

25 050

29 October 2025

Pohuehue Community Housing Ltd.
C/- David Hay
Osborne Hay (North) Ltd.
PO Box 16
Warkworth
Auckland 0941

Attention: David Hay

Re: Response to Request for Further Information – Section 92 RMA

Application: BUN60453420 (LUC60453421 and DIS60453422)

Dear David,

We write in response to Mark Ross' email to David Hay dated 20 October 2025, titled "RE: Pohuehue Rd - Response to Council Comments on S92 Response." for the above application. The following responses address items 12-15 of the request.

The drawing set has been amended to reflect any changes resulting from responses below and is included in Appendix A.

Q12. Please amend 'Erosion and Sediment Control Plan' Drawing No. ESCP-01 Sheet No. 12 of 12 to include the following;

- a) How clean water will be managed; *Note: Comment regarding a clean water diversion bund is not suitable for short period through pine nut trees however following proposal for staging (i.e. driveway to be constructed initially) please revisit this part of the ESCP requirements);*

Response: A clean water diversion bund has been included in the ESCP (Drawing ESCP-01) where slope distance exceeds 60m.

- b) Contributing catchment for each proposed silt fence and super silt fence;

Response: Catchment areas are now included on drawing ESCP-01, included those associated with the super silt fences (Identified as SF1-SF3)

- c) Indicative stockpile locations;

Response: Included on drawing ESCP-01

- d) How the wastewater tank location will be accessed, noting this area is removed from the bulk earthworks location;

Response: Existing gravel driveway and hardstand area to shed and septic to remain. Shown on Drawing W-01.

- e) Silt fence returns, in accordance with GD05 best practice;

Response: Shown on drawing ESCP-01

- f) Location, extent and setbacks from the identified freshwater features;

Response: Shown on drawing ESCP-01 and W-01

- g) Whether any earthworks are required for the removal of existing dwellings, if required;

Response: No earthworks required for the removal of existing dwellings.

- h) Monitoring and maintenance requirements;
- i) Heavy rainfall procedures; and
- j) Standard design details for the proposed erosion and sediment controls.

Response: New drawing (ESCP-02) included in drawing set.

Q13. Please provide a separate works plan for the wastewater line to be constructed under the stream bed. This plan should include;

- a. Cross section of the stream bed (as classified and assessed by a suitably qualified ecologist professional);
- b. 1% AEP;
- c. Indicative stream profile;
- d. Location of wastewater line in relation to the stream bed;
- e. Entry and exit points;
- f. Whether any instream works are proposed to accommodate this pipe.

Response: The cross section of the proposed wastewater pipe is now included in drawing W-02 and amendments have been made to notes on W-01. The pipe is to be thrust below the stream with no instream works proposed.

Q14. Please provide an accompanying construction methodology and sequence of works for the wastewater line to be constructed, as proposed 'under' the stream bed.

Response: The cross section of the proposed wastewater pipe is now included in drawing W-02 and amendments have been made to notes on W-01. The pipe is to be thrust below the stream with no instream works proposed.

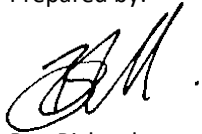
Q15. For avoidance of doubt, please clarify whether the wastewater effluent dispersal field dripper lines will be surface pinned or otherwise, reflecting this on 'Erosion and Sediment Control Plan' Drawing No. ESCP-01 Sheet No. 12 of 12 as necessary.

Response: A note has been added to drawing W-01 indicating that dripper lines are to be pinned to the surface.

Conclusion

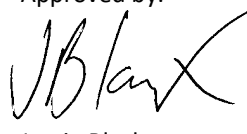
We trust the above responses and the attached revised plans and reports address the matters raised. Please let us know if any additional clarification is required.

Prepared by:



Ben Richardson
Intermediate Engineer
NZDE (Civil), MEngNZ

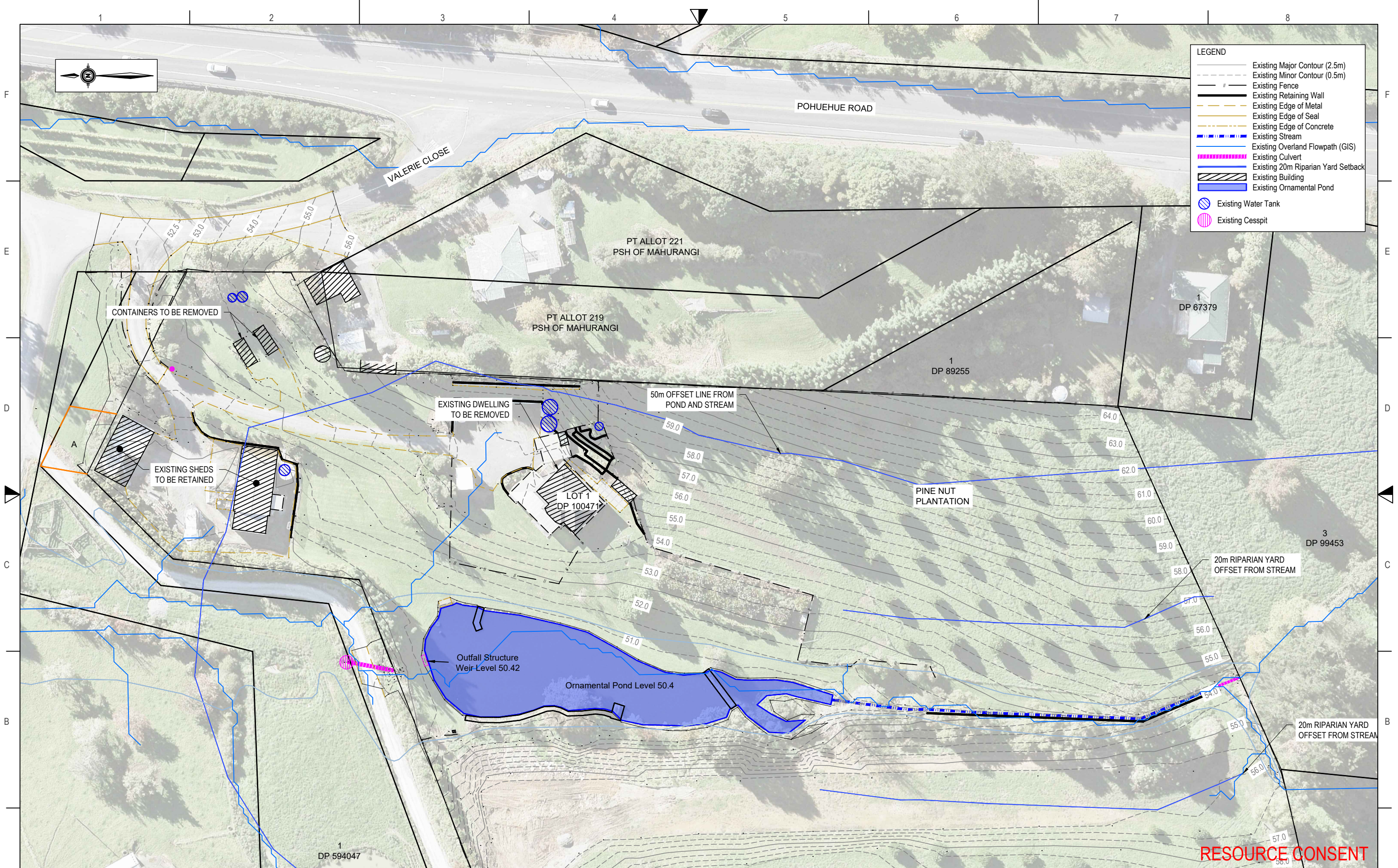
Approved by:



Jamie Black
Senior Engineer
NZDE (Civil), MEngNZ

Enclosed:

- Appendix A – Revised Drawing Set



LEGEND	
	Existing Major Contour (2.5m)
	Existing Minor Contour (0.5m)
	Existing Fence
	Existing Retaining Wall
	Existing Edge of Metal
	Existing Edge of Seal
	Existing Edge of Concrete
	Existing Stream
	Existing Overland Flowpath (GIS)
	Existing Culvert
	Existing 20m Riparian Yard Setback
	Existing Building
	Existing Ornamental Pond
	Existing Water Tank
	Existing Cesspit

RESOURCE CONSENT

Rev	Date	Description	By	Checked
A	27/05/2025	1st ISSUE	AS	JB
B	13/06/2025	RESOURCE CONSENT	AS	BR
C	28/08/2025	RPI RESPONSE	BR	JB

DWG EXISTING SITE PLAN

A3 SCALE 1:750

0 15m 37.5m

Date 27/05/2025

Drawn AS Checked BR Approved JB

File T:\CLIENTS\POHUEHUE COMMUNITY HOUSING LIMITED\25 050 - 1695 POHUEHUE ROAD, POHUEHUE\ENGINEERING\DRAWINGS\25_050_1695 POHUEHUE ROAD_EARTHWORKS.DWG

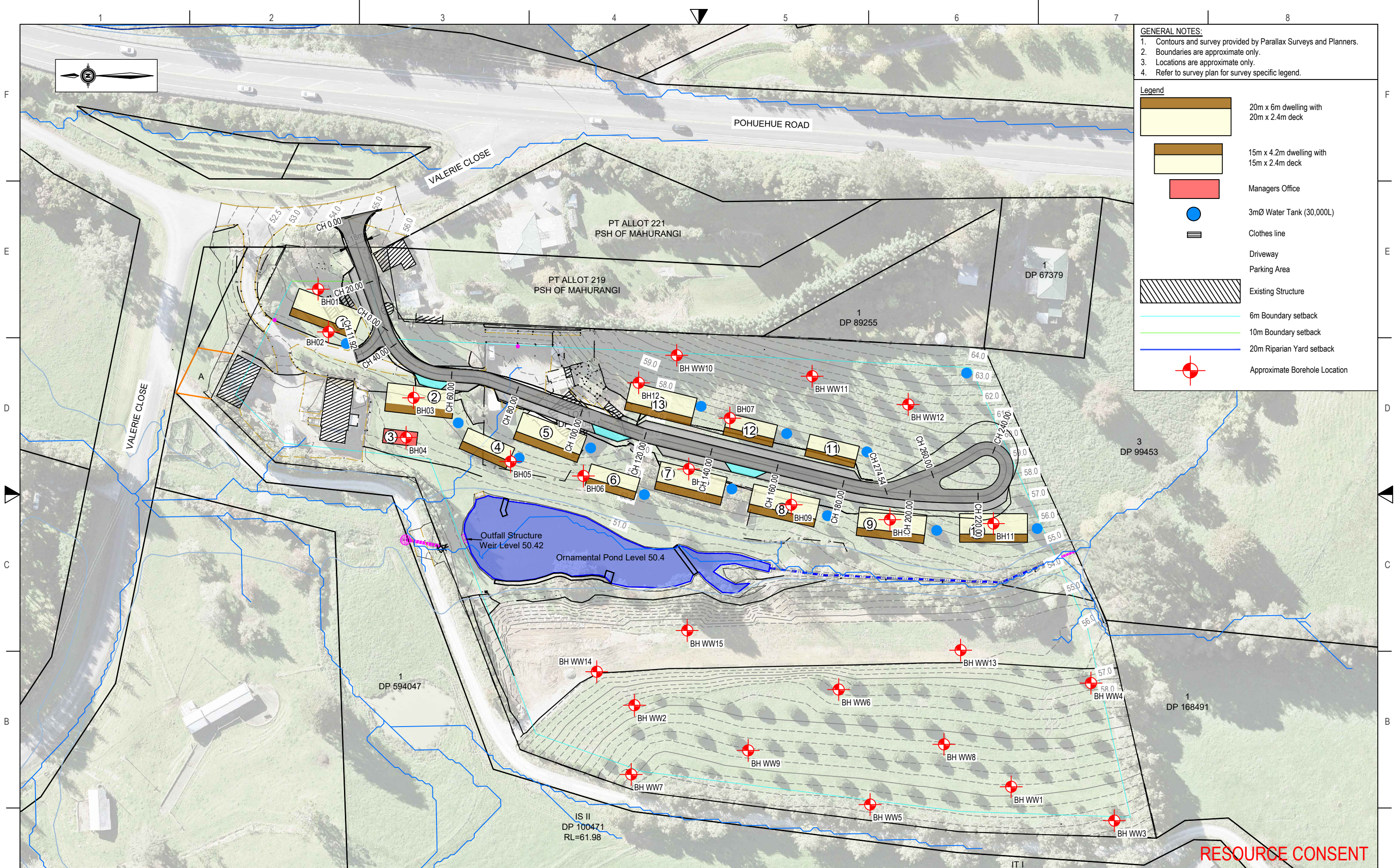
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Civil & Structural Engineers

6 Fairway Drive
Kerikeri, BOI

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Project	1695 Pohuehue Road Lot 1 DP 100471	Stage	
Client	Pohuehue Community Housing Ltd	Dwg No.	GEO-01
Project No.	25 050	RC no.	
		Sheet No.	1 of 13



- GENERAL NOTES:**
1. Contours and survey provided by Parallax Surveys and Planners.
 2. Boundaries are approximate only.
 3. Locations are approximate only.
 4. Refer to survey plan for survey specific legend.
- Legend**
- 20m x 6m dwelling with 20m x 2.4m deck
 - 15m x 4.2m dwelling with 15m x 2.4m deck
 - Managers Office
 - 3mØ Water Tank (30,000L)
 - Clothes line
 - Driveway
 - Parking Area
 - Existing Structure
 - 6m Boundary setback
 - 10m Boundary setback
 - 20m Riparian Yard setback
 - Approximate Borehole Location

RESOURCE CONSENT

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C	28/08/2025	RFI RESPONSE	BR	JB

DWG SITE INVESTIGATION PLAN

A3 SCALE 1:1000

0 20m 50m

Date 27/05/2025

Drawn AS Checked BR Approved JB

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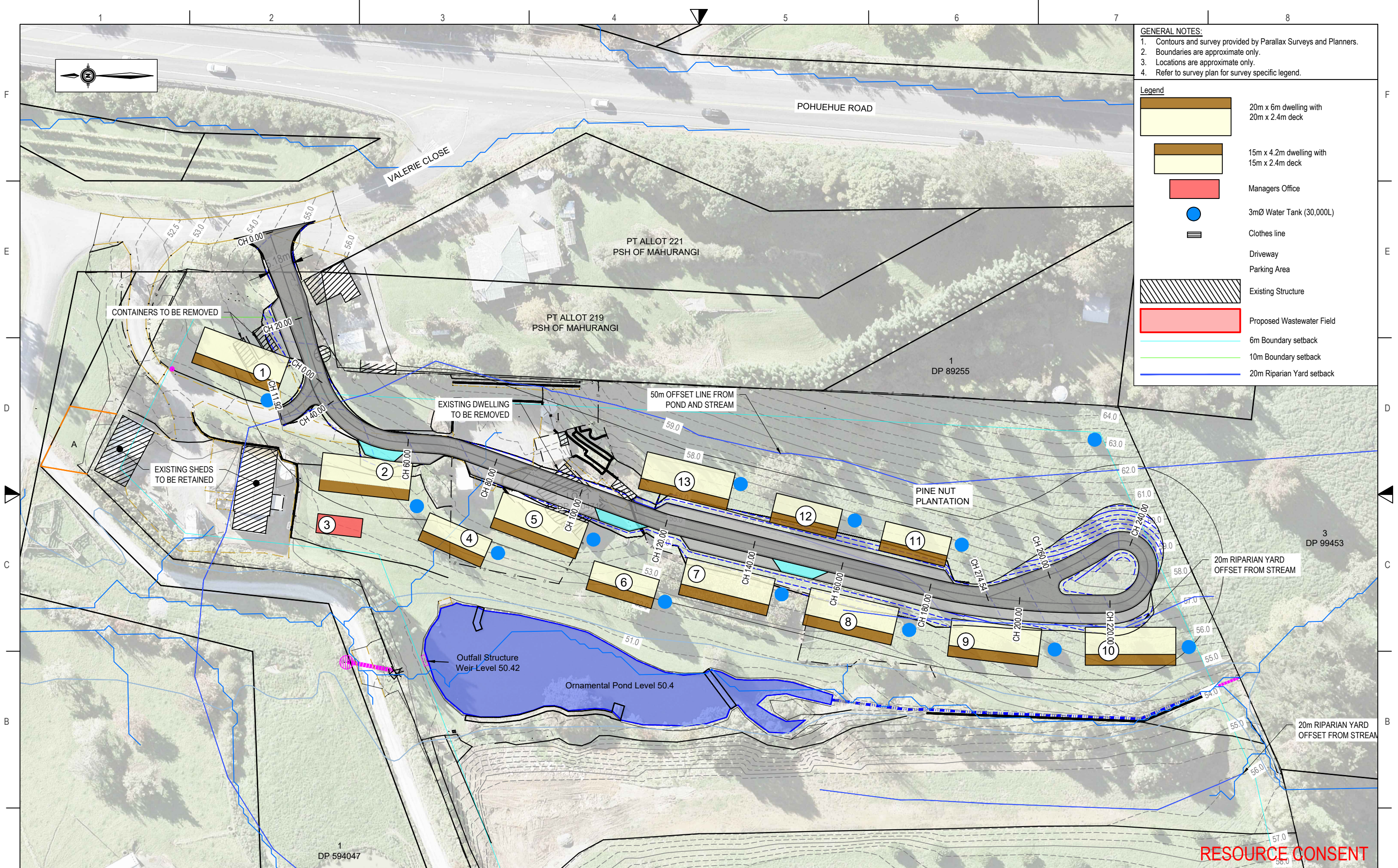
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Client	Pohuehue Community Housing Ltd	Dwg No.	GEO-02
Project No.	25 050	Sheet No.	2 of 13
RC no.			



- GENERAL NOTES:**
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 - Locations are approximate only.
 - Refer to survey plan for survey specific legend.
- Legend**
- 20m x 6m dwelling with 20m x 2.4m deck
 - 15m x 4.2m dwelling with 15m x 2.4m deck
 - Managers Office
 - 3mØ Water Tank (30,000L)
 - Clothes line
 - Driveway
 - Parking Area
 - Existing Structure
 - Proposed Wastewater Field
 - 6m Boundary setback
 - 10m Boundary setback
 - 20m Riparian Yard setback

RESOURCE CONSENT

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C	28/08/2025	RPI RESPONSE	BR	JB

DWG PROPOSED SITE PLAN

A3 SCALE 1:750

0 15m 37.5m

Date 27/05/2025

Drawn AS Checked BR Approved JB

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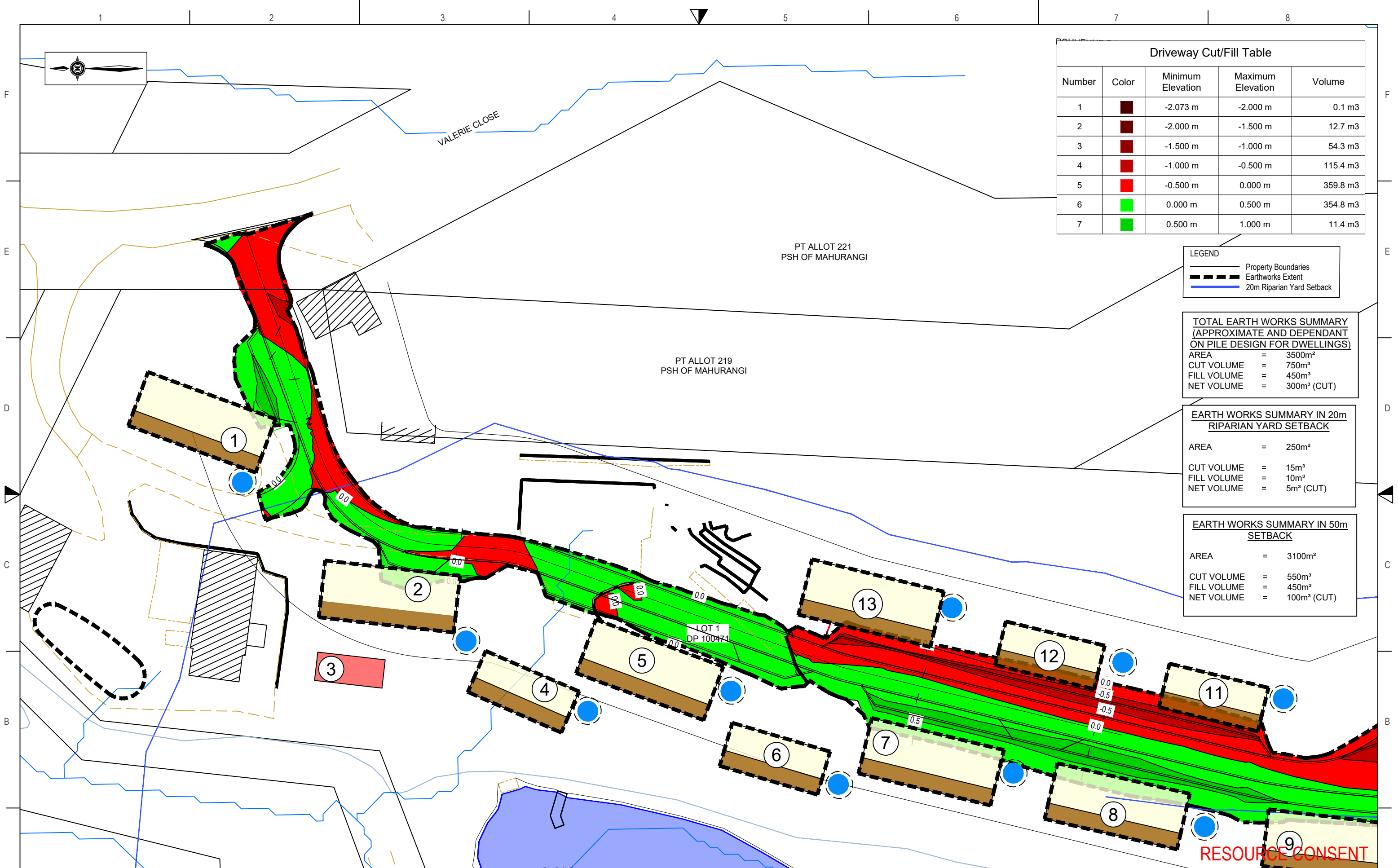
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Client	Pohuehue Community Housing Ltd	Dwg No.	GEO-03
Project No.	25 050	RC no.	
		Sheet No.	3 of 13



Driveway Cut/Fill Table				
Number	Color	Minimum Elevation	Maximum Elevation	Volume
1	Dark Red	-2.073 m	-2.000 m	0.1 m3
2	Dark Red	-2.000 m	-1.500 m	12.7 m3
3	Dark Red	-1.500 m	-1.000 m	54.3 m3
4	Red	-1.000 m	-0.500 m	115.4 m3
5	Bright Red	-0.500 m	0.000 m	359.8 m3
6	Green	0.000 m	0.500 m	354.8 m3
7	Bright Green	0.500 m	1.000 m	11.4 m3

LEGEND	
	Property Boundaries
	Earthworks Extent
	20m Riparian Yard Setback

TOTAL EARTH WORKS SUMMARY (APPROXIMATE AND DEPENDANT ON PILE DESIGN FOR DWELLINGS)	
AREA	= 3500m ²
CUT VOLUME	= 750m ³
FILL VOLUME	= 450m ³
NET VOLUME	= 300m ³ (CUT)

EARTH WORKS SUMMARY IN 20m RIPARIAN YARD SETBACK	
AREA	= 250m ²
CUT VOLUME	= 15m ³
FILL VOLUME	= 10m ³
NET VOLUME	= 5m ³ (CUT)

EARTH WORKS SUMMARY IN 50m SETBACK	
AREA	= 3100m ²
CUT VOLUME	= 550m ³
FILL VOLUME	= 450m ³
NET VOLUME	= 100m ³ (CUT)

RESOURCE CONSENT

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C	28/08/2025	RPI RESPONSE	BR	JB

DWG EARTHWORKS PLAN

A3 SCALE 1:500

0 10m 25m

Date 27/05/2025

Drawn AS Checked BR Approved JB

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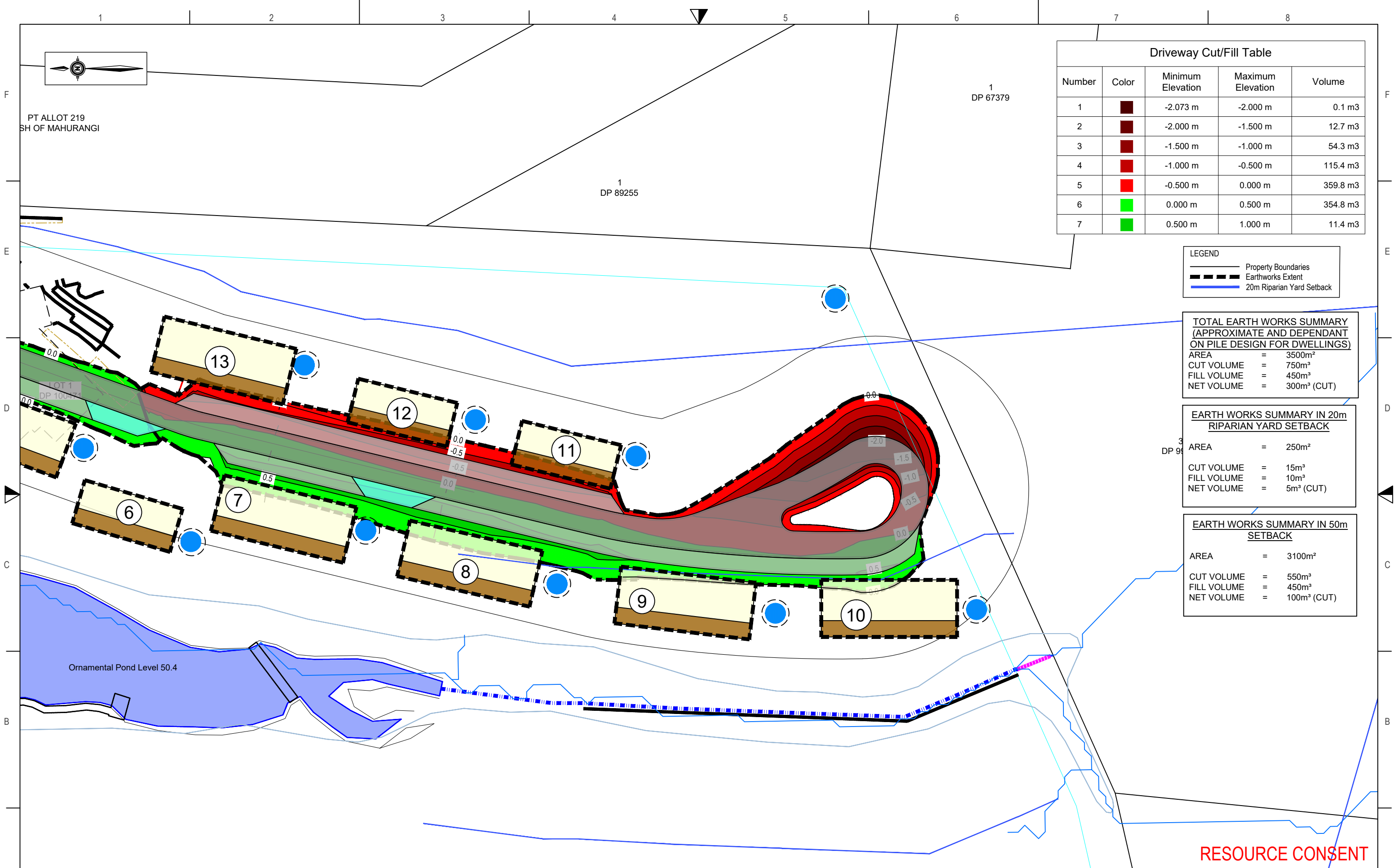
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Client	Pohuehue Community Housing Ltd	Dwg No.	GEO-04
Project No.	25 050	Sheet No.	4 of 13
RC no.			



Number	Color	Minimum Elevation	Maximum Elevation	Volume
1	Dark Red	-2.073 m	-2.000 m	0.1 m3
2	Dark Red	-2.000 m	-1.500 m	12.7 m3
3	Dark Red	-1.500 m	-1.000 m	54.3 m3
4	Red	-1.000 m	-0.500 m	115.4 m3
5	Bright Red	-0.500 m	0.000 m	359.8 m3
6	Bright Green	0.000 m	0.500 m	354.8 m3
7	Green	0.500 m	1.000 m	11.4 m3

	Property Boundaries
	Earthworks Extent
	20m Riparian Yard Setback

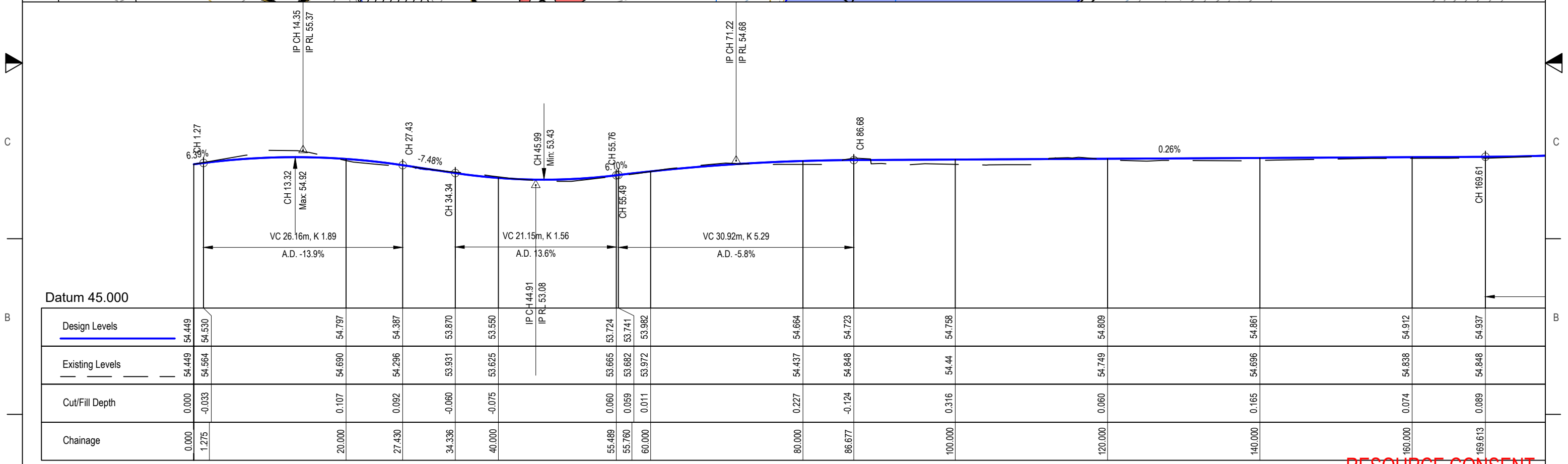
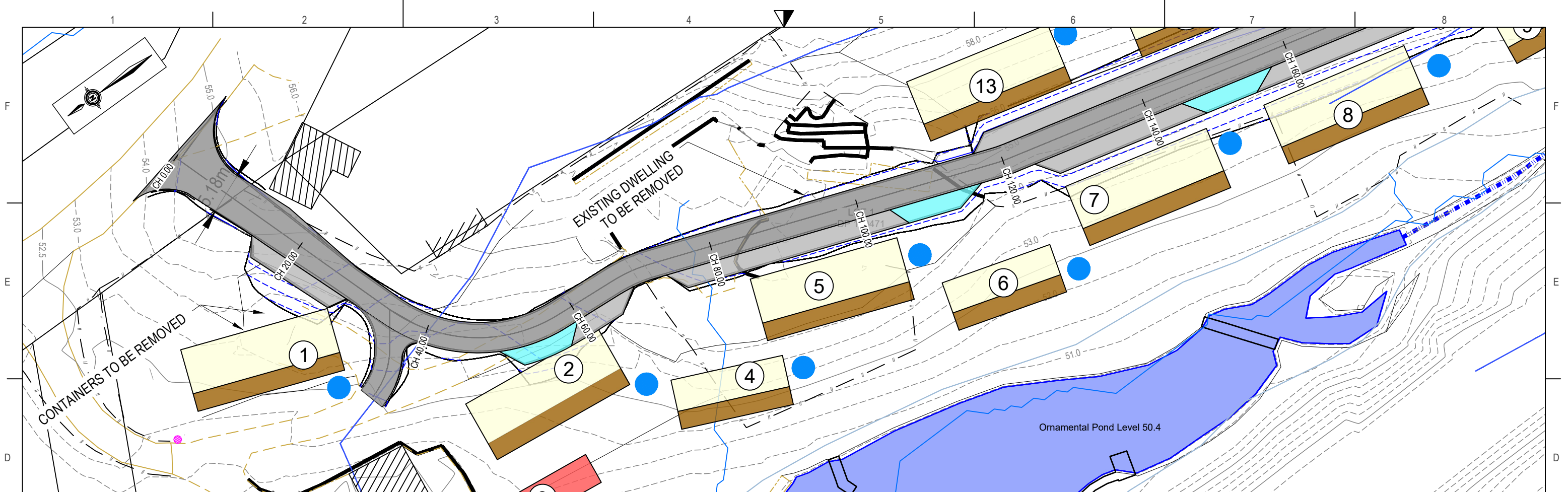
AREA	=	3500m ²
CUT VOLUME	=	750m ³
FILL VOLUME	=	450m ³
NET VOLUME	=	300m ³ (CUT)

AREA	=	250m ²
CUT VOLUME	=	15m ³
FILL VOLUME	=	10m ³
NET VOLUME	=	5m ³ (CUT)

AREA	=	3100m ²
CUT VOLUME	=	550m ³
FILL VOLUME	=	450m ³
NET VOLUME	=	100m ³ (CUT)

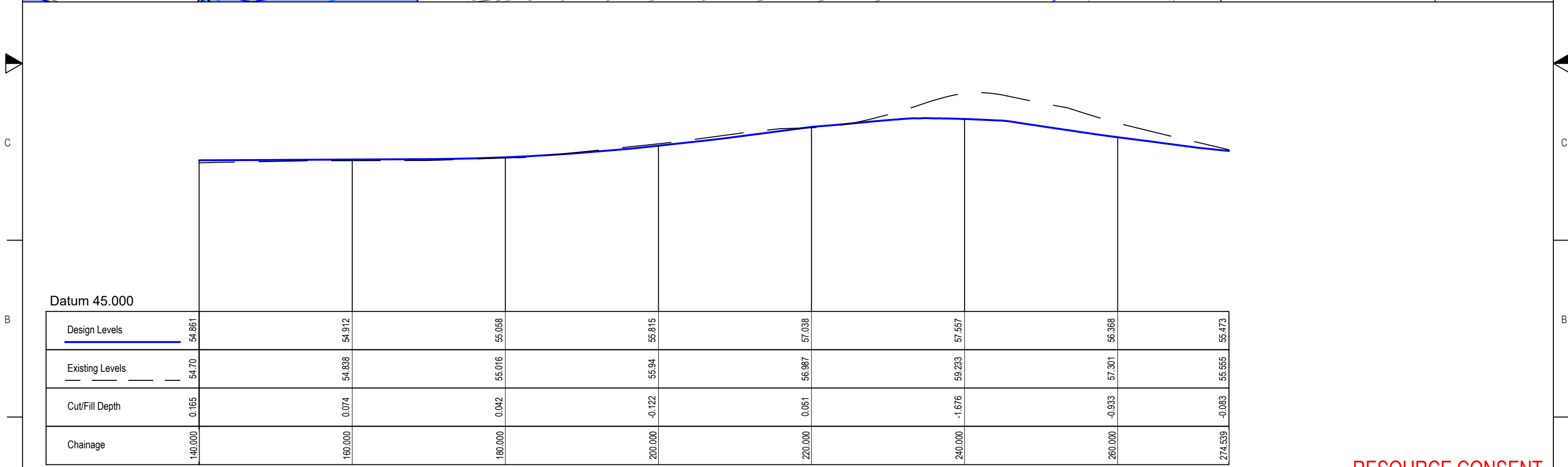
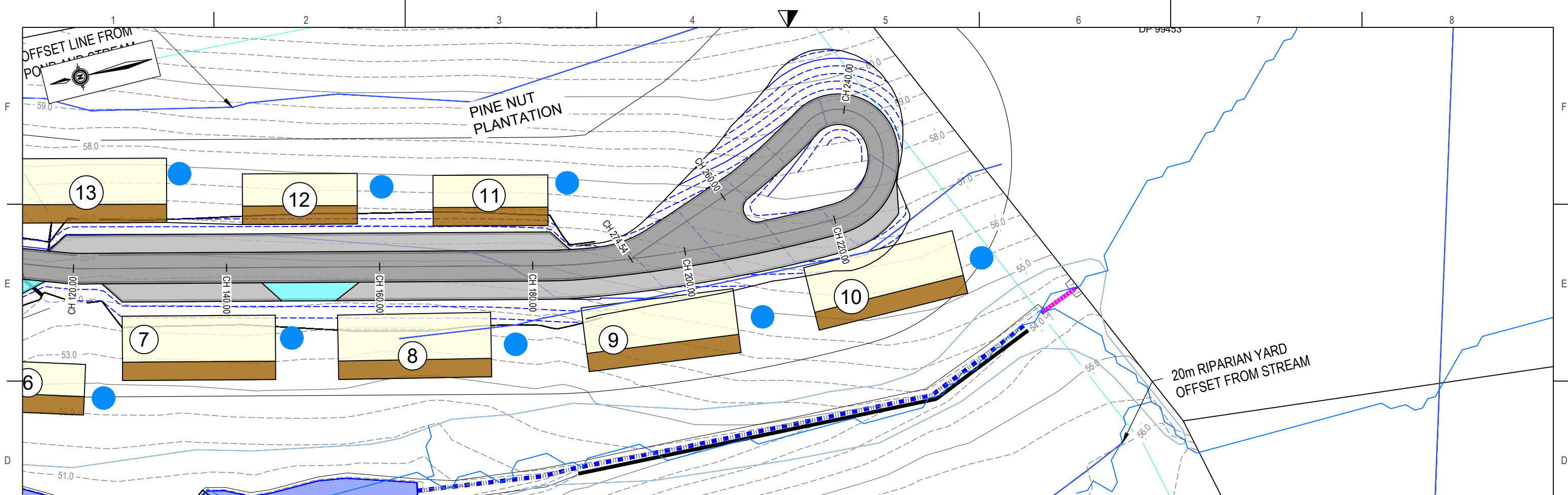
RESOURCE CONSENT

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RESOURCE CONSENT

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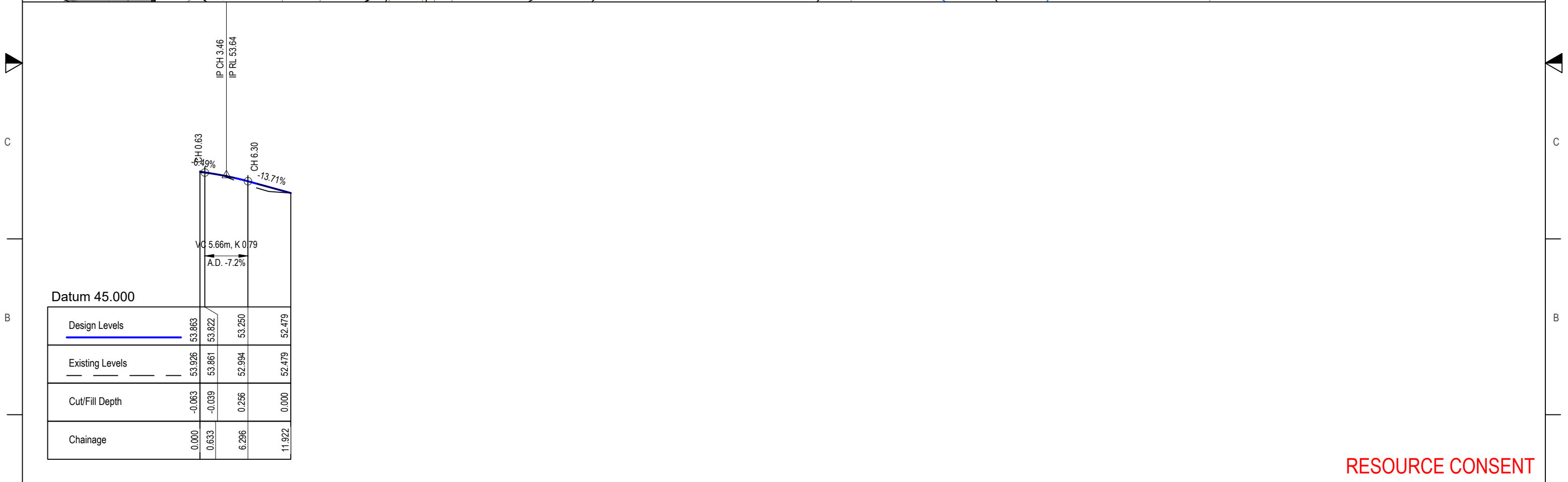
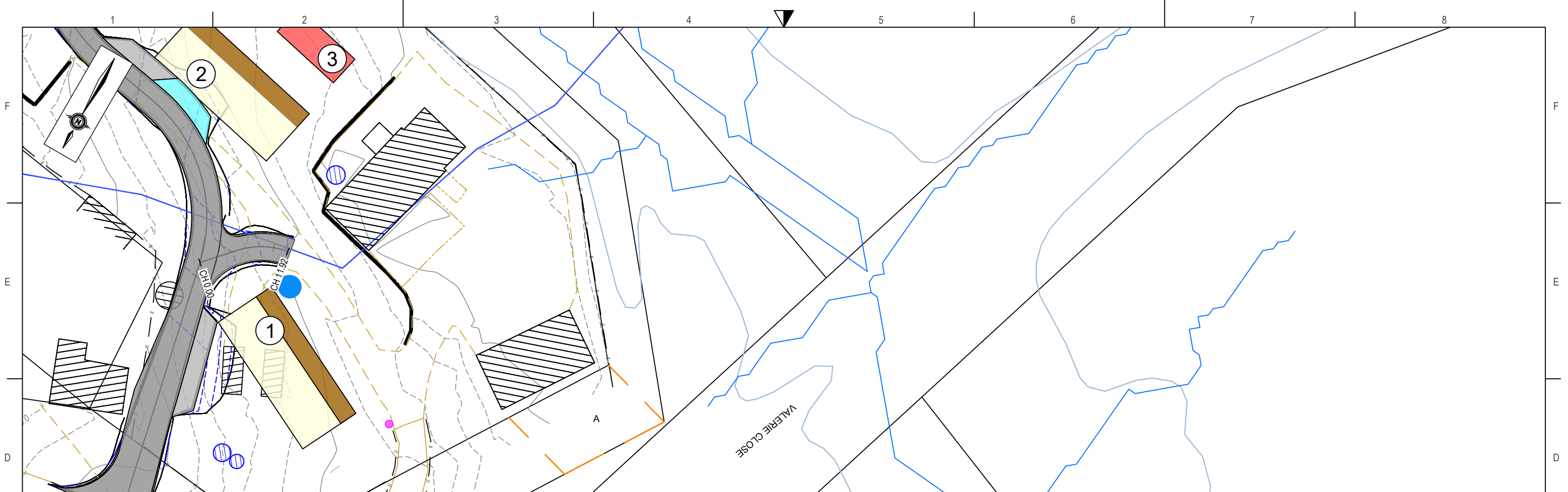


Datum 45.000

Chainage	140.000	160.000	180.000	200.000	220.000	240.000	260.000	274.539
Design Levels	54.861	54.912	55.058	55.815	57.038	57.557	56.368	55.473
Existing Levels	54.70	54.838	55.016	55.94	56.987	59.233	57.301	55.555
Cut/Fill Depth	0.165	0.074	0.042	-0.122	0.051	-1.676	-0.933	-0.083
Chainage	140.000	160.000	180.000	200.000	220.000	240.000	260.000	274.539

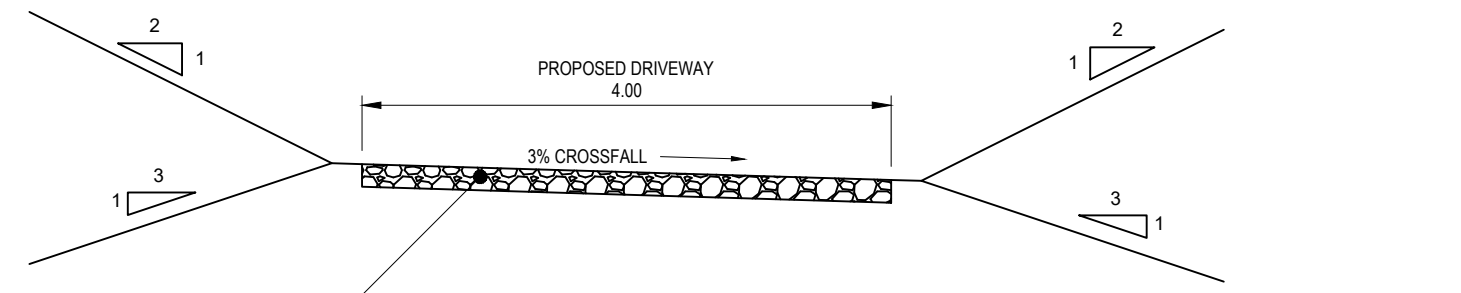
RESOURCE CONSENT

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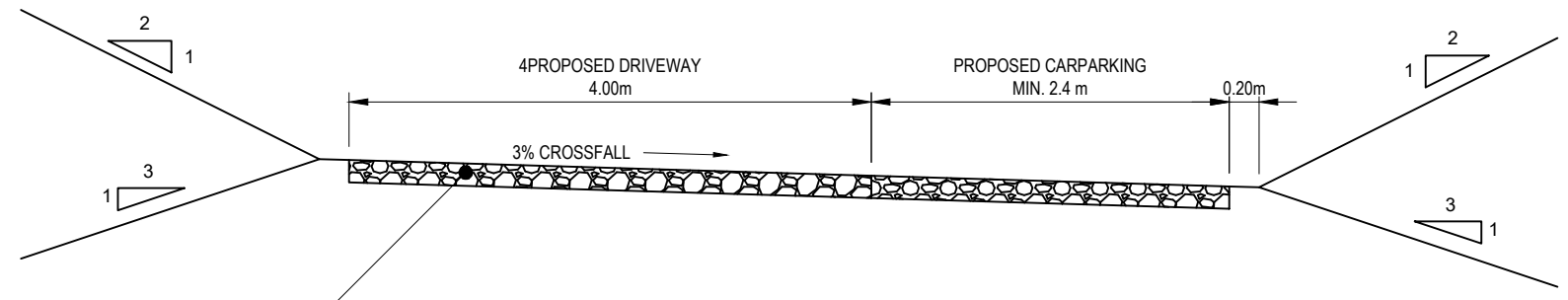


RESOURCE CONSENT

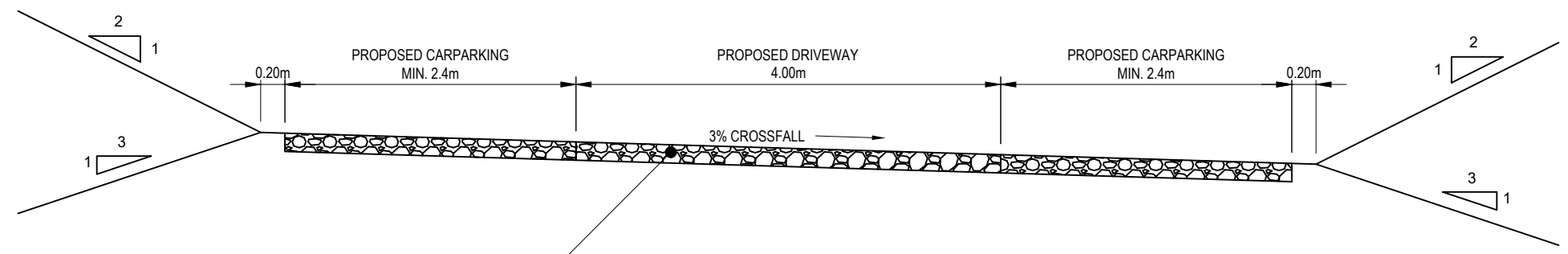
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**TYPICAL CROSS SECTION
PROPOSED DRIVEWAY**



**TYPICAL CROSS SECTION
PROPOSED DRIVEWAY WITH CARPARKING**



**TYPICAL CROSS SECTION
PROPOSED DRIVEWAY WITH CARPARKING BOTH SIDES**

RESOURCE CONSENT

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A	27/05/2025	1st ISSUE	AS	JB
B	13/06/2025	RESOURCE CONSENT	AS	BR
C	28/08/2025	RPI RESPONSE	BR	JB

DWG TYPICAL CROSS SECTIONS	
A3 SCALE	Not to Scale
Drawn AS	Checked BR
Approved JB	Date 27/05/2025
File T:\CLIENTS\POHUEHUE COMMUNITY HOUSING LIMITED\25 050 - 1695 POHUEHUE ROAD, POHUEHUE\ENGINEERING\DRAWINGS\25_050_1695 POHUEHUE ROAD_EARTHWORKS.DWG	

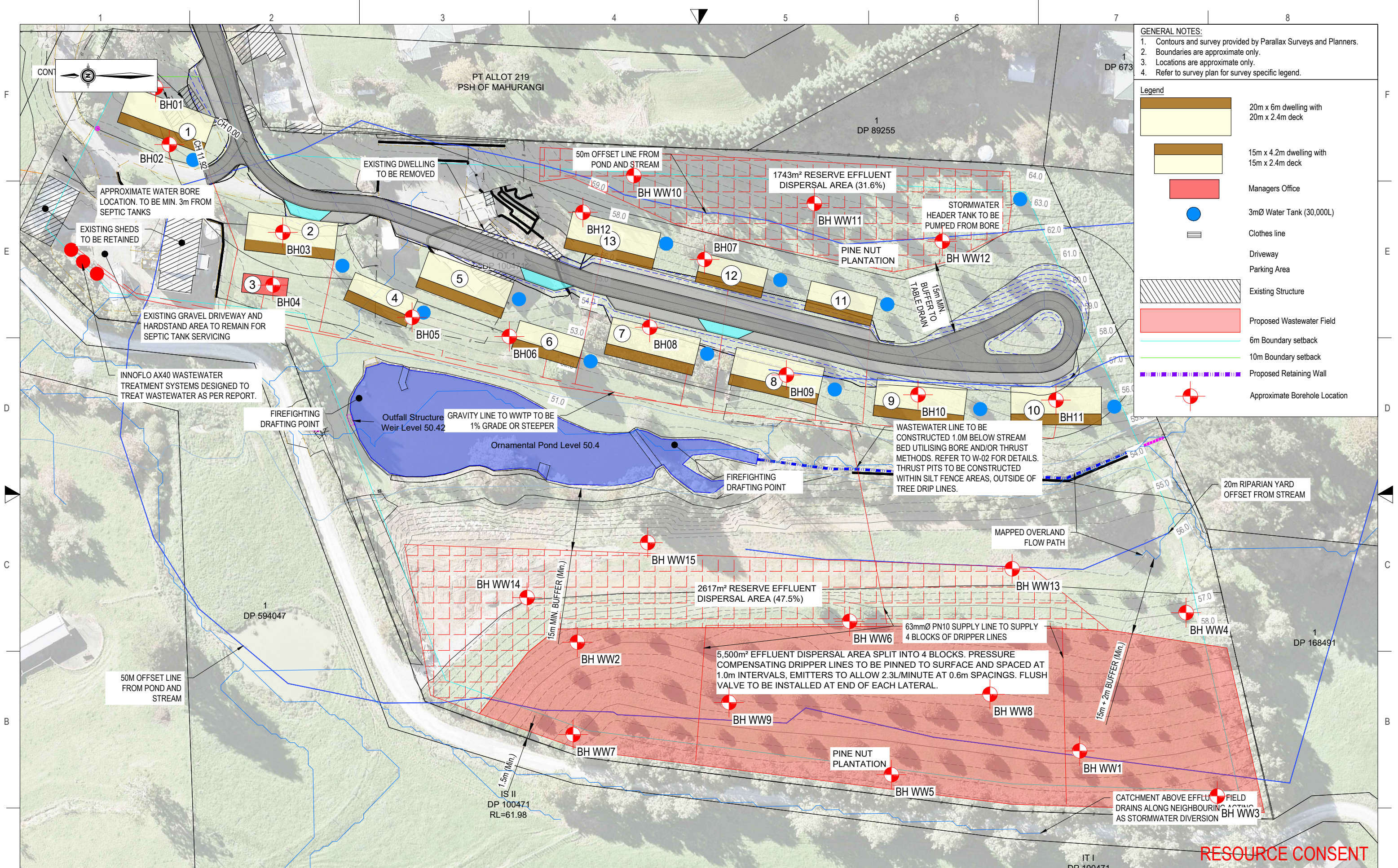
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Project	1695 Pohuehue Road Lot 1 DP 100471	Stage	
Client	Pohuehue Community Housing Ltd	Dwg No.	DE-01
Project No.	25 050	RC no.	
		Sheet No.	9 of 13



- GENERAL NOTES:**
- Contours and survey provided by Parallax Surveys and Planners.
 - Boundaries are approximate only.
 - Locations are approximate only.
 - Refer to survey plan for survey specific legend.
- Legend**
- 20m x 6m dwelling with 20m x 2.4m deck
 - 15m x 4.2m dwelling with 15m x 2.4m deck
 - Managers Office
 - 3mØ Water Tank (30,000L)
 - Clothes line
 - Driveway
 - Parking Area
 - Existing Structure
 - Proposed Wastewater Field
 - 6m Boundary setback
 - 10m Boundary setback
 - Proposed Retaining Wall
 - Approximate Borehole Location

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A	27/05/2025	1st ISSUE	AS	JB
B	13/06/2025	RESOURCE CONSENT	AS	BR
C	28/08/2025	RFI RESPONSE	BR	JB
D	29/10/2025	UPDATED FOR RFI	BR	JB

DWG WASTEWATER AND STORMWATER PLAN

A3 SCALE 1:750

0 15m 37.5m

Date 27/05/2025

Drawn AS Checked BR Approved JB

File T:\CLIENTS\POHUEHUE COMMUNITY HOUSING LIMITED\25 050 - 1695 POHUEHUE ROAD, POHUEHUE\ENGINEERING\DRAWINGS\25_050_1695 POHUEHUE ROAD_EARTHWORKS.DWG

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Project 1695 Pohuehue Road
Lot 1 DP 100471

Client Pohuehue Community Housing Ltd

Project No. 25 050

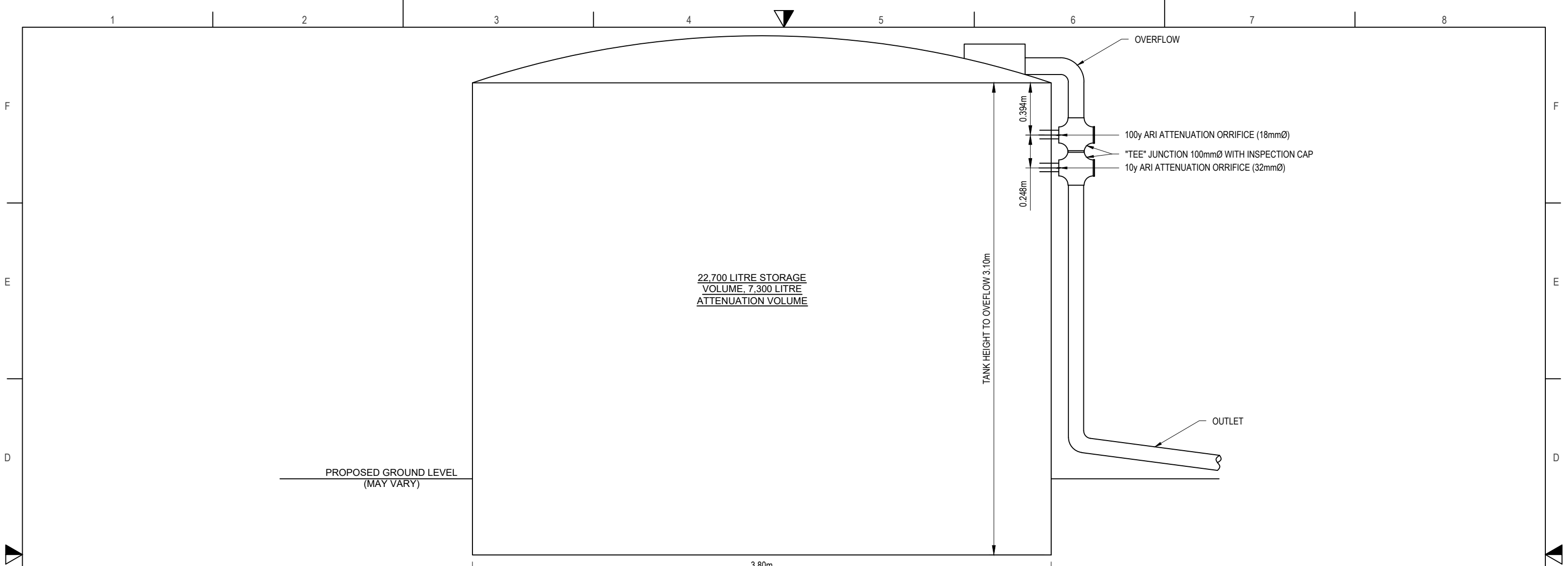
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Dwg No. W-01

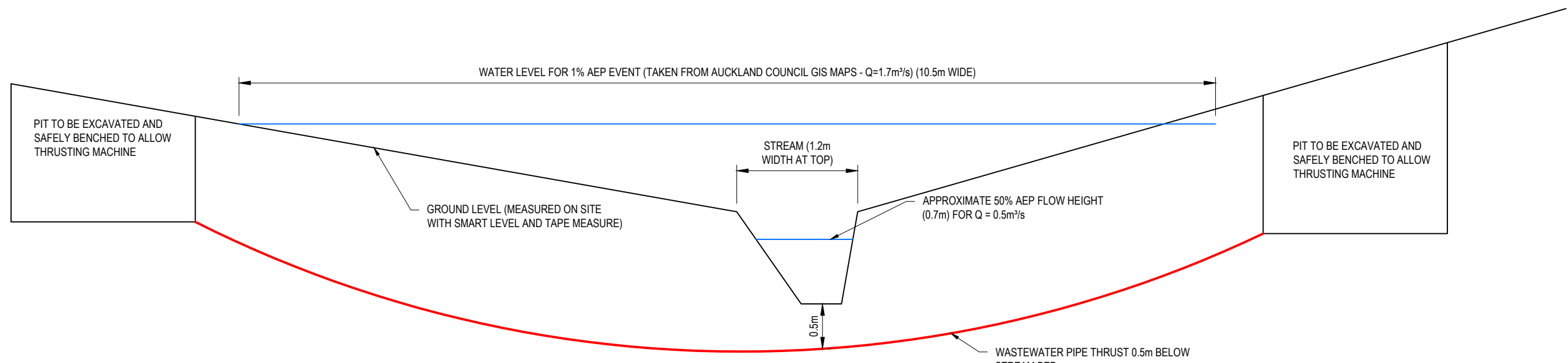
Sheet No. 10 of 13

RC no.

RESOURCE CONSENT



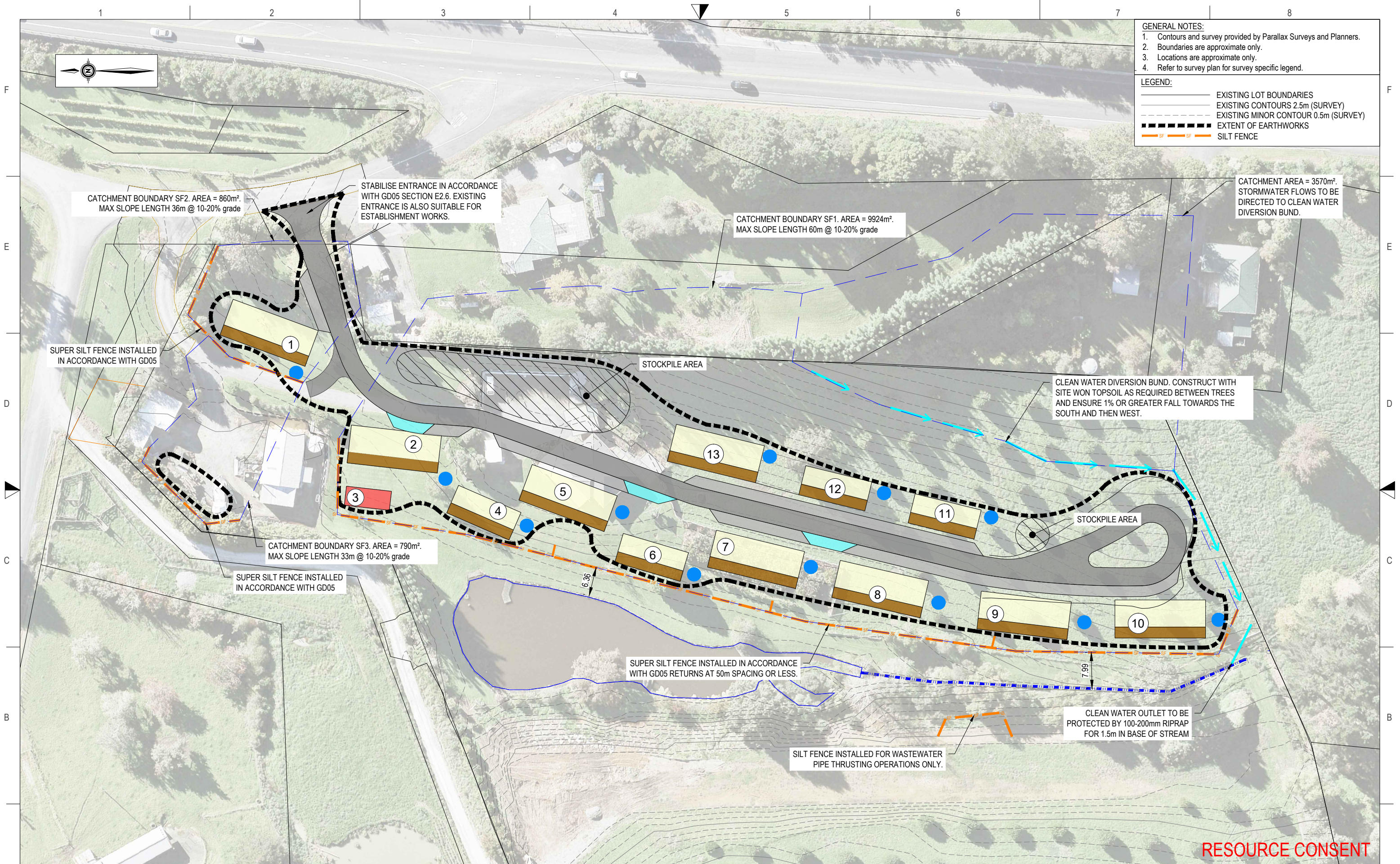
TYPICAL BAILEYS 30,000 LITRE WATER STORAGE AND ATTENUATION DETAIL



WASTEWATER PIPE SECTION BELOW STREAM BED

RESOURCE CONSENT

<table border="1"> <thead> <tr> <th>Rev</th> <th>Date</th> <th>Description</th> <th>By</th> <th>Checked</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>27/05/2025</td> <td>1st ISSUE</td> <td>AS</td> <td>JB</td> </tr> <tr> <td>B</td> <td>13/06/2025</td> <td>RESOURCE CONSENT</td> <td>AS</td> <td>BR</td> </tr> <tr> <td>C</td> <td>28/08/2025</td> <td>RPI RESPONSE</td> <td>BR</td> <td>JB</td> </tr> <tr> <td>D</td> <td>29/10/2025</td> <td>UPDATED FOR RPI</td> <td>BR</td> <td>JB</td> </tr> </tbody> </table>		Rev	Date	Description	By	Checked	A	27/05/2025	1st ISSUE	AS	JB	B	13/06/2025	RESOURCE CONSENT	AS	BR	C	28/08/2025	RPI RESPONSE	BR	JB	D	29/10/2025	UPDATED FOR RPI	BR	JB	<p>DWG STORMWATER AND WASTEWATER DETAILS</p> <p>A3 SCALE Not to Scale</p> <p>Drawn AS Checked BR Approved JB</p> <p>Date 27/05/2025</p> <p>File T:\CLIENTS\POHUEHUE COMMUNITY HOUSING LIMITED\25 050 - 1695 POHUEHUE ROAD, POHUEHUE\ENGINEERING\DRAWINGS\25_050_1695 POHUEHUE ROAD_EARTHWORKS.DWG</p>		<p>HAIGH WORKMAN Civil & Structural Engineers</p> <p>6 Fairway Drive Kerikeri, BOI</p> <p>T: 09 407 8327 F: 09 407 8378 E: info@haighworkman.co.nz</p> <p><small>DIMENSIONS MUST NOT BE SCALE MEASURED FROM THESE DRAWINGS. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS INCLUDING, SITE LEVELS, HEIGHTS AND ANGLES ON SITE PRIOR TO COMMENCING ANY WORK. THE COPYRIGHT TO THESE DRAWINGS AND ALL PARTS THEREOF REMAIN THE PROPERTY OF HAIGH WORKMAN LTD. ©2020</small></p>		<p>Project 1695 Pohuehue Road Lot 1 DP 100471</p> <p>Client Pohuehue Community Housing Ltd</p> <p>Project No. 25 050</p> <p>RC no.</p>		<p>Stage</p> <p>Dwg No. W-02</p> <p>Sheet No. 11 of 13</p>	
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- GENERAL NOTES:**
1. Contours and survey provided by Parallax Surveys and Planners.
 2. Boundaries are approximate only.
 3. Locations are approximate only.
 4. Refer to survey plan for survey specific legend.
- LEGEND:**
- EXISTING LOT BOUNDARIES
 - EXISTING CONTOURS 2.5m (SURVEY)
 - EXISTING MINOR CONTOUR 0.5m (SURVEY)
 - EXTENT OF EARTHWORKS
 - SILT FENCE

RESOURCE CONSENT

Rev	Date	Description	By	Checked
A	21/08/2025	RESOURCE CONSENT	-BR	-JB
B	29/10/2025	Updated for RFI	BR	JB

DWG Erosion and Sediment Control Plan

A3 SCALE 1:750

0 15m 37.5m

Date 21/08/2025

Drawn BR Checked BR Approved JB

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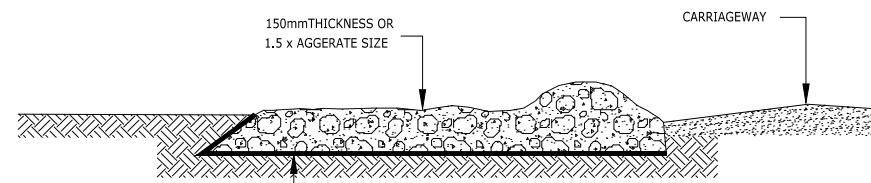
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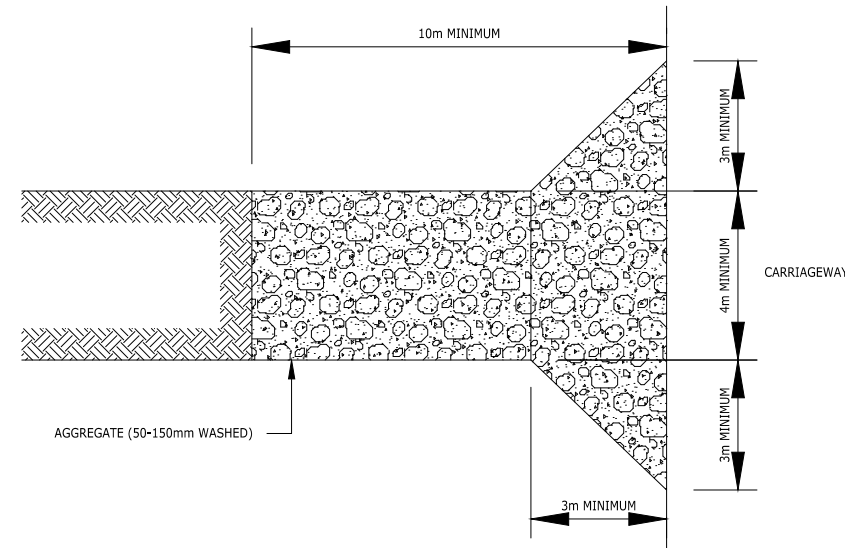
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Project	1695 Pohuehue Road Lot 1 DP 100471	Stage	
Client	Pohuehue Community Housing Ltd	Dwg No.	ESCP-01
Project No.	25 050	RC no.	
		Sheet No.	13 of 13



SIDE ELEVATION



PLAN VIEW

STABILISED CONSTRUCTION ENTRANCE

STABILISED CONSTRUCTION ENTRANCE - SPECIFICATIONS:

APPLICATION

USE A STABILISED CONSTRUCTION ENTRANCE AT ALL POINTS OF CONSTRUCTION SITE INGRESS AND EGRESS WITH A CONSTRUCTION PLAN LIMITING TRAFFIC TO THESE ENTRANCES ONLY.

DESIGN:

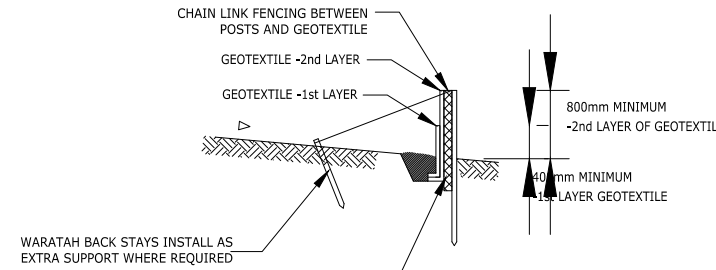
1. CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS AND OTHER UNSUITABLE MATERIAL AND PROPERLY GRADE IT.
2. LAY WOVEN GEOTEXTILE; PIN DOWN EDGES AND OVERLAP JOINS;
3. PROVIDE DRAINAGE TO CARRY RUNOFF FROM THE STABILISED CONSTRUCTION ENTRANCE TO A SEDIMENT CONTROL MEASURE.
4. PLACE AGGREGATE TO THE SPECIFICATIONS BELOW AND SMOOTH IT.

STABILISED CONSTRUCTION ENTRANCE AGGREGATE SPECIFICATIONS:

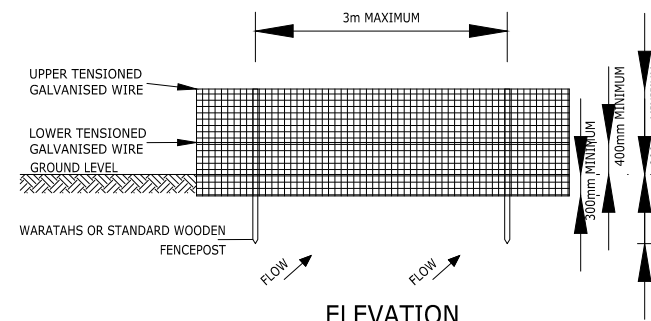
AGGREGATE SIZE	50-150mm WASHED AGGREGATE
THICKNESS	150mm MINIMUM OR 1.5 x AGGREGATE SIZE
LENGTH	10m MINIMUM LENGTH RECOMMENDED
WIDTH	4m MINIMUM

MAINTENANCE

1. MAINTAIN THE STABILISED CONSTRUCTION ENTRANCE IN A CONDITION TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. AFTER EACH RAINFALL INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT FROM THE STABILISED CONSTRUCTION ENTRANCE AND CLEAN OUT AS NECESSARY.
2. WHEN WHEEL WASHING IS ALSO REQUIRED, ENSURE THIS IS DONE ON AN AREA STABILISED WITH AGGREGATE WHICH DRAINS TO AN APPROVED SEDIMENT RETENTION FACILITY.

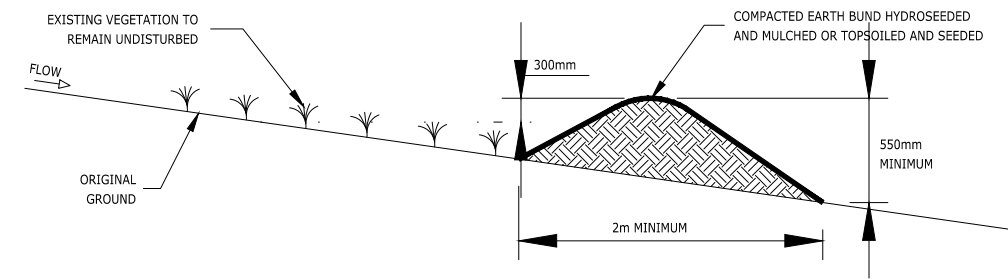


CROSS SECTION



ELEVATION

SUPER SILT FENCE CONSTRUCTION



CLEANWATER RUNOFF DIVERSION BUND - CROSS SECTION (1)

GENERAL NOTES:

STABILISED ENTRANCE.
THERE IS EXISTING ACCESS TO THE SITE FROM VALERIE CLOSE. THE EXISTING ENTRANCE IS SUITABLE AS A STABILISED ENTRANCE DURING CONSTRUCTION AND THE NEW ACCESS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ESCP AND GD05 IF IT IS TO BE USED AS CONSTRUCTION TRAFFIC.

SURFACE ROUGHENING.
CUT AND FILL BATTER SLOPES SHOULD BE ROUGHENED BY TRACK ROLLING AS SPECIFIED IN GD05

TOPSOILING AND GRASS SEEDING.
THE CLEAN WATER DIVERSION BUND SHALL BE MULCHED DURING AFTER PLACEMENT. ANY OPEN AREAS SHALL BE TOPSOILED AND RE-GRASSED AS SOON AS PRACTICABLE FOLLOWING COMPLETION OF EARTHWORKS.

MAINTENANCE.
SILT CONTROLS (SILT FENCES) SHALL BE CHECKED ON A REGULAR BASIS AND IMMEDIATELY PRIOR TO AND FORECAST FOR RAIN. MAINTENANCE SHALL BE CARRIED OUT AS NECESSARY AND ANY BUILD-UP OF SILT REMOVED FOLLOWING RAIN EVENTS.

HEAVY OR PROLONGED RAINFALL.
WHERE HEAVY RAIN IS FORECAST, THE SITE WILL BE STABILISED AS MUCH AS PRACTICABLE AND SEDIMENT CONTROL MEASURES CHECKED TO ENSURE THEY ARE IN CORRECT WORKING CONDITION. EARTHWORKS OPERATIONS WILL CEASE DURING HEAVY OR PROLONGED RAINFALL EVENTS. PRIOR TO WORK RESUMING, ALL SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED AS NECESSARY

RESOURCE CONSENT

Rev	Date	Description	By	Checked
-A	29/10/2025	RESOURCE CONSENT	-BR	-JB

DWG Erosion and Sediment Control Details

A3 SCALE 1:750

0 15m 37.5m

Date 28/10/2025

Drawn BR Checked JB Approved JB

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Project 1695 Pohuehue Road
Lot 1 DP 100471

Client Pohuehue Community Housing Ltd

Project No. 25 050

RC no.

Stage

Dwg No. ESCP-02

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