

25 June 2025

David Hay
Osborne Hay
PO Box 16
Warkworth 0941

Dear David

1695 POHUEHUE ROAD

Thank you for the information on the social housing project proposed for 1695 Pohuehue Road in Warkworth. As requested, I have considered the noise implications from the project against the relevant provisions of the Auckland Unitary Plan – Operative in Part (AUP).

THE PROJECT

The applicant currently owns 12 relocatable dwellings that provide emergency housing. These are spread across several sites that neighbour 1695 Pohuehue Road. The proposal is to bring these dwellings together and place them, and a manager's office, on 1695 Pohuehue Road. Figure 1 shows the proposal.

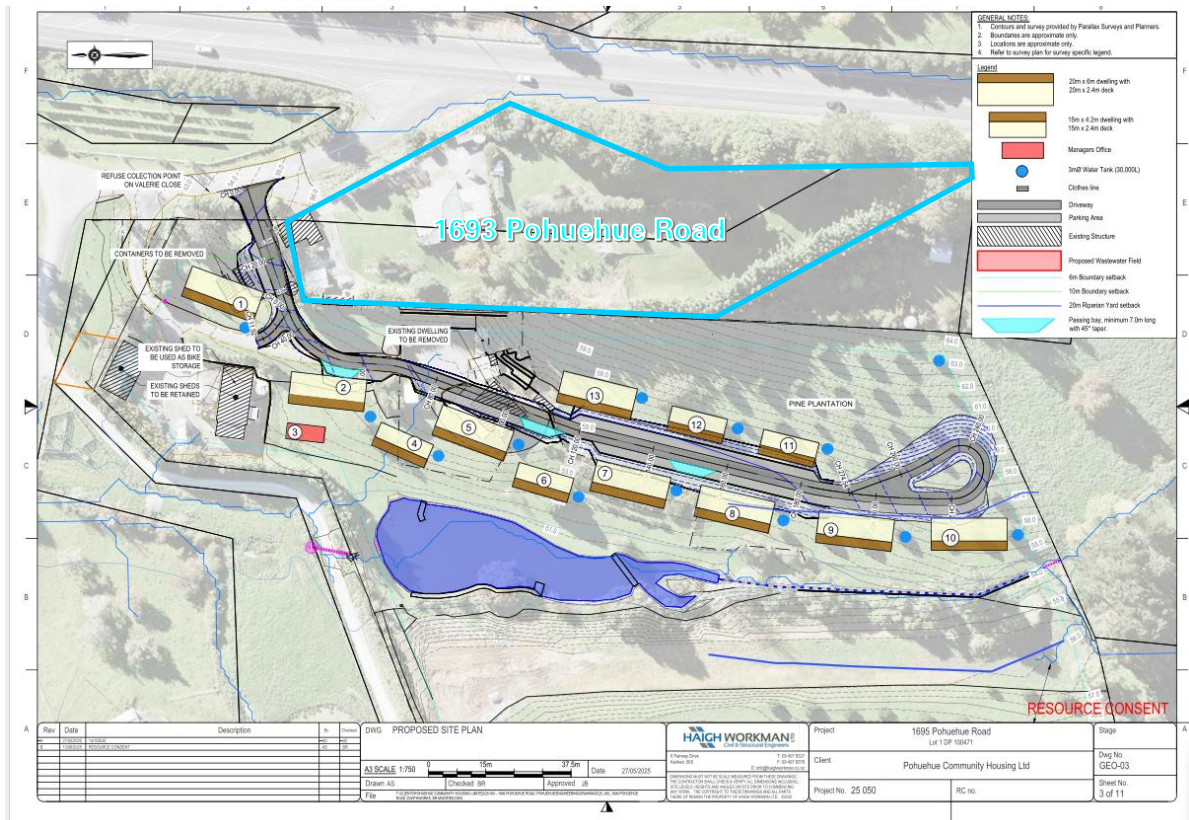


Figure 1. The Proposal

AUCKLAND UNITARY PLAN

1695 Pohuehue Road, and all surrounding sites, are within the Future Urban Zone where Rule E25.6.3 provides the following:

E25.6.3. Noise levels in rural and future urban zones

(1) The noise (rating) level from any activity in the ... Future Urban Zone measured within the notional boundary on any site in any rural zone must not exceed the limits in [the] Table ... below:

<i>Time</i>	<i>Noise Level</i>
<i>Monday to Saturday 7am – 10pm</i>	<i>55dB L_{Aeq}</i>
<i>Sunday 9am – 10pm</i>	
<i>All other times</i>	<i>45dB L_{Aeq}</i> <i>75dB L_{AFmax}</i>

The notional boundary is defined as a line 20m from any side of a building containing an activity sensitive to noise, or the legal boundary where this is closer to the building.

NOISE ASSESSMENT

The proposal is residential in nature, providing nothing further than 12 houses and an office. On this basis, and observations made during a visit to the sites of the existing houses, it is reasonable to conclude that the proposed activities will be consistent with those found in the residential zone, as will the resulting noise levels. As the residential zone noise rule (E25.6.2) provides limits that are 5dB below those of the Future Urban Zone (Table 1), it can be concluded that noise from the proposal will comply with the noise limits of the Future Urban Zone noise rule with a factor of safety.

To provide an additional factor of safety to this assessment, the majority of the proposed dwellings will be well removed (approximately 40m) from the boundary with the closest neighbour, 1693 Pohuehue Road, to the east (Figure 1).

Based on the above, it is reasonable to conclude that noise from the proposed activity can comply with not only the noise limits of the existing Future Urban Zone (E25.6.3), but also the lower levels of the Residential Zone, should the area be zoned as such at some point in the future.

Should you have any questions regarding the above, please do not hesitate to contact me.

Yours sincerely
Hegley Acoustic Consultants

Rhys Hegley