels of experience.  The activation of community spaces promotes arts, culture and heritage.	No further decisions.	2023DT1 - Our people	2023DT1.2 - Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	CCS: Connected Communities – Community Delivery	2024/2025	ABS: Opex	81,600
91	Digital Equity for Seniors	Support digital equity programmes for seniors to increase community resilience and participation, support health and wellbeing and reduce social isolation.	The local board can target specific areas to support Age Friendly outcomes. Local communities are aware of and more able to readily respond to the needs of older residents particularly those who are isolated and vulnerable, in times of crisis Older residents are supported by local communities, able to participate in on-line communication, services and engagement opportunities, and have an active voice in their community. Supports aging in place and facilitates longer independent living for our older residents.	No further decisions.	2023DT1 - Our people	2023DT1.2 - Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	CCS: Connected Communities – Community Delivery	2024/2025	LDI: Opex	10,000
93	Youth: Youth development	Fund an organisation to help Younite create meaningful and inclusive opportunities for rangatahi (aged 12-24) living in Devonport-Takapuna to participate in local government decision-making, to influence and take action on the things that are important to them. Support Younite youth council to work on their goals including sustainability initiatives, youth creatives and advocacy in their communities for improvements towards public transport and understanding and celebrating Te Reo Māori and Māoritanga. (\$10k)  Provide a contribution to the operating costs of Shore Junction's delivery of programmes which support the engagement, empowerment and wellbeing of young people. (\$50k)	•Rangatahi participate in opportunities supporting community connection, a sense of belonging and wellbeing. •Rangatahi have greater input and influence as to what happens in their local area. •The local board has a good understanding of the experiences and needs of young people. •The needs and aspirations of local rangatahi Māori are visible and responsive in the Devonport-Takapuna Local Board area	No further decisions.	2023DT1 - Our people	2023DT1.2 - Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	CCS: Connected Communities – Community Delivery	2024/2025	LDI: Opex	60,000



## Customer and Community Services Work Programme 2024/2025 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or	Delivery Year(s)	Budget Source	2024/2025
94	Organisational Capacity building : ANCAD	Fund ANCAD to provide professional support and organisational development for community groups, social services and the voluntary sector in the Devonport-Takapuna Local Board area. This funding also enables ANCAD to deliver a range of capacity and capability building workshops and co-ordinate advocacy opportunities for the wider community sector. Maintain relationships and communication with local community groups and volunteer sector to understand what advocacy is needed at a regional and national level. Partner with Devonport-Takapuna Local Board community groups and residents to deliver community development initiatives in the local board area.	The Devonport-Takapuna Local Board social service, community and voluntary sector feels supported in building their capacity and delivery capability. Devonport-Takapuna Local Board community groups have stronger connections and partnership opportunities locally and regionally. Upskilling opportunities for local groups and residents are easily accessible and create a sense of local collaboration. On-going development of services and programmes to meet community need.	No further decisions.	2023DT1 - Our people	2023DT1.1 - All members of the community feel they can have a say in the decisions that affect them.	CCS: Connected Communities – Community Delivery	2024/2025	LDI: Opex	20,000
95	Māori Outcomes	<ul style="list-style-type: none"> <li>Identify opportunities to connect mātāwaka with key stakeholders to develop opportunities that meet local Māori aspirations and priorities.</li> <li>Facilitate opportunities between mātāwaka, the local board and community organisations to partner on initiatives of importance that meet the outcomes of the local board plan</li> <li>Support initiatives that increase the presence of tikanga Māori and Te Ao Māori</li> </ul>	<ul style="list-style-type: none"> <li>Mātāwaka feel strong foundations are built for an enduring and positive relationship with the local board.</li> <li>Mātāwaka aspirations and initiatives are supported by the local board.</li> <li>Te Ao Māori is considered and forms part of the local board decision-making process.</li> <li>The Devonport-Takapuna Local Board meets its obligations under the Treaty of Waitangi Te Tiriti O Waitangi.</li> </ul>		2023DT1 - Our people	2023DT1.3 - Māori are involved in decision making.	CCS: Connected Communities – Community Delivery	2024/2025	LDI: Opex	15,000
97	Activation of community led venue partners Devonport-Takapuna	<p>Enable and co-ordinate diverse activities that cater to the needs of the community.</p> <p>Community delivered: (supported by council through a contract for service/funding agreement). Devonport Community House year one of three year term expires 30 June 2027 (\$49,947.79pa). Kennedy Park Observation Post and Sunnynook Community Centre year three of five year term expires 30 June 2027 (\$70,455.43pa)</p> <p>Operational funding/management fee amount to be adjusted annually in accordance with Auckland Council's agreed inflationary mechanism once confirmed.</p> <p>LDI funded top up for FY24/25: Sunnynook Community Centre- \$20,000 Devonport Community House- \$20,000</p>	<p>Supports access along with the coordination of activation and activities.</p> <p>Ensures there are a wide range of activities meeting the wider community needs and interests.</p> <p>Provides staffed hours to enable excellent customer and community interaction and service.</p>	No further decisions.	2023DT1 - Our people	2023DT1.2 - Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	CCS: Connected Communities – Community Delivery	2024/2025	ABS: Opex;#LDI: Opex	160,403
98	Access to community places Devonport-Takapuna	<p>Provide fair, easy and affordable access to a safe and welcoming venues.</p> <p>Council delivered: Fort Takapuna - the Barracks Mary Thomas - Crosslands room Takapuna War Memorial Hall.</p>	Provides access to community places that enable Aucklanders to run locally responsive activities that promote community participation, inclusion and connection.		2023DT1 - Our people	2023DT1.2 - Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	CCS: Connected Communities – Community Delivery	2024/2025	ABS: Opex	0

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ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or	Delivery Year(s)	Budget Source	2024/2025
100	Community grants Devonport-Takapuna	Community groups receive funding through a contestable grants process.	<p>Council can develop relationships with community groups and identify opportunities for collaboration.</p> <p>Communities can influence the things they care about and are encouraged to participate.</p> <p>Community activities are supported at a local level and seed funding can be provided community development initiatives.</p>	Approve the applicants for allocation of funding.	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: Grants	2021/2022; 2022/2023; 2023/2024; 2024/2025	LDI: Opex	240,861
102	Local implementation of Ngā Hapori Momoho (Thriving Communities strategic action plan)- Devonport-Takapuna	Local Board contribution towards the capability required to deliver community development activities and outcomes.	The local board is able to realise its community outcome objectives and deliver on Ngā Hapori Momoho (Thriving Communities strategic action plan).	No further decisions.	2023DT1 - Our people	2023DT1.5 - Our communities are thriving and empowered to support one another.	CCS: Connected Communities – Community Delivery	2024/2025	LDI: Opex	114,600
103	Citizenship ceremonies Devonport-Takapuna	Delivery of an annual programme of citizenship ceremonies.	Local people can recognise and celebrate important occasions and build social cohesion through welcoming new citizens.	No further decisions.	2023DT5 - Our economy	2023DT5.1 - Our town centres and villages are vibrant, safe, and attractive for locals, businesses, and visitors.	CCS: RSS – Events	2024/2025	ABS: Opex	0
106	Anzac services Devonport-Takapuna	Deliver and/or support Anzac services and parades.	Local people can remember fallen servicemen and women through a meaningful and respectful commemoration.	Local board to approve the delivery plan of the services held in Takapuna and Devonport.	2023DT5 - Our economy	2023DT5.1 - Our town centres and villages are vibrant, safe, and attractive for locals, businesses, and visitors.	CCS: RSS – Events	2024/2025	LDI: Opex	54,015
521	Devonport-Takapuna Greenways Plan 2015- review phase two	Complete a review of Devonport-Takapuna 2015 Greenways Plan. Identify completed projects, prioritise actions to inform the Greenways Plan refresh and opportunities for future development.	Activation of the projects identified in the Greenways Plan will enhance connections to communities, parks and public transport. This will have the added benefits of improvements to health and wellbeing of users by reducing dependence on private cars, better sustainability outcomes, and activating the parks networks.	Workshop the draft plan with the local board and undertake public engagement through the Local Parks Reserve Management Plan processes	2023DT2 - Our environment	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities.	CCS: PCF – Specialist Operations	2021/2022; 2022/2023; 2023/2024	ABS: Opex	0
525	Devonport-Takapuna Ecological and environmental programme	Work with community volunteers to coordinate an ongoing programme of ecological and environmental initiatives, including: community planting, annual pest plant and animal control; local park and beach clean ups; and community environmental education and events. Q1 – Winter/spring community plantings, Q3 – Prepare for autumn plantings, Q4 – Autumn community plantings.	<ul style="list-style-type: none"> <li>•Increase the number of people and groups involved in active protection of the biodiversity values across the local board area – on private and public lands</li> <li>•Greater alignment and cooperation of community conservation activities</li> <li>•Number of traps and bait station under active management in the area</li> <li>•Reduction in pest plants Increase in number of trees planted.</li> </ul>	November 2024 workshop - Presentation to inform the local board on the 2024 planting season activities and seek direction on the planting locations for 2025.	2023DT2 - Our environment	2023DT2.3 - Empower the community to contribute to the control of plant and animal pests to allow native trees, birds and other biodiversity to thrive.	CCS: PCF – Specialist Operations	2024/2025	LDI: Opex	55,080

## Customer and Community Services Work Programme 2024/2025 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or	Delivery Year(s)	Budget Source	2024/2025
938	Devonport-Takapuna Ecological Restoration contracts	The Ecological Restoration maintenance contracts include pest plant within ecologically significant areas and animal pest management across all parks and reserves funded from local board budgets.	With the maintenance contracts, local board assets are able to be maintained to the approved level of service. These contracts provide for a programme of restoration planting and pest animal and plant control for high value sites, and for response to requests for animal pests in parks. These contracts benefit all members of the public as they improve ensure ecologically significant sites on our local parks and reserves are pest free and offer ecological and wider benefits.	No further decisions anticipated	2023DT2 - Our environment	2023DT2.5 - Canopy coverage is increased.	CCS: PCF – Operations	2024/2025; 2025/2026	ABS: Opex	19,599
940	Devonport-Takapuna Full Facilities maintenance contracts	The Full Facilities maintenance contracts include maintenance and repair of all assets across buildings, parks and open spaces, and sports fields, funded from local board budgets.  These contractors also undertake coastal management and storm damage works, and upcoming town centre cleaning, street litter bin emptying, and vegetation clearance and berm mowing works, although these are funded from regional budgets.  This activity and related budget also includes smaller built system contractors such as pool plant specialists and technical systems contractors.	With the maintenance contracts, local board assets are able to be maintained to the approved level of service. These contracts provide for required compliance tasks and scheduled activities including planned preventative maintenance to be completed, and for response to requests for maintenance. These contracts benefit all members of the public as local board assets are able to be fully utilised if they are fit for the intended purpose, and it offers better value to ratepayers if assets remain in service for their expected life.	No further decisions anticipated	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Operations	2024/2025; 2025/2026	ABS: Opex	5,706,115
942	Devonport-Takapuna Arboriculture contracts	The Arboriculture maintenance contracts include tree management and maintenance in parks and on streets, funded from local board budgets.  These contractors also undertake storm damage works although these are funded from regional budgets..	With the Arboriculture Contracts, trees in parks and reserves, and on streets, are able to be maintained to the approved level of service. These contracts provide for a programme of tree inspection and maintenance, and for response to requests for maintenance of trees which have become damaged or are obstructions. These contracts benefit all members of the public as trees which are properly maintained are more likely to remain in good health, are less likely to become health and safety issues, and offer greater visual amenity.	No further decisions anticipated	2023DT2 - Our environment	2023DT2.5 - Canopy coverage is increased.	CCS: PCF – Operations	2024/2025; 2025/2026	ABS: Opex	565,268
1008	Devonport-Takapuna Local Board - Activation of parks, places and open spaces	Enable and coordinate a range of 'free to attend' activities and events that support the local community to be physically active, either through the Out and About programme or other locally focused community or partner organisations and initiatives.	More Aucklanders living healthy, active lives through play, active recreation and sport. More Aucklanders connecting to nature. More Aucklanders connecting to our unique Māori identity.	September 2024 - Direction workshop to agree activation themes, provide proposed locations, and confirm the agreed delivery model. October/November 2024 - Information memo containing final activation schedule and marketing and promotion details.	2023DT3 - Our community and facilities	2023DT3.6 - Opportunities to participate in sport and active recreation are available and accessible.	CCS: Active Communities – Activation	2021/2022; 2022/2023; 2023/2024; 2024/2025	LDI: Opex	20,000
1218	Library services - Devonport - Takapuna	Libraries provide welcoming, safe and inclusive environments that deliver digital, facility and community-based services and programmes to promote literacy, digital literacy, te reo Māori, and access to information.  Hours of service: - Devonport Library for 56 hours over 7 days per week. - Takapuna Library for 56 hours over 7 days per week.	Increased levels of literacy and digital access at all ages.  Community are connected to information, resources and infrastructure for recreation and learning.  Te reo Māori is widely spoken, understood and celebrated.  Community have equitable access to targeted services and programmes that meet their needs.	No further decisions anticipated	2023DT1 - Our people	2023DT1.2 - Devonport-Takapuna has inclusive communities that embrace and celebrate our diversity.	CCS: Connected Communities – Community Delivery	2024/2025	ABS: Opex	1,736,039



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ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or	Delivery Year(s)	Budget Source	2024/2025
1305	Devonport-Takapuna Local Parks Management Plan	Develop a multi-park management plan that assists the Devonport-Takapuna Local Board in managing use, development and protection of all parks, reserves and other open space they have allocated decision-making for.	1. A holistic and integrated view of the local board's core park management issues and priorities. 2. Consistency of open space management across the local board area and park types. 3. Clearer direction for park use, protection and development. 4. Lower cost to produce than single reserve management plans and more responsive to changing community needs.	• Decision to notify draft local parks management plan and on hearings panel composition • Decision to approve final local parks management plan	2023DT3 - Our community and facilities	2023DT3.4 - Investment is targeted where the need is greatest.	CCS: RSS – Service and Asset Planning	2022/2023; 2023/2024; 2024/2025	LDI: Opex	0
1336	Review of community services in Takapuna	Support Eke Panuku by providing service requirements and options for a service property optimisation business case.	Options are available that ensure community facilities support the delivery of community and library services that meet current and future needs of the community and network.	FY24 Q4 Receive business report presenting options and provide direction on next steps.	2020DT2 - Parks, facilities, and open spaces	2020DT2.4 - Community facilities are fit for purpose	CCS: RSS – Service and Asset Planning	2021/2022; 2022/2023; 2023/2024; 2024/2025	LDI: Opex	0
1349	Supporting Business Improvement Districts (BIDs) - Takapuna Beach Business Association	To provide event funding towards up to two significant events.	In principle the event should help to support the delivery of the Local Board Plan outcome, "Our town centres and villages are vibrant, safe and attractive for locals, businesses and visitors"	Takapuna Beach Business Association to present an outline of their proposed event(s) to the Devonport-Takapuna Local Board in the first quarter.	2023DT5 - Our economy	2023DT5.1 - Our town centres and villages are vibrant, safe, and attractive for locals, businesses, and visitors.	CCS: RSS – Events	2024/2025	LDI: Opex	20,000
1351	Supporting Business Improvement Districts (BIDs) - Milford Village Business Association	To provide event funding towards up to two significant events.	To develop an event, in principle, that would support the delivery of the Local Board Plan outcome, "Our town centres and villages are vibrant, safe and attractive for locals, businesses and visitors"	Milford Village Business Association to present an outline of their proposed event(s) to the Devonport-Takapuna Local Board in the first quarter.	2023DT5 - Our economy	2023DT5.1 - Our town centres and villages are vibrant, safe, and attractive for locals, businesses, and visitors.	CCS: RSS – Events	2024/2025	LDI: Opex	20,000
1352	Supporting Business Improvement Districts (BIDs) - Devonport Business Association	To provide funding towards a new placemaking project-sign on Victoria Road, Devonport.	To develop a new entry sign to Devonport that promotes the identity and sense of place for the area.	Devonport Business Association will present a developed proposal for the proposed sign to the Devonport-Takapuna Local Board by the end of the second quarter	2023AE5 - Our economy	2023DT5.1 - Our town centres and villages are vibrant, safe, and attractive for locals, businesses, and visitors.	CCS: RSS – Events	2024/2025	LDI: Opex	20,000
2784	Auburn Street Reserve service assessment	Complete a Service Assessment for future development of Auburn Street Reserve that will include options to address parking issues at the reserve.	Identification of the service needs for this reserve, with particular focus on the car parking and shared path connectivity, will unlock the potential of this area reserve for park users.	No further decisions anticipated	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Specialist Operations	2024/2025	ABS: Opex	5,000

## Customer and Community Services Work Programme 2024/2025 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or	Delivery Year(s)	Budget Source	2024/2025
2865	Legacy Rates Grants - Devonport-Takapuna	Budget allocated to local boards from legacy rates grants that have been continuing since amalgamation. A transition mechanism was put in place as part of Long-term Plan 2018-2028 for three years. From 1 July 2021, this budget fell under the complete discretion of the Local Board. As part of the 2021/2022 work programme adoption, the D-T LB decided to continue to support legacy rates grants for the financial years 2021/2022, 2022/2023, and 2023/2024, reducing the grant allocation by 1/3 every Financial Year, to allow groups that are funded appropriate time to gradually adjust to the decrease in funding	Discretionary funding that could be used to fund activities that benefit the local community	No further decisions anticipated	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: Grants	2021/2022; 2022/2023; 2023/2024; 2024/2025	ABS: Opex	21,881
3001	Devonport-Takapuna Urban Ngahere - Knowing	Adopt the final Canopy Analysis Report. Develop the Ngahere (ten-year) Action Plan. A Devonport-Takapuna Urban Ngahere Action Plan, based on the findings of Canopy Analysis report, will highlight where efforts are required to plant new trees across the local board area to meet the agreed tree canopy coverage increase on publicly owned land. The action plan includes parks and street surveys which identify potential new planting opportunities for delivery through the Parks and Community Facilities work programme, over the next ten years. This will complete the Knowing phase.	Through implementation of the Action Plan the Devonport-Takapuna Local Board will take significant steps towards increasing its tree canopy cover from the current level of 16 per cent to 20 per cent over the next 10 years.	Adopt CAR report in August. Direction on the NAP Q2. Adopt NAP in Q3. This will influence the LBWP funding for growing plans in FY26.	2020DT1 - Environment and heritage	2020DT1.5 - Improve biodiversity outcomes and mitigate effects of carbon emissions	CCS: PCF – Specialist Operations	2022/2023; 2023/2024; 2024/2025	LDI: Opex	15,000
3821	Devonport-Takapuna - Play Advocacy	Deliver play advocacy projects through the development and implementation of diverse play opportunities (i.e., non-CAPEX play projects beyond formal playground spaces). The specific projects in this work programme will be workshopped and confirmed with the local board early in FY25, and will be guided by the play plan being delivered in FY24.	Increased physical activity, health and wellbeing; increased access to play for tamariki and rangatahi; greater play diversity in the local board area; increased availability of playful and playable elements in the local board area; increased sense of belonging for tamariki and rangatahi in the local board area; raised profile of the importance of play; communication of Māori cultural narratives and te reo Māori through play	The specific projects in this work programme will be workshopped and confirmed with the local board early in FY25, and will be guided by the play plan being delivered in FY24.	2023DT3 - Our community and facilities	2023DT3.6 - Opportunities to participate in sport and active recreation are available and accessible.	CCS: Active Communities – Sport and Recreation	2023/2024; 2024/2025; 2025/2026	LDI: Opex	10,000
3854	Food security initiatives	Develop a network of Devonport-Takapuna community gardens and food initiatives (including Pātaka Kai and Kai 4 Communities), with a view to identifying and resourcing gaps in partnership with the community.  Increase community wellbeing and connection through activation and participation in gardening and kai activities.  <del>Resource and support existing and emerging community</del>	Local Devonport-Takapuna communities have access to local resources needed to ensure good food is accessible, affordable and available to all - The community can participate in neighbourhood activity, fostering community ownership of gardens and reserves - Community connectedness and social cohesion is enhanced - New local community garden initiatives receive capacity building support		2023DT1 - Our people	2023DT1.5 - Our communities are thriving and empowered to support one another.	CCS: Connected Communities – Community Delivery	2024/2025	LDI: Opex	20,000
3892	Youth specialist delivery - Devonport-Takapuna Local Board	Local Board contribution towards the capability required to deliver youth community development activities and outcomes; specifically to prioritise the promotion and management of the Devonport-Takapuna Local Board Youth Representation Project	The local board is able to realise its community outcome objectives and deliver on related key initiatives.		2023DT1 - Our people	2023DT1.5 - Our communities are thriving and empowered to support one another.	CCS: Connected Communities – Community Delivery	2024/2025	LDI: Opex	7,781
3917	Community Development Specialist delivery- Devonport-Takapuna	Local Board contribution towards the capability required to deliver community development activities and outcomes.	The local board is able to realise its community outcome objectives and deliver on related key initiatives.		2023DT1 - Our people	2023DT1.5 - Our communities are thriving and empowered to support one another.	CCS: Connected Communities – Community Delivery	2024/2025	LDI: Opex	57,300

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ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or	Delivery Year(s)	Budget Source	2024/2025
3939	Community Activator Raki	Fund a community activator to work with a range of key organisations and partners that will respond to local aspirations and needs within the catchment area of Takapuna, Sunnynook, Milford, Castor Bay and Forrest Hill - Create new initiatives in partnership with community that are identified through engagement and planning. - Encourage new ways of doing things, including how facilities and venues are used. - Enable diverse activities to meet changing community needs and build stronger connections at street and neighbourhood levels. - Develop community's capacity and ability to respond to their own needs - Support grass-roots placemaking to develop local areas to become places of connection and creativity for the residents of Devonport-Takapuna - Prioritise and incentivise initiatives and community activations that promote sustainability	Develops and supports community-led initiatives. - Builds community resilience and mindfulness. - Responds to the changing demographics and aspirations of increasingly more diverse communities. - Encourages innovative use of facilities and resources for achieving collective outcomes. - Promotes greater awareness of te ao Māori and use of te reo in appropriate settings.	No further decision points	2023DT1 - Our people	2023DT1.5 - Our communities are thriving and empowered to support one another.	CCS: Connected Communities – Community Delivery	2024/2025	LDI: Opex	98,000
3940	Community Activator Taitonga	Fund a community activator to work with a range of key organisations and partners that will respond to local aspirations and needs within the catchment area of Devonport Peninsula, Hauraki, Belmont and Bayswater - Create new initiatives in partnership with community that are identified through engagement and planning. - Encourage new ways of doing things, including how facilities and venues are used. - Enable diverse activities to meet changing community needs and build stronger connections at street and neighbourhood levels. - Develop community's capacity and ability to respond to their own needs - Support grass-roots placemaking to develop local areas to become places of connection and creativity for the residents of Devonport-Takapuna - Prioritise and incentivise initiatives and community activations that promote sustainability	Develops and supports community-led initiatives. - Builds community resilience and mindfulness. - Responds to the changing demographics and aspirations of increasingly more diverse communities. - Encourages innovative use of facilities and resources for achieving collective outcomes. - Promotes greater awareness of te ao Māori and use of te reo in appropriate settings.	No further decision points	2023DT1 - Our people	2023DT1.5 - Our communities are thriving and empowered to support one another.	CCS: Connected Communities – Community Delivery	2024/2025	LDI: Opex	88,000
3996	Devonport - Takapuna Cycling and Walking Guide	A walking and cycling guide for the Devonport /Takapuna Local Board area	Sustainable Transport options for the Community, connecting parks to parks , connecting with nature	Q 1 Refine scope with local board Q 2 Information gathering followed by local board endorsement and feedback on draft guide Q 3 Refinement of draft guide Q 4 Adoptiin of Cycling and Walking Guide	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Specialist Operations	2024/2025	LDI: Opex	10,000



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ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or	Delivery Year(s)	Budget Source	2024/2025
3997	27 Lake Rd Service Assessment	Service assessment of 27 Lake Rd to understand desired outcomes of all stakeholders.	Holistic and consolidated view of all stakeholder interests at the site.	Q 1 Define scope of assessment Q 2 Information gathering on stakeholder interests Q 3 Consolidation of information on current state Q 4 Endorsment of draft roadmap for future development	2023DT3 - Our community and facilities		CCS: PCF – Specialist Operations	2023/2024; 2024/2025	LDI: Opex	0
4000	Mana Whenua Initiatives	Collaborate with Te Waka Kerewai to build projects and relationships in partnership with Mana Whenua Projects and initiatives to focus on seeing more Te Ao Māori, Tikanga Māori and Te Reo in the Devonport-Takapuna community Action recommendations from a report the local board commissioned in 2020 about the aspirations of relationship building between Iwi and the Local Board	Mana whenua and mātāwaka feel strong foundations are built for an enduring and positive relationship with the local board.  The Devonport-Takapuna Local Board meets it's obligations under the Treaty of Waitangi Te Tiriti O Waitangi.  Mana whenua and mātāwaka aspirations and initiatives are supported by the local board.  Te Ao Māori is considered and forms part of the local board decision-making process.		2023DT1 - Our people	2023DT1.3 - Māori are involved in decision making.	CCS: Connected Communities – Community Delivery	2024/2025	LDI: Opex	10,000
4073	Community Activator Review	Contract an organisation to do a holistic review of the Activator Community Delivery model. Review to align with Activator model being in place for 18 months. A provider will be contracted in Q4 24/25 to start with scoping, research and community engagement. Additional funds will be requested for FY 25/26 to continue research and community engagement and to complete the review in Q1 25/26 for consideration for the board in Q2 25/26. The provider will review the activators roles in the community houses to report back to the board on the strengths and gaps in the delivery model for consideration for future investment.	•The Devonport-Takapuna Local Board's new community activator delivery model will have a holistic and thorough review to understand the gaps and possibilities for the roles •Community members, organisations and Council partners will have a chance to feed back on the benefits of the new roles. •The review will provide strategic feedback on the roles in relation to the boards wider community delivery strategy and outcomes of the Local Board Plan 2023-2026		2023DT1 - Our people	2023DT1.5 - Our communities are thriving and empowered to support one another.	CCS: Connected Communities – Community Delivery	2024/2025; 2025/2026	LDI: Opex	5,000
4149	Devonport - Takapuna Local Board - Te Kete Rukuruku Māori Naming of Parks and Places: Tranche One Phase Two	Māori naming (and associated story telling) of parks and places in partnership with mana whenua to highlight and promote Auckland's Māori identity and use of te reo Māori. The final outcome, after four phases are complete, will be a dual Māori/English name or a sole Māori name and the story behind that name. This is for phase two of four which encompasses research of the names being put forward by iwi.	Increases in the number of parks and places with Māori names, to support te reo Māori to be seen, heard, spoken and learned. Restoration of mauri and mana to the whenua. Aligns with the Mental Health Foundation framework, specifically 'keep learning' because learning another language improves our understanding and confidence. Contributes to key action points in Te Reo Māori Action Plan 2020-2023.	Staff to present a workshop on the Te Kete Rukuruku Project to the Devonport-Takapuna Local Board by the end of the second quarter.	2023DT1 - Our people	2023DT1.4 - Provide opportunities to recognise and celebrate Māori heritage and culture.	CCS: RSS – Māori Outcomes	2024/2025; 2025/2026	LDI: Opex	4,500
4324	Devonport-Takapuna local service property portfolio review	Undertake service property review of local board assets to identify opportunities that will help the local board understand where & how to focus capital budgets for their future communities	The local board will have a better understanding of where and how to focus their capital budgets for their future communities	No further decisions anticipated	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities.	CCS: RSS – Service and Asset Planning	2024/2025	Regional	0

Customer and Community Services Work Programme 2024/2025 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or	Delivery Year(s)	Budget Source	2024/2025
4355	Local Civic Events Devonport Takapuna	Deliver local civic events including: Achilles Crescent playground opening, Knightsbridge Reserve playground opening and Northboro Reserve playground opening.	The local community can celebrate or recognise moments, places or events that are significant to them.	Local Board to provide direction on the delivery of the specific events during the year.	2023DT5 - Our economy	2023DT5.1 - Our town centres and villages are vibrant, safe, and attractive for locals, businesses, and visitors.	CCS: RSS – Events	2024/2025	LDI: Opex	0
4391	Pupukemoana Sport and Recreation Collective	Bring all sports stakeholders with an interest in Lake Pupuke together to discuss the organised management and utilisation of the lake.	Addressing collective storage issues Managing increasing overuse of the Lake Safe access and use of lake Accessibility Environmental impacts and mitigation	- confirmation of direction on progress reports	2020DT3 - Community participation and wellbeing	2020DT3.1 - Communities feel safe, connected, and have access to services, programmes and activities that create a sense of wellbeing and belonging	CCS: Active Communities – Sport and Recreation	2024/2025	LDI: Opex	2,000

## Community Leases Work Programme 2024/2025 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	CL: Lease Commencement Date	CL: Final Lease Expiry Date	CL: Annual Rent Amount (excluding GST)	CL: Annual Opex Fee (excluding GST)	CL: Building Ownership
3052	Ngataranga Park: Ngataranga Organic Garden Society Incorporated	New lease	To provide a community garden that will nourish the local community	At lease renewal/expiry	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities.	CCS: PCF – Community Leases	5/10/2010	4/10/2020	1.00		Tenant
3195	Takararo/Mount Cambria Reserve: Devonport Community Gardens Society Incorporated	New lease	To provide a community garden that will nourish the local community	At the lease expiry/renewal	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities.	CCS: PCF – Community Leases	21/07/1979	20/07/2021	1.00	0.00	Tenant
3462	Devonport Domain/Vauxhall Sports Fields: North Shore Rugby Football Club Incorporated	New lease	To provide clubrooms and playing facilities that promote rugby	At lease expiry/renewal	2023DT3 - Our community and facilities	2023DT3.5 - Parks and facilities are accessible to people of all ages and abilities.	CCS: PCF – Community Leases	11/05/2003	10/05/2023	1.00	0.00	Tenant
3493	Ōperetū/Fort Takapuna Reserve: Occupancy of the former Devonport Peninsula Trust	Proposed new sublease	A community services premises for the local community	Inclusion of additional activity to the Community Lease Work Programme 2024/2025 – negotiate a new	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Community Leases	19/06/2018	18/06/2020	1.00	500.00	Third-Party
3686	Ōperetū/Fort Takapuna Reserve: Occupancy of the former North Harbour Radio Community Trust	EOI and proposed new sublease	A premises suitable for office use	At sublease expiry/renewal	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Community Leases			1.00		Third-Party
3687	Devonport-Takapuna Local Board Community Leases FY2025/2026 Work Programme	The Girl Guides Association New Zealand Incorporated - Taitamariki; The Girl Guides Association New Zealand Incorporated - Hauraki; The Scout Association of New Zealand - Forrest Hill Scout Group; Devonport Community Workshop; Devonport Community Creche Incorporated - Forrest Hill	Developing a sense of belonging and engagement with the community.	Request that staff seek clarity on activity ID: 3687, Girl Guide Association of New Zealand Incorporated on current usage and future	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Community Leases					



## Community Leases Work Programme 2024/2025 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	CL: Lease Commencement Date	CL: Final Lease Expiry Date	CL: Annual Rent Amount (excluding GST)	CL: Annual Opex Fee (excluding GST)	CL: Building Ownership
4274	Sunnynook Park: The Scout Association of New Zealand - Sunnynook Scout Group	New lease	Developing a sense of belonging and engagement with the community.	At lease expiry/renewal	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Community Leases	31/01/2003	30/01/2023	1.00	0.00	Tenant
4275	Allenby Reserve: The Scout Association of New Zealand - 1st Devonport Scout Group	Proposed new lease	Developing a sense of belonging and engagement with the community.	At lease expiry/renewal	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Community Leases	12/01/2003	12/01/2023	1.00	0.00	Council
4276	Broadlands Reserve: Auckland Kindergarten Association - Sunnynook	Right of lease renewal	Developing a sense of belonging and engagement with the community.	At lease expiry/renewal	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Community Leases	4/01/2015	31/03/2035	1.00	0.00	Tenant
4277	Sylvan Park: Auckland Kindergarten Association - Milford	Right of lease renewal	Developing a sense of belonging and engagement with the community.	At lease expiry/renewal	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Community Leases	4/01/2015	31/03/2035	1.00	0.00	Tenant
4278	Seine Reserve: Auckland Kindergarten Association - Forrest Hill	Right of lease renewal	Developing a sense of belonging and engagement with the community.	At lease expiry/renewal	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Community Leases	4/01/2015	31/03/2035	1.00	0.00	Tenant
4279	43 Vauxhall Road, Devonport: Auckland Kindergarten Association - Devonport	Right of lease renewal	Developing a sense of belonging and engagement with the community.	At lease expiry/renewal	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Community Leases	4/01/2015	31/03/2035	1.00	0.00	Tenant

## Community Leases Work Programme 2024/2025 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	CL: Lease Commencement Date	CL: Final Lease Expiry Date	CL: Annual Rent Amount (excluding GST)	CL: Annual Opex Fee (excluding GST)	CL: Building Ownership
4280	Devonport-Takapuna Local Board Community Leases FY2026/2027 Work Programme	Ngataringa Tennis Club Incorporated - Juniors; North Shore Cricket Club Incorporated; The Belmont Park Racquets Club Incorporated; Milford Cruising Club Incorporated; North Shore Rowing Club Incorporated; PHAB Association (Auckland) Incorporated; Waitemata Golf Club Incorporated - Area A and B; Wakatere Boating Club Incorporated; The Yes Disability Resource Centre Services Trust Board - Shore Junction; Rotary Club of Devonport Incorporated; The Devonport Yacht Club Incorporated; Masonic Cricket Club Incorporated; Kennedy Park Petanque Club Incorporated	Developing a sense of belonging and engagement with the community.	At lease expiry/renewal	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Community Leases					
4348	Part of Milford Reserve: The Scout Association of New Zealand - Milford Sea Scout Group	New lease	Developing a sense of belonging and engagement with the community.	At lease expiry/renewal	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Community Leases	1/02/1977	31/01/1991	1,300.00	0.00	Tenant
4349	Part of Milford Reserve: Young Mariners of New Zealand Incorporated - Awataha	New lease	Developing a sense of belonging and engagement with the community.	At lease expiry/renewal	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Community Leases	29/06/2014		1,300.00		Tenant

## Community Leases Work Programme 2024/2025 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	CL: Lease Commencement Date	CL: Final Lease Expiry Date	CL: Annual Rent Amount (excluding GST)	CL: Annual Opex Fee (excluding GST)	CL: Building Ownership
4350	Allenby Reserve: Lions Club of Devonport Incorporated	Investigation of new lease or EOI process	A premises that supports the aspirations of the local community	Request staff prioritise ID: 4350 to determine current use and future intentions of the premises occupied by the Lions Club of Devonport, Allenby Reserve noting the premises are currently underutilised.	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Community Leases	1/09/1994	31/08/2014	1,300.00		Council
4437	Devonport Community Creche	New lease	To provide a place for quality early childhood education and care for the children of our local community	At lease renewal/expiry	2020AE5 - Parks and community facilities meet a wide range of needs	2020AE1.2 - People are included, interconnected and celebrate our diversity	CCS: PCF – Community Leases					Council
4466	Dacre Park: Restoring Takarunga Hauraki Charitable Trust	Assignment of lease	To provide a community garden that will nourish the local community	Inclusion of an additional activity to the Community Lease Work Programme 2024/2025 prioritising the assignment of the lease currently approved to be held by the Devonport Peninsula Trust for the Nursery site at 27 Lake Road (DT/2022/135) to Restoring Takarunga Hauraki Charitable Trust as the trust has now formed its own legal entity and wishes to take control of the lease.	2023DT3 - Our community and facilities	2023DT3.2 - Provide a strong connected network of safe and quality spaces for all members of our community to enjoy now and in the future	CCS: PCF – Community Leases	1/11/2022	31/10/2042	1.00	0.00	Tenant



Local Board Services Work Programme 2024/2025 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	Delivery Year(s)	Budget Source	2024/2025
4415	Devonport-Takapuna Local Board Engagement	Increase the awareness and effectiveness of local board engagement activities through investment in things such as engagement materials and resources, and facility hireage for engagement events.	Our people are informed and engaged in the decisions that affect them. The five ways of wellbeing action of 'connect' is relevant to this activity.		2023DT1 - Our people	2023DT1.1 - All members of the community feel they can have a say in the decisions that affect them.	GOV: Local Board Services	2024/2025	LDI: Opex	3,000

## Infrastructure and Environmental Services Work Programme 2024/2025 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	Delivery Year(s)	Budget Source	2024/2025
550	Wairau Estuary enhancement Planting	The Wairau Estuary Enhancement Plan was developed by Healthy Waters aiming to restore the estuary through a series of options presented to the community at a public workshop in 2019. Options include native planting, weed management, and erosion mitigation works. This project seeks to implement the rest of the portion of the plan by undertaking native planting and weed management. Planting and weed maintenance have been ongoing from previous years and it is proposed that there is continuation to ensure the project's success in the 2024/2025 year.	The water quality of the Wairau Estuary has been negatively impacted by heightened urbanization, leading to contaminated runoff across the entire catchment. Introducing suitable native species to the estuarine environment is a proactive measure to enhance the filtration of contaminants, decrease sediment runoff, prevent erosion, and boost shade and coverage. As a result, this initiative aims to create an inhospitable environment for weeds while providing an enriched habitat for native fish and birds, thereby promoting increased biodiversity in the region. Furthermore, this project aligns with potential future developments of the proposed boardwalk by the Milford Residents Association and Milford Business, contributing to overall environmental improvement.	No further decisions anticipated	2023DT2 - Our environment	2023DT2.1 - Improve water quality in the Wairau Catchment, Lake Pupuke, and our marine environment.	I&ES: Healthy Waters	2024/2025	LDI: Opex	20,000
3012	Restoring Takarunga Hauraki - Devonport	Restoring Takarunga Hauraki have become a thriving community-led ecological restoration and outdoor learning programme for Takarunga Hauraki (Devonport Peninsula). They enhance the unique biodiversity and ecosystems by eradicating animal and plant pests, restoring native plant species, championing trees and organising conservation and eco-literacy education initiatives. Restoring Takarunga Hauraki provide advice and practical support to many stakeholders including private landowners, community groups, schools, businesses, iwi and hapu. They will focus on the ongoing restoration and maintenance of established eco-corridors; Oneoneroa, Ngau-te-ringaringa, and Ngā Maunga Eco-Corridors. They will work to improve local communities' knowledge to care and value natural areas of significance, such as The Shoal Bay Biodiversity Focus Area. They will protect and enhance wetlands and other freshwater ecosystems that flow into Ngataranga Bay and Shoal Bay. In addition, they will continue to increase canopy cover by planting more native plants, which they will largely grow in their community native nursery.	<ul style="list-style-type: none"> <li>• Community groups and schools supported and enabled to lead and undertake restoration action</li> <li>• People taking action to protect their local native biodiversity – controlling pest animals and weeds</li> <li>• People taking action to enhance native habitat (for example planting native trees to provide food for wildlife; planting native ground or shrubs to add structure and resilience to coastal native forest)</li> <li>• Local native ecosystems protected and enhanced – providing safe refuge for native wildlife</li> <li>• People encouraged to work together and connect with nature</li> <li>• People more engaged and partnering with Council to protect biodiversity</li> <li>• Waterways that flow into Shoal Bay and Ngataranga Bay will be improved.</li> <li>• Native trees will be grown on the peninsula to be planted to increase canopy cover and protect from coastal erosion and protect waterways.</li> </ul>	No further decisions anticipated.	2023DT2 - Our environment	2023DT2.1 - Improve water quality in the Wairau Catchment, Lake Pupuke, and our marine environment.	I&ES: Environmental Services – Natural Environment Delivery	2024/2025	LDI: Opex	75,000

**Infrastructure and Enviromental Services Work Programme 2024/2025 - Devonport-Takapuna Local Board**

ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	Delivery Year(s)	Budget Source	2024/2025
3013	Pupuke Birdsong Project	Pupuke Birdsong Project is a community-led initiative, umbrellaed by Takapuna North Community Trust, that aims to bring together, support and grow the network of volunteer groups, individuals, schools and organisations working to eradicate pests, improve water quality and restore local native habitats in the Northern suburbs of the Devonport-Takapuna Local Board area. They provide advice and practical support to landowners, community groups, schools, businesses, iwi and hapu to undertake pest removal and restoration action protecting and enhancing native biodiversity. This work supports key objectives written in the North Shore Birdsong Pest-Free and restoration plan 2019. Pupuke Birdsong will continue and expand on training and educational workshops, planting native trees to increase canopy coverage, protect and enhance waterways that flow into Wairau estuary and Castor Bay. They will increase trapping networks focusing on identified ecological halos that surround important remnant ecosystems such as: Castor Bay, Milford, Smith's Bush East, and Pupukemoana.	<ul style="list-style-type: none"> <li>• Community groups and schools supported and enabled to lead and undertake restoration action</li> <li>• People taking action to protect their local native biodiversity – controlling pest animals and weeds</li> <li>• People taking action to enhance native habitat (including through planting native trees)</li> <li>• Local native ecosystems protected and enhanced – providing safe refuge for native wildlife</li> <li>• Helps to support the North West Wild-Link Project</li> <li>• Waterways that flow into Wairau Estuary will be improved</li> </ul>	No further decisions anticipated.	2023DT2 - Our environment	2023DT2.4 - Communities live more sustainably	I&ES: Environmental Services – Natural Environment Delivery	2024/2025	LDI: Opex	75,000



Infrastructure and Enviromental Services Work Programme 2024/2025 - Devonport-Takapuna Local Board

ID	Activity Name	Activity Description	Activity Benefits	Further Decision Points for LB	LB Plan Outcome	LB Plan Objective	Lead Dept/Unit or CCO	Delivery Year(s)	Budget Source	2024/2025
4403	Noughty Wasters Zero Waste Makerspace	<p>The Noughty Wasters Zero Waste Makerspace is a new programme that will provide sustainability education at the Devonport Community Recycling Centre. Key elements of the programme are: School and ECE visits (Makerspace visit 7 primary schools &amp; 8 community-based preschools in the Devonport-Takapuna region) Children have the opportunity to create with junk items otherwise destined for landfill, learn appropriate use of tools, construct with large loose parts, take tangible steps towards zero waste through hands-on challenges, and feel inspired about environmental sustainability through interactive storytelling.</p> <p>Community events where families can gather twice per term for play, community building and zero waste education.</p> <p>Community Workshops - 2 workshops per term run by skilled artists and craftspeople, local whenever possible, offering the opportunity to upcycle/repair materials that would otherwise go to landfill.</p> <p>Youth Leadership - Youth aged 12-15 participate in a zero waste training session, and serve as volunteer assistants at our school holiday programme.</p> <p>Loose Parts for schools and ECE - Educator sessions for schools and ECE with access to junk loose parts diverted from landfill and Professional</p>	<p>Increased awareness of the services offered at the CRC.</p> <p>Increased understanding of appropriate recycling practices, zero waste hierarchy, and the circular economy.</p> <p>Sustainability Education towards zero waste behaviours and leadership attributes.</p> <p>Development of skills relevant for climate resilience (reuse, repair, upcycle).</p> <p>Measurable diversion of items from landfill for educational purpose.</p>	Workshop the proposed scope in quarter one.	2023DT2 - Our environment	2023DT2.4 - Communities live more sustainably	I&ES: Waste Solutions	2024/2025	LDI: Opex	25,000

# Devonport-Takapuna Local Board Annual Planning 2025/2026

24 September 2024



# Local Board Annual Planning

**Input into  
regional  
Annual  
Budget**

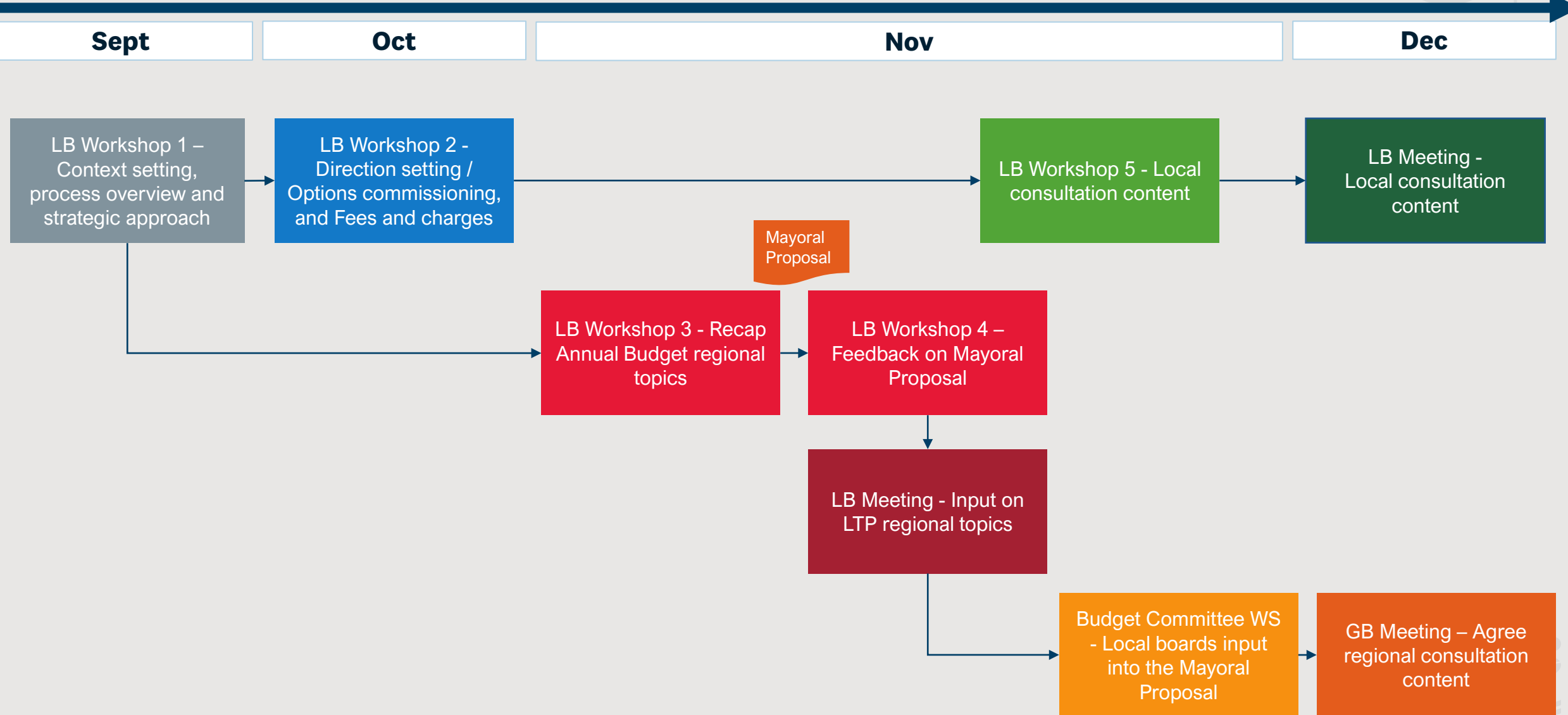
**Local board  
agreements**

**Local board  
work  
programmes**

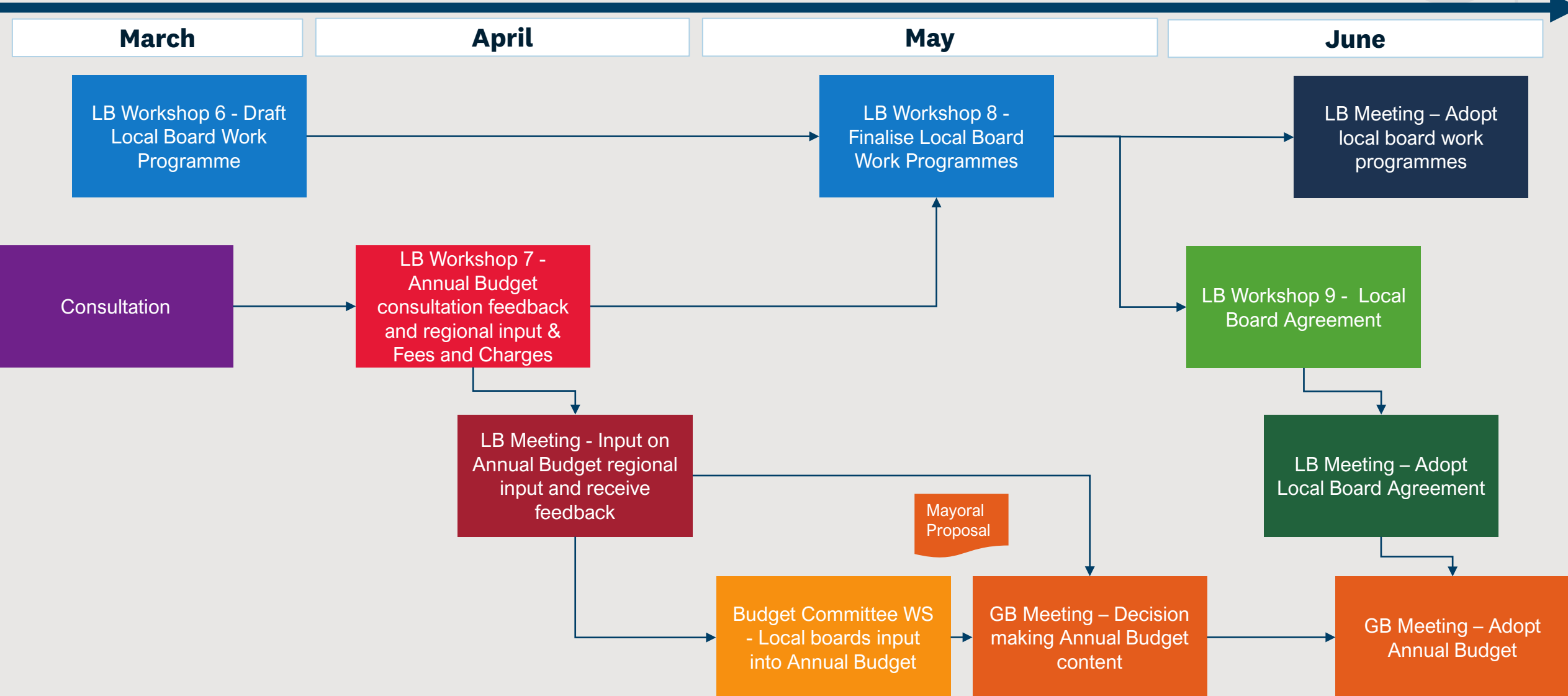




# Timeline (first half)



# Timeline (second half)



# Annual Budget 2025/2026





# Mayoral and Councillor Direction

## Key message:

Continue the progress made in the Long-term Plan 2024-2034

## Specific advice areas:

- CCO Reform
- Major Events Funding
- Planning & Paying for Growth



## Overall budget approved through the LTP

	2024/2025	2025/2026	2026/2027
<b>Capital Investment</b>	<b>\$4.3 b</b>	<b>\$4.2 b</b>	<b>\$4.1 b</b>
<b>Operating expenditure</b>	<b>\$6.1b</b>	<b>\$6.5b</b>	<b>\$6.8b</b>
<b>Average residential rates increase</b>	<b>6.8%</b>	<b>5.8%</b>	<b>7.9%</b>



## Many moving pieces

- Fairer Funding implementation
- Delivering Differently business case
- Matapopore / Portfolio Review
- More empowered local boards
- Recent organisational restructure





# Budget

OPEX	as at 09 May 2024										
Local Board	FY25	FY26	FY27	FY28	FY29	FY30	FY31	FY32	FY33	FY34	10 Yr SUM
Devonport-Takapuna	13.8	14.2	14.6	15.2	15.6	16.3	16.9	17.6	18.3	19.1	161.6
Fairer funding (additional opex)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total	13.8	14.2	14.6	15.2	15.6	16.3	16.9	17.6	18.3	19.1	161.6
CAPEX	as at 09 May 2024										
Local Board	FY25	FY26	FY27	FY28	FY29	FY30	FY31	FY32	FY33	FY34	10 Yr SUM
Devonport-Takapuna	5.5	5.5	6.5	8.4	8.6	9.3	8.1	9.3	8.8	8.5	78.3
Fairer funding (additional capex)	0.0	0.4	-0.4	0.2	0.2	-0.4	0.3	-0.7	-0.0	0.5	0.0
Total	5.5	5.8	6.1	8.6	8.8	8.9	8.4	8.6	8.7	8.9	78.3



# Local Board Work Programme – Fairer Funding

From 1 July 2025, local boards will move to a fairer allocation of local board funding, with additional funding approved through the LTP.

The distinction between LDI and ABS budgets will also cease to exist.



# Different scenarios (based on additional opex budget)

A	B	C	D
\$0	A bit more (around \$1m)	A lot more (around \$2-4m)	A whole lot more (\$5m and \$8m)
<ul style="list-style-type: none"> <li>Identify any cost increases – some boards may need to reduce spending in other areas</li> <li>Advice on whether budget reductions are required</li> <li>BAU approach to work programmes and considering doing things differently</li> <li>In the future we will talk to you about doing things differently programme</li> </ul>	<ul style="list-style-type: none"> <li>Identify any cost increases – some boards may need to spend some additional budget to cover this</li> <li>BAU approach to work programmes and considering doing things differently</li> <li>Scale up current activities</li> <li>Consider a small amount of additional activity</li> <li>Some option advice required</li> </ul>	<ul style="list-style-type: none"> <li>Identify any cost increases – some boards may need to spend some additional budget to cover this</li> <li>Scale up current activities</li> <li>Consider significant additional activity (making sure it is future proof)</li> <li>Significant option advice required</li> </ul>	<ul style="list-style-type: none"> <li>Identify any cost increases – some boards may need to spend some additional budget to cover this</li> <li>Scale up current activities</li> <li>Consider significant additional activity (making sure it is future proof)</li> <li>Significant option advice required</li> <li>Significant wrap around advice required</li> </ul>





# Capex vs Opex

- Capex
  - Catch up on deferred works
  - Focus on renewals
  - Some have big projects ongoing/planned
- Opex
  - Different for every local board
  - Will work with you in the context of your funding situation
  - Local context will impact opportunities



# **Local Board Work Programmes - Strategic Direction**

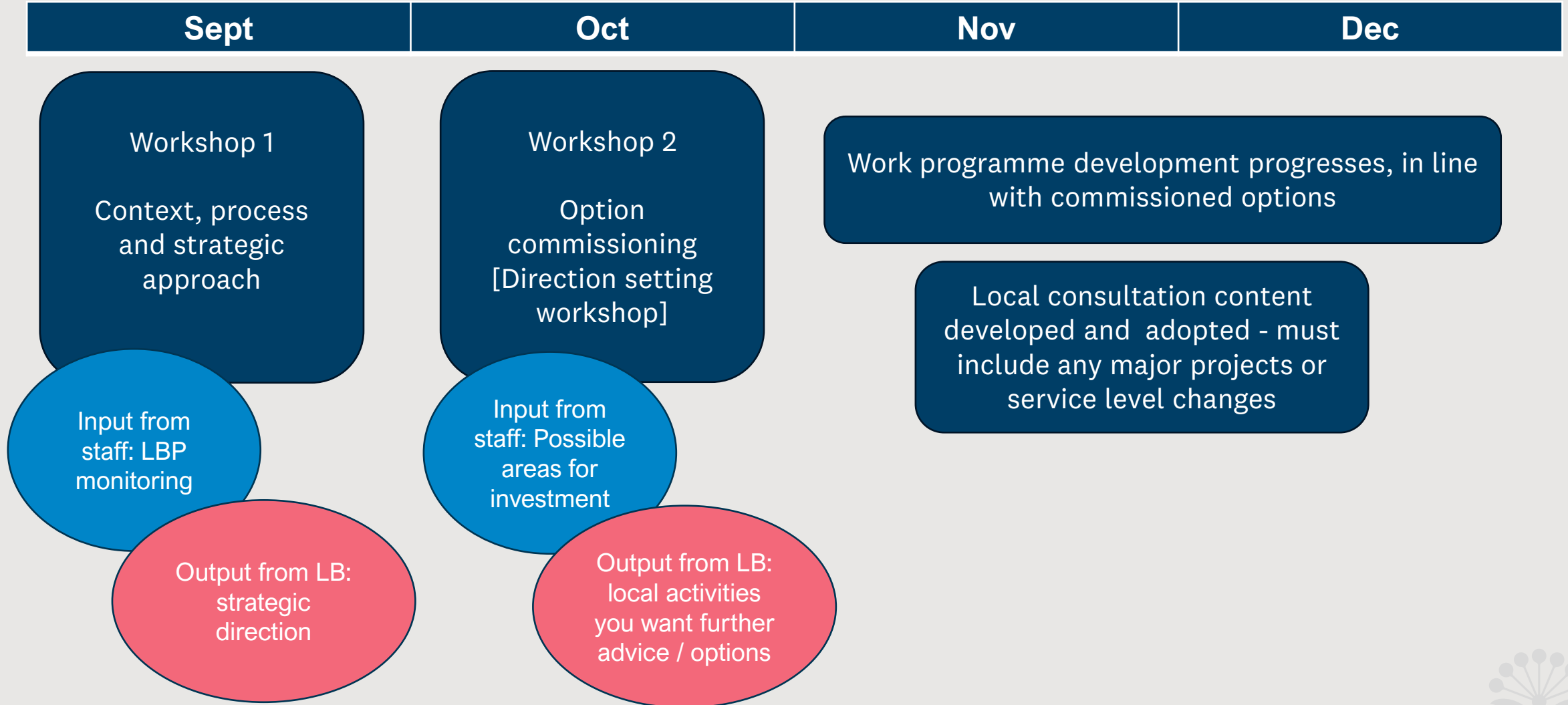


# Achieving Local Board Plan objectives occurs through a variety of mechanisms





# Key workshops



# Local Board Work Programme – Local Board Plan

- Local board plans are your strategic three-year plans which reflect community aspirations and priorities. They should guide the direction of the local board work programmes.
- 2025/2026 is the second year the local board work programmes are developed to deliver on the 2023 Local Board Plan
- **Are there particular areas in your Local Board Plan you would like to change or focus on this year?**



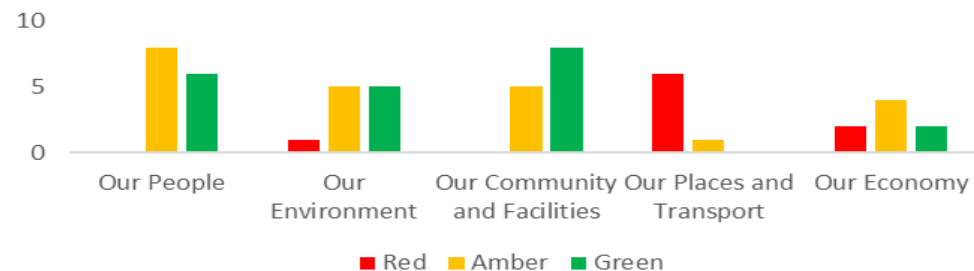
# Local Board Work Programme – Local Board Plan

Te mahere ā rohe o Devonport-Takapuna 2023

## Devonport-Takapuna Local Board Plan 2023



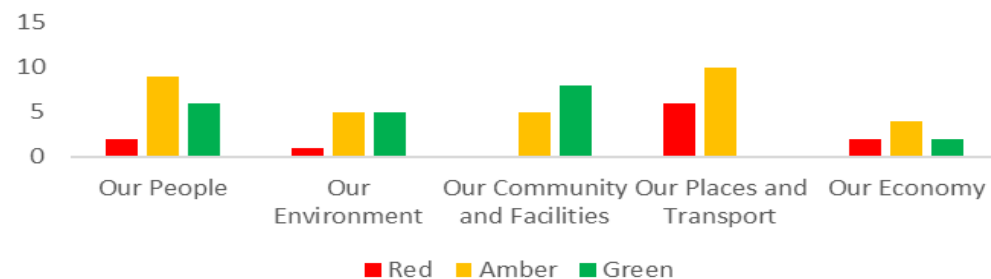
Local Board Plan Initiatives



Local Board Plan Advocacy



Local Board Plan





# Local Board Plan – Ngā Tāngata / Our People

## Areas for focus identified by members

- Community connection/ community development particularly in changing communities
- Community safety
- Support for vulnerable demographics
- Food security and community gardens
- Engagement strategy including more community conversations
- Youth Seat and engagement with youth
- Community grants
- Homelessness strategy
- Advocate for continuation of navigators and support for those impacted by flooding
- Regular updates on implementation of Devonport-Takapuna Emergency Readiness and Response Plan



# Local Board Plan – Te Taiao / Our Environment

## Areas for focus

- Water quality – Wairau Estuary, Lake Pupuke Beaches.
- Develop a Wairau Water Quality Action Plan
- Support for delivery partners
- Volunteer support
- Sustainable Communities –Community gardens, waste minimisation, Environmental Activator
- Creation of Environment Hub at 27 Lake Road



# Local Board Plan – Tō Tātou Hāpori / Our Community and Facilities

## Areas for focus

- Partnership opportunities: use of third-party facilities eg Milford Community Space, sports facilities
- Safe, well-planned spaces
- Accessibility
- Use of placemaking and public art
- Community gardens – leasing
- Playground functionality – Shade sails, water fountains, seating, picnic tables
- Town centres, parks and facilities are well maintained
- Delivery of projects already in train e.g. Dragon Park, Te Uru Tapu stairs, Anzac Ave – Patuone Walkway connections, Takapuna Community Hub.
- Water access plan / Sports facility plan
- Portfolio review



# Local Board Plan – Ngā Wāhi / Our Places and Transport

## Areas for focus

- Extension of areas covered by walking and cycling guide
- Identify key routes in Greenways Plan and what is required to ensure they are fit for purpose
- Review open space provision
- Advocate for safe, reliable and affordable public transport services
- Francis Esmonde Connection- Requires clear process across council departments and CCOs
- Lake Road: Optimisation of Belmont and tactical improvements on Lake and Esmonde Roads
- Promotion of Bike Hub
- Wayfinding signage



# Local Board Plan – Te Taiōhanga / Our Economy

## Areas for focus

- Options to continue to support BIDs
- Identify and prioritise actions from town centre and area plans
- Options to promote the Devonport-Takapuna local board area as a destination
- Better understand /connect/support businesses across the local board area



# General Comments

## Areas for focus

- Greater transparency on project description, scope, budget and timeline
- Overview of long-term projects eg development of Takapuna Metro Centre
- Continued advocacy on storm recovery works, implementation of Blue Green Networks and deconstruction programme of affected homes and sites.
- Progress Portfolio Review





# Maori Outcomes



# Māori Outcomes - Context

- Devonport-Takapuna Local Board Plan 2023 includes a focus on Māori Outcomes
- Local board delivery on Māori Outcomes is now being measured - baseline to be set in 2024/2025

Performance measure	Notes / Ref.	Actual (Result) 2022/2023	Target 2023/2024	Indicative long-term plan targets			
				2024/25	2025/26	2026/27	2027-2034
Lead Council Group response to partnership and participation of Māori in decision making and deliver Māori outcomes							
The number of local activities that deliver moderate to high outcomes for Māori as outlined in ‘Kia Ora Tamaki Makaurau’ (Council’s Māori Outcomes framework)	1.1	New measure	New measure	Set baseline	Maintain or improve		



# Māori Outcomes – Moderate/High definitions

Degree	Definition
No outcomes	I am not aware of any activity outcomes that are of benefit for Māori
Low or indirect outcomes	<p>Māori interests are limited or not significantly affected.</p> <ul style="list-style-type: none"> <li>• The activity will involve some Māori participants but is not specifically targeted to working with Māori.</li> <li>• The activity will involve minimal engagement with Māori, and no significant changes will be made to project design as a result of Māori feedback.</li> <li>• The activity may indirectly benefit Māori, for example by reducing climate risk, or achieving other environmental outcomes, but does not seek to specifically impact outcomes for Māori.</li> </ul>
Moderate outcomes	<p>Māori interests exist or are affected but wider interests take priority.</p> <ul style="list-style-type: none"> <li>• Māori have been consulted and involved, and their concerns and aspirations have been understood and considered in the design of the activity.</li> <li>• Council collaborates with Māori. Both parties contribute to identifying issues and solutions, but council maintains control of the activity.</li> </ul>
High outcomes	<p>Māori interests are significantly affected, or activity is in response to Māori aspirations.</p> <ul style="list-style-type: none"> <li>• The activity is co-designed with Māori, or Māori-led.</li> <li>• Co-design occurs when the council and Māori work in partnership to identify the issue and to design solutions.</li> <li>• Māori-led: Māori decide on the activity and the council assists in implementing the decisions made by Māori.</li> <li>• Activity may be delivered by Māori businesses or community organisations and will achieve significant outcomes for Māori.</li> </ul>





# Māori Outcomes – Current work programme activities

In your 2024/2025 work programme the following activities deliver moderate and high outcomes

ID	Local Activity	Degree of Māori Outcome
20689	Te Uru Tapu/Sacred Grove Takapuna Beach Development Plan	Moderate
95	Maori outcomes	Moderate
4000	Mana Whenua Initiatives	High
4149	Devonport-Takapuna Local Boards Te Kete Rukuruku Tranche One Phase Two	High



# **Māori Outcomes – Local Māori requests and priorities**

**What would you like staff to investigate and provide advice/options?**



## Next steps

1. Local Board Annual Planning (LBAP) workshop 2 (October)
  - The local board share their strategic direction with delivery staff
  - Delivery staff present additional ideas for investment
  - The local board commissions staff to investigate and provide advice/options in the new year
2. Local board consultation content is drafted based on LBAP workshop 2 and workshopped at LBAP workshop 5
3. A recap of Annual Budget regional topics will be workshopped at LBAP workshop 3, and the Mayoral Proposal will be workshopped at LBAP workshop 4.





# Overview of Proposed Standing Orders Revision

September 2024



# What are Standing Orders?

Standing Orders are the rules for conduct and procedure at meetings. They are used to help meetings run smoothly and in accordance with relevant legislation, to ensure the integrity of the decision-making process, and to help elected members and members of the public understand how they can participate.

Standing Orders also apply outside of meetings. They define the end-to-end process of how we call and report on our meetings to ensure legislative requirements are met.

You can view the Devonport-Takapuna Local Board Standing Orders [here](#).



# Background to proposed revisions

At a meeting on 18 June 2024, the board resolved to move to a refreshed engagement model for community forums (Resolution number DT/2024/98).

Prior to this resolution, community forums were operated as a formal meeting under Section 45(2) of the Local Government Official Information and Meetings Act 1987. Current Standing Orders have provision for this under Appendix C.

The new format of community forum are not formal meetings under Section 45(2). To ensure Standing Orders remain clear, relevant, and a practical tool for meeting management, a revision was proposed to remove clauses relating to community forum.

Appendix C of the Standing Orders also details Workshops. No changes are proposed to these clauses other than rewording where community forum related clauses have been removed.





Relevant reports to refer to:

[Community forum review and future engagement – 18 June 2024 – Item 20](#)

[Revision of the Devonport-Takapuna Local Board Standing Orders – 17 September 2024 – Item 19](#)

# Questions?

