

Sarah El Karamany

From: Unitary Plan
Sent: Thursday, 18 August 2022 4:00 pm
To: Unitary Plan
Subject: Unitary Plan Publicly Notified Submission - Plan Change 78 - Suzanne Woodward

Categories: Sarah

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Suzanne Woodward

Organisation name:

Agent's full name: Suzanne Woodward

Email address: s.woodward@auckland.ac.nz

Contact phone number: 0211727269

Postal address:

Meadowbank
Auckland 1072

Submission details

This is a submission to:

Plan change number: Plan Change 78

Plan change name: PC 78: Intensification

My submission relates to

Rule or rules:

Residential intensification in walkable
catchments and the Terrace Housing
and Apartment Buildings Zone

Property address:

Map or maps: Meadowbank

Other provisions:

Existing infrastructure

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

The existing infrastructure is already unable to cope - specifically the primary school capacity, roads, and stormwater

management (the area is already very prone to flooding). The plan does not mention any investment in these critical infrastructure areas to support the proposed level of densification.

I or we seek the following decision by council: Approve the plan change with the amendments I requested | 8.1
Details of amendments: Provide for total stormwater overhaul, provide an additional primary school, and remove all on-street parking from the area. | 8.2
| 8.3

Submission date: 18 August 2022

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission? Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.



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Sarah El Karamany

From: Unitary Plan
Sent: Friday, 19 August 2022 8:16 pm
To: Unitary Plan
Subject: Unitary Plan Publicly Notified Submission - Plan Change 78 - Mark Bekhit
Attachments: Flood Plains in new proposed changes.pdf; Flood Plains Original Auckland Unitary Plan.pdf

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Mark Bekhit

Organisation name:

Agent's full name: Mark Bekhit

Email address: markbekhit@gmail.com

Contact phone number: 02102267444

Postal address:
20 Ayr Street
Parnell
Auckland 1052

Submission details

This is a submission to:

Plan change number: Plan Change 78

Plan change name: PC 78: Intensification

My submission relates to

Rule or rules:
Flood Plain zoning changing without notice or reason
THAB Zoning within the Newmarket Metro Centre
Significant Ecological areas overlay
Regional Maunga viewshafts and height and Building Sensitive areas overlay

Property address: 20 Ayr Street, Parnell, Auckland

Map or maps: Ayr Street SCA - Isthmus A, Survey Area Number 2a (being Isthmus A properties only)

Other provisions:
Zoning
Flood Plains
Significant Ecological areas overlay
Regional Maunga viewshafts and height and Building Sensitive areas overlay

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

- Previous map flood plains did not extend up nearly as high (images attached of flood plains before and after) - this revision is meant to be purely zoning, not changing flood plains which is not justified here. We purchased the property without flood plains reaching the area and would need to claim against Auckland Council if it were to change flood plains to now include this region.

- Similarly, the Significant Ecological areas overlay and Regional Maunga viewshafts and height and Building Sensitive areas overlay both add further new unnecessary council restrictions which are against the intention of the NPS-UD and MDRS rules in facilitating further inland development, and seem to be actively antagonising the government intentions with new compensatory overlays.

- Neighbouring properties 18 and 22 Ayr Street should also be THAB zone, given houses on both sides are THAB and it doesn't make sense to have an isolated non-THAB zone in-between. It is well within the Newmarket metro area walkable criteria, and should be THAB too.

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: Requesting amending the flood plains to reflect the prior unitary plan map - which is otherwise disadvantaging newly implemented THAB zoning.

Submission date: 19 August 2022

Supporting documents

Flood Plains in new proposed changes.pdf

Flood Plains Original Auckland Unitary Plan.pdf

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission? Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

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☒ Stormwater Network

☒ Stormwater Network

☒ Stormwater - Asset (Public)

☒ Catchments And Hydrology

☒ Rivers and Permanent Streams

☒ Overland Flow Paths

☒ Stormwater Management Plans

☒ Flood Prone Areas

☒ Flood Sensitive Area

☒ Flood Plains

☒ Stormwater Catchments

☒ Groundwater

☒ Local Electoral Boundaries

☒ Bylaws

☒ Development Contributions

☒ Development Restrictions

☒ Locally Approved Products Policy

☒ Rural Fire

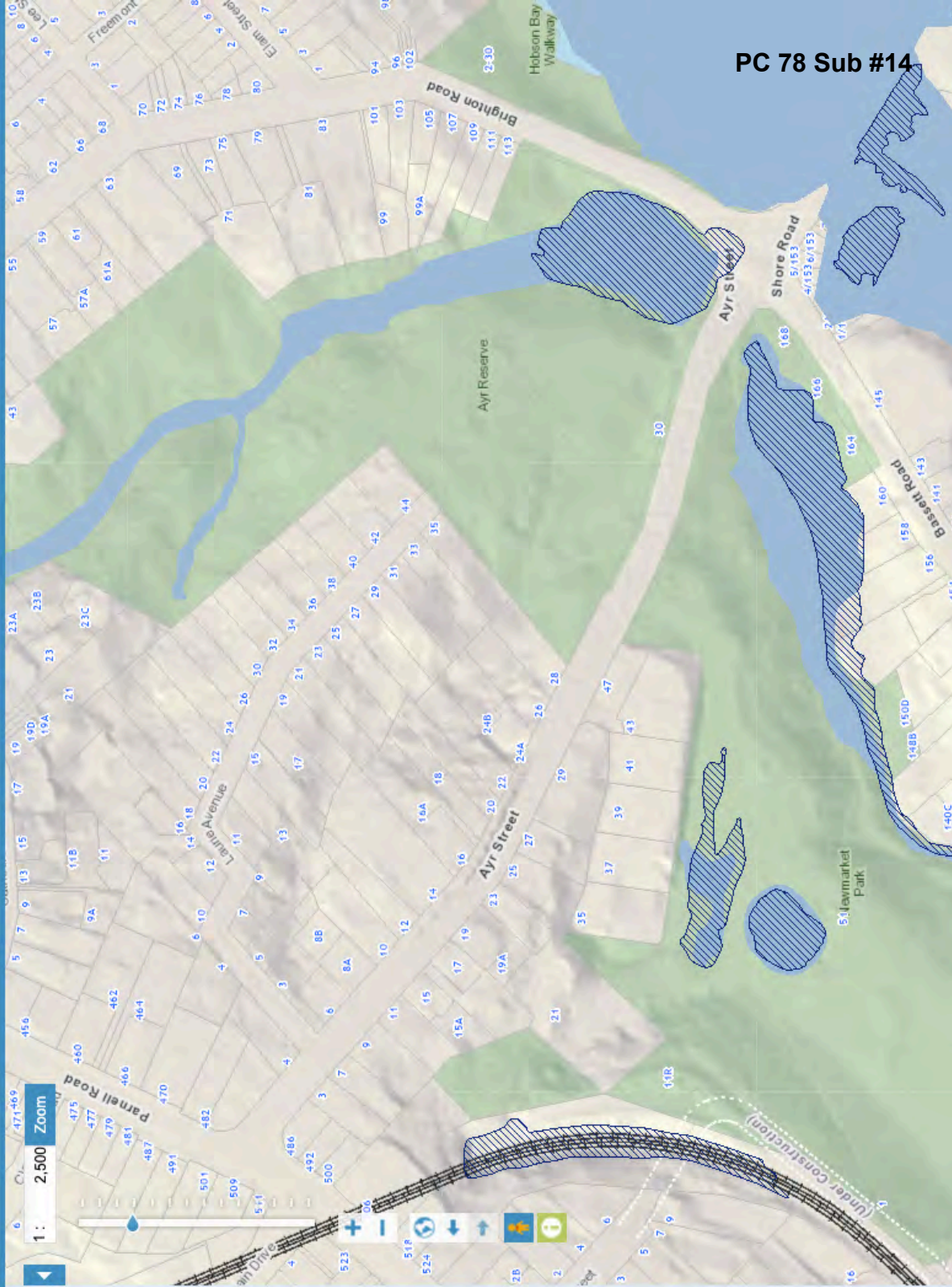
☒ Statutory Boundaries

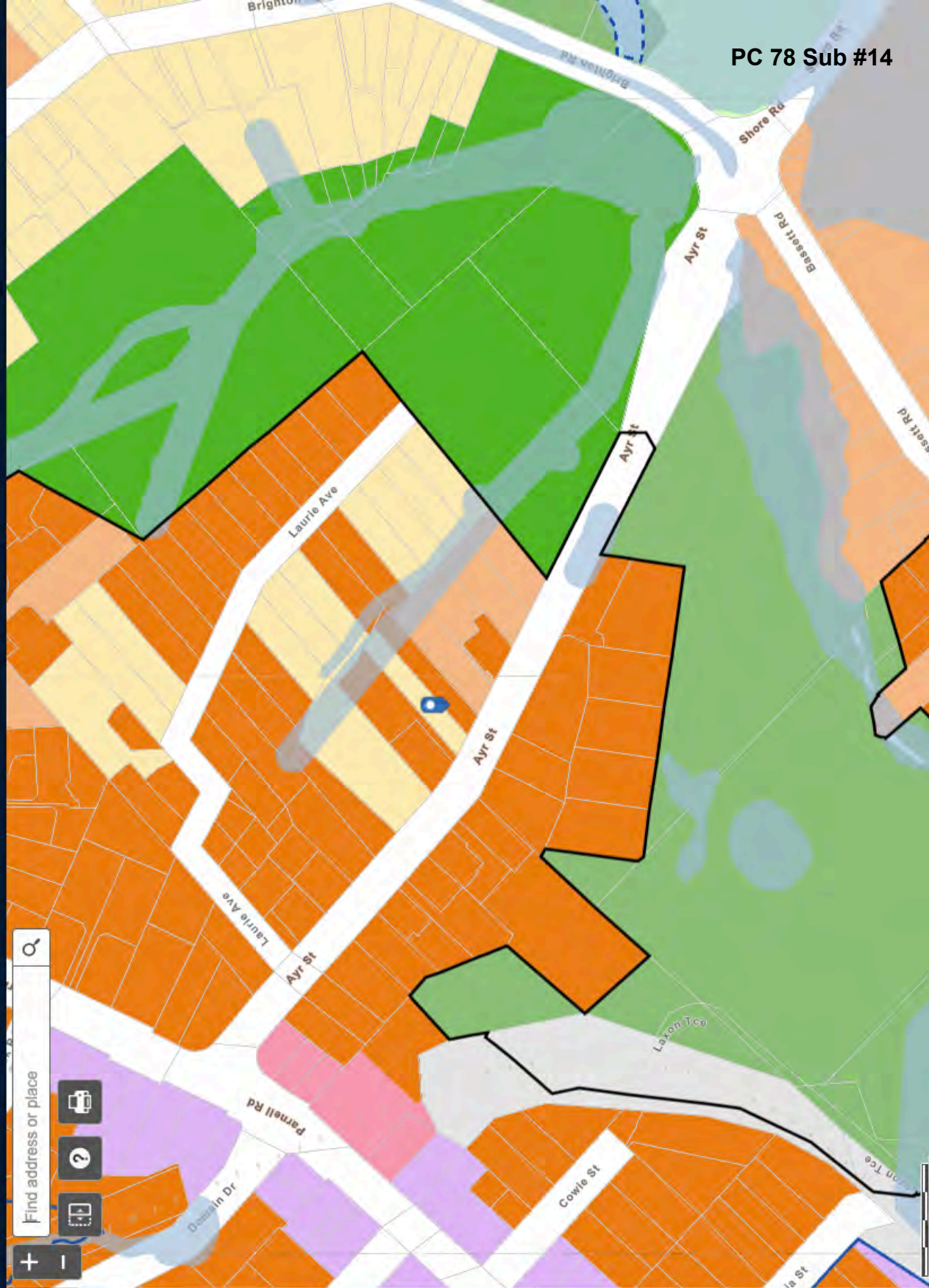
☒ Address

☒ Colours

☒ Landbase

☒ Basemap





Locally identified Qualifying Matters

☐ Auckland War Memorial Museum Viewshaft Overlay

☐ Historic Heritage Place Overlay

☐ Notable Trees Overlay

☐ Notable Group of Trees Overlay

☐ Precincts

☐ Aircraft Noise Overlay

☐ Coastal Erosion (i)

☐ Coastal Inundation (i)

Planning and Management layers

☐ RTN Stops

☐ Walkable Catchment

☐ Policy 3d - Rezoning around Centre zones

☐ Height Variation Control

☐ Proposed PC 78 zoning

☐ Unitary Plan Zones - Operative in Part (16 Nov 2016)

Sarah El Karamany

From: Unitary Plan
Sent: Saturday, 20 August 2022 1:01 pm
To: Unitary Plan
Subject: Unitary Plan Publicly Notified Submission - Plan Change 78 - Samuel Cormack

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Samuel Cormack

Organisation name:

Agent's full name:

Email address: sam.cormack@gmail.com

Contact phone number:

Postal address:
 9 Caspian Close
 New Lynn
 Auckland 0600

Submission details**This is a submission to:**

Plan change number: Plan Change 78

Plan change name: PC 78: Intensification

My submission relates to

Rule or rules:
 Special character areas as a qualifying matter

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
 Special character areas should not be a qualifying matter allowing restriction of density. It is not consistent with the intent of the NPS UD and it is simply a way for rich people to block new housing in their suburbs.

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: Remove special character areas as a qualifying matter

20.1

Submission date: 20 August 2022

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

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Yes

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Sarah El Karamany

From: Unitary Plan
Sent: Sunday, 21 August 2022 2:01 pm
To: Unitary Plan
Subject: Unitary Plan Publicly Notified Submission - Plan Change 78 - Geoffrey William John Hinds

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Geoffrey William John Hinds

Organisation name:

Agent's full name: Geoffrey William John Hinds

Email address: geowill4@gmail.com

Contact phone number:

Postal address:
12/24 Sherbourne Rd
Mt Eden
Auckland 1024

Submission details

This is a submission to:

Plan change number: Plan Change 78

Plan change name: PC 78: Intensification

My submission relates to

Rule or rules:
Intensification

Property address: Around area of Gilgit Rd, Almrah Rd and Almorah lane in the vicinity of Withiel Reserve.

Map or maps:

Other provisions:
These private properties contain remnants of lava/rock forest of ancient native trees.

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
While I support intensification in principle I believe that mature native trees on private property need to be jealously guarded.

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: Any developments on the above-mentioned properties and any other similar properties must ensure the preservation of mature native species.

Submission date: 21 August 2022

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

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No

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Sarah El Karamany

From: Unitary Plan
Sent: Sunday, 21 August 2022 3:31 pm
To: Unitary Plan
Subject: Unitary Plan Publicly Notified Submission - Plan Change 78 - Louise Anne Malone

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Louise Anne Malone

Organisation name:

Agent's full name:

Email address: louisemalone2882@gmail.com

Contact phone number:

Postal address:
5 Fitzroy Street
Ponsonby
Auckland 1021
Auckland
Auckland 1021

Submission details

This is a submission to:

Plan change number: Plan Change 78

Plan change name: PC 78: Intensification

My submission relates to

Rule or rules:
Qualifying matters:
Special character area overlay residential and business (retained).
Infrastructure - combined wastewater network control.

Property address: 5 Fitzroy Street, Ponsonby, Auckland 1021

Map or maps: The above address and others within the Auckland city walkable catchment, that have qualifying matters (special character and combined wastewater network control) identified.

Other provisions:

Do you support or oppose the provisions you have specified? I or we support the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:

Special character: The Council's argument about older areas being built around old transport networks is an excellent one. Auckland has not been known for its preservation of historic buildings over the years - we've already lost a lot.

Please let's keep the historic character of suburbs where there are still reasonable areas of well-preserved buildings, trees and gardens. Character isn't just a sentimental notion - an optional extra, it's an important part of our sense of place and feeling of belonging to our city. Citizens connected to the city in this way will derive enjoyment from living here, they will care for the city and each other more than if housing is treated in a totally utilitarian way. Attractive areas with trees and older buildings are an important part of our emotional attachment to our city, and our daily emotional wellbeing.

31.1

I trust that the Council has preserved as much as possible with this proposal, given the rules the Government is imposing. It's sad that we can't retain more character areas, but I presume the position laid out is one that may persuade the Government to give us a break and retain some of the character of our city.

Combined wastewater: I absolutely support the Council's position on this. Our neighbourhood has a Victorian sewer system - at the moment we have workmen trying to repair a leaking connection. Our beaches are unswimmable when it rains because stormwater is not yet separated from sewerage. The Council has been working hard to fix this problem but it takes time and resources. The Government has shown very little understanding of such issues and is being extremely shortsighted in not taking these matters into account. I feel very angry that the Government has used such a blunt instrument in their bid to build more houses, especially when many people have been working towards solutions to the fact that NZ's (and especially Auckland's) population has increased so dramatically in recent years.

31.2

I or we seek the following decision by council: Approve the plan change without any amendments

Details of amendments:

Submission date: 21 August 2022

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

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Sarah El Karamany

From: Unitary Plan
Sent: Sunday, 21 August 2022 4:16 pm
To: Unitary Plan
Subject: Unitary Plan Publicly Notified Submission - Plan Change 78 - Abbie Reynolds

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Abbie Reynolds

Organisation name:

Agent's full name: Abbie Reynolds

Email address: abbie_reynolds@yahoo.co.uk

Contact phone number:

Postal address:

Auckland
Auckland 1011

Submission details

This is a submission to:

Plan change number: Plan Change 78

Plan change name: PC 78: Intensification

My submission relates to

Rule or rules:
THAB and walkable catchment rules

Property address: 3 Ireland Street, Freemans Bay, Auckland

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we support the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:

We are in a climate crisis and a housing crisis. We need additional land for housing to ensure everyone has an access to somewhere decent to live. But we will not meet Auckland's ambitious climate change reduction targets, and do our share of keeping warming below 1.5 degrees, if housing developments are at the city fringe. When located at the fringe, people living there are forced to travel much greater distances than those located more centrally, and typically this happens in internal combustion vehicles, creating fossil fuel greenhouse gas emissions. By encouraging development in walkable catchments or those well served by public transport we make it much easier for more Aucklanders to live and travel without a car, and keep the costs of reducing our emissions to an affordable level.

Densification also allows us to start moving towards a 15 minute city.

Although I very much appreciate the special character of Freemans Bay and surrounds, it is insufficient to justify continuing to restrict development in this neighbourhood. | 37.2

Please note I do not support the submission of the Freemans Bay Residents Association.

I or we seek the following decision by council: Approve the plan change without any amendments | 37.1

Details of amendments:

Submission date: 21 August 2022

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

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No

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Sarah El Karamany

From: Unitary Plan
Sent: Saturday, 20 August 2022 1:31 am
To: Unitary Plan
Subject: Unitary Plan Publicly Notified Submission - Plan Change 78 - Joo Shin Shu and Vanaja K Durairajah

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Joo Shin Shu and Vanaja K Durairajah

Organisation name:

Agent's full name:

Email address: drarulmy@yahoo.com.sg

Contact phone number:

Postal address:

Submission details**This is a submission to:**

Plan change number: Plan Change 78

Plan change name: PC 78: Intensification

My submission relates to

Rule or rules:
 Spatially identified Qualifying matters
 Flood plains(i)

Property address: 89 West Harbour Drive ,West Harbour, Auckland 0618

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
 The property is not located within the flood plain on the geomap. Therefore flood plain should not be a spatially identified qualifying matter

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: Please remove flood plains as a spatially identified qualifying matter for the property

41.1

Submission date: 20 August 2022

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

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- Does not relate to trade competition or the effects of trade competition.

No

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Sarah El Karamany

From: Unitary Plan
Sent: Monday, 22 August 2022 8:31 pm
To: Unitary Plan
Subject: Unitary Plan Publicly Notified Submission - Plan Change 78 - Amber Johnston
Attachments: 1661156283944483.pdf

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Amber Johnston

Organisation name:

Agent's full name:

Email address: amber.kroon@gmail.com

Contact phone number: 021627764

Postal address:
221 Garnet Rd
Westmere
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 78

Plan change name: PC 78: Intensification

My submission relates to

Rule or rules:
Coastal Hazards pls

Property address: 221 Garnet Rd

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

We would like to subdivide our property as soon as possible. We have a shared access way to the water which will cannot be built on and is the most affected by potential future coastal erosion. The main site we plan to subdivide shows coastal erosion only from 2130. Whilst I see benefits for limiting building with erosion within the near future, Modelling is not accurate enough to prevent us from maximising our site today. Surely it would be a qualifying matter for insurers in the future rather than building today. Furthermore the erosion only affects the rear corner of our building site and therefore our two dwellings we currently have concept plans for will be unaffected by such erosions. I seek to

have the coastal plan abolished and left to insurers to consider or at the very least amended to allow exemption of homes affected over 50yrs from 2030 provided they can show a favourable geotech report or similar with regard to the stability of the site.

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

68.1

Details of amendments: Either disregard erosion for sites only showing predictions after 2080 or allow based on supporting geotech reports regarding stability of building site.

Submission date: 22 August 2022

Supporting documents
1661156283944483.pdf

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission? Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

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Sarah El Karamany

From: Unitary Plan
Sent: Tuesday, 23 August 2022 11:00 pm
To: Unitary Plan
Subject: Unitary Plan Publicly Notified Submission - Plan Change 78 - Jeffery Liu
Attachments: Fairview - approved plan.pdf

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Jeffery Liu

Organisation name:

Agent's full name:

Email address: jefferyran7@gmail.com

Contact phone number:

Postal address:

Albany
Auckland 0632

Submission details

This is a submission to:

Plan change number: Plan Change 78

Plan change name: PC 78: Intensification

My submission relates to

Rule or rules:
Low Density Residential Zone

Property address: 6 Mcmenamin Place Fairview heights

Map or maps:

Other provisions:
Qualifying Matter -Flood Plains

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

6 Mcmenamin Place has been subdivide into 16 vacant lots , construction already finished and tittle to be released by later this year.The proposed earthworks and stormwater infrastructure has appropriately removed the overland flow paths and manage the location of the overland flows to along lot boundaries only.The site entry points along the western site boundary remain the same but the exit location of two of the overland flow paths move their position top elsewhere along the eastern site boundary. The exit points continue to be to the adjoining drainage reserve and there

are not expected to be any downstream affects as a result of the new exit points. Overall, it is therefore considered that there would be no adverse effects arising from the altered overland flow paths or the location of areas subject to flooding, which will be located away from the proposed building platform areas. I suggest council consider the earthworks recontouring of this site after the subdivision construction. Based on the approved RC plan most of the lots are away from the 100yr flood extend. As the site already been subdivided and each individual lot won't have the flooding issues , the identified qualifying matters - flood plains should be removed after the subdivision. The zoning of 6 Mcmenamin Place should be changed to Mixed housing urban and align with the surrounding urban environment in fairview heights albany

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: change the zoning of 6 Mcmenamin Place to Mixed Housing Urban zone and remove the qualifying matters - flood plains from this site

83.1

83.2

Submission date: 23 August 2022

Supporting documents
Fairview - approved plan.pdf

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

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• CRITICAL LEVELS SHOULD BE CHECKED ON SITE PRIOR TO DESIGN. THE LEVELS SHOWN ON THIS PLAN MAY NOT CORRESPOND TO THE COUNCIL'S DEFINITION OF GROUND LEVEL FOR DESIGN PURPOSES.
• CONTOURS SHOWN ON THIS PLAN HAVE BEEN ELECTRONICALLY COMPUTED, THEY MAY NOT REPRESENT THE TRUE GROUND LEVELS.
• THE SIZE AND POSITION OF TREES SHOWN ON THIS PLAN IS APPROXIMATE. THE TREE 'TYPE' IS A BEST GUESS. IF CRITICAL, TREES SHOULD BE IDENTIFIED BY A QUALIFIED ARBORIST.
• AREAS AND MEASUREMENTS ARE APPROXIMATE ONLY AND SUBJECT TO FINAL SURVEY.

**SCHEME
ASSESSMENT**

BUN60332463

Approved Resource Consent Plan

17/07/2020

LEGEND

LOT BOUNDARIES	
ROAD BOUNDARIES	
ABUTTAL BOUNDARIES	
EASEMENT BOUNDARIES	
MAJOR CONTOURS (1m INTERVAL)	
MINOR CONTOURS (0.2m INTERVAL)	
MEASUREMENTS (METRES)	
EXISTING BUILDINGS (EXTERIOR CLADDING)	
BUILDING EAVES (TOP OF GUTTER)	
EDGE OF CONCRETE	
FENCES	
WASTE WATER LINE	
STORM WATER LINE	
OVERHEAD POWER LINE	
TREES	
TRUNK SURVEYED, DRIPLINE ESTIMATED	
SURVEYED DRIPLINE & TRUNK	
HEDGE	

envivo
ENGINEERING SURVEYING PLANNING

envivo ltd po box 109 207 newmarket auckland 1149
+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

REV	BY	DATE	APP'D	REVISION/ COMMENTS
P2	SC	12/09/18	JH	SMALL LOT SIZES
P3	SC	16/11/18	TT	LOT SIZES
P4	JDP	17/12/18	SC	UPDATED LOT SIZES
P5	SC	24/06/19	BK	RIPARIAN MARGIN
P6	AS	10/10/19	TT	ESPLANADE RESERVE
P7	AM	10/06/20	TT	OLFP ADJUSTMENTS

SCHEME PLAN

PROJECT/LOCATION

6 MCMENAMIN PLACE, FAIRVIEW HEIGHTS

LEGAL DESCRIPTION

LOT 66 DP 411252

CERTIFICATE OF TITLE

446922, 1.1089 ha

SURVEYED SC DRAWN JH DESIGNED JH APPROVED JH

DATE DATE DATE DATE

SCALE @A1: @A3 ZONING

1:400; 1:800 RESIDENTIAL-SINGLE HOUSE

PROJECT ORIG ZONE LOC TYPE RL DRG No SUIT REV

30030-SUR-XX-XX-DR-G-130-S2-P7

MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	BURDENED LAND	BENEFITTED LAND
ROW A RIGHT TO; CONVEY TELE-COMMUNICATIONS CONVEY ELECTRICITY CONVEY GAS CONVEY WATER DRAIN SEWAGE DRAIN WATER	(A) (E)	LOT 5 HEREON	LOTS 1-4 HEREON
	(B) (F)	LOT 4 HEREON	LOTS 1-3 HEREON
	(C)	LOT 3 HEREON	LOTS 1 & 2 HEREON
	(D)	LOT 2 HEREON	LOT 1 HEREON
	(L)	LOT 41 HEREON	LOT 7-13 HEREON

MEMORANDUM OF EASEMENTS IN GROSS			
PURPOSE	SHOWN	BURDENED LAND	GRANTEE
OVERLAND FLOWPATH	(E)	LOT 5 HEREON	AUCKLAND COUNCIL
	(F) (G)	LOT 4 HEREON	
	(H)	LOT 10 HEREON	
	(I)	LOT 41 HEREON	
	(J)	LOT 13 HEREON	
	(K)	LOT 14 HEREON	

AMALGAMATION CONDITION

1. That Lot 41 Hereon (Legal access) be held as to 10 one-tenth shares by the owners of Lots 7-16 Hereon as tenants in common in the said shares and that individual computer registers be issued in accordance therewith.

2. That Lot 50 Hereon (Legal access) be held as to 16 one-sixteenth shares by the owners of Lots 7-16 Hereon as tenants in common in the said shares and that individual computer registers be issued in accordance therewith.



NOTES:

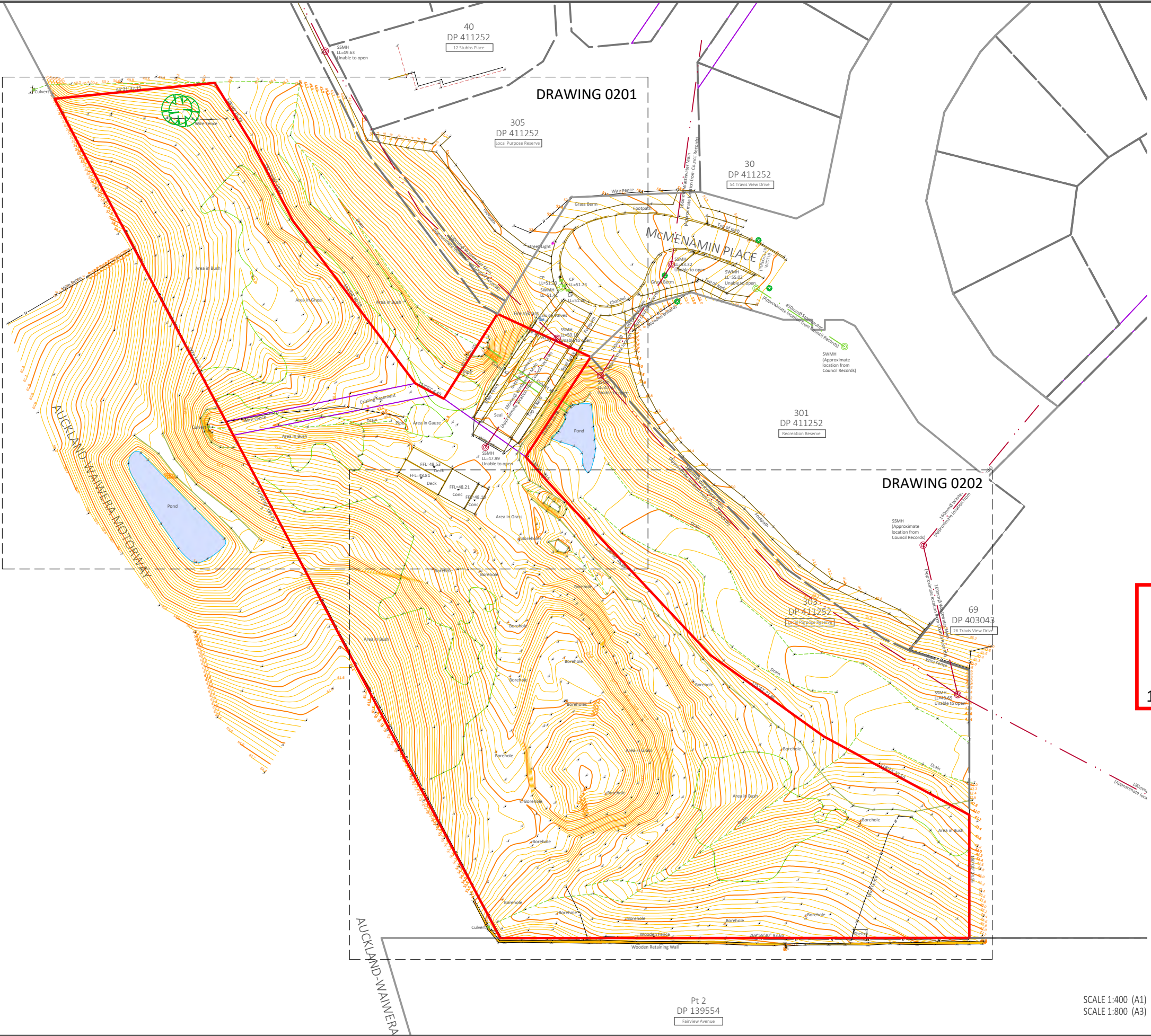
1. UNLESS OTHERWISE STATED, ALL WORK SHALL COMPLY WITH THE BUILDING CODES, AUCKLAND COUNCIL, WATERCARE AND NZS4404 STANDARDS AS APPLICABLE
2. ALL WORKS TO COMPLY WITH THE H&S ACT 2015.
3. REINSTATE ALL OTHER GROUND TO MATCH EXISTING.
4. UPON COMPLETION OF WORKS, THE CONTRACTOR IS TO REMOVE ALL DEBRIS INCLUDING SURPLUS SOIL, TIMBER, CONCRETE AND THE LIKE FROM SITE, LEAVING THE AREA TIDY.
5. CONTRACTOR IS TO OBTAIN EXISTING PUBLIC SERVICES MARKOUT AND PILOT TO LOCATE BOTH PUBLIC AND PRIVATE DEVICES PRIOR TO EXCAVATION.
6. CONTRACTOR MUST TAKE ALL CARE NOT TO DAMAGE EXISTING SERVICES - PUBLIC OR PRIVATE.
7. ALL REPAIRS TO DAMAGE CAUSED BY THE CONTRACT WORKS ARE FOR THE CONTRACTORS EXPENSE AND REPAIRS ARE TO BE ACTIONED IMMEDIATELY.
8. PRIOR TO WORK COMMENCING ONSITE, CONSENT IS REQUIRED FROM VECTOR TO CARRY OUT WORK BELOW OVERHEAD POWERLINES, IN THE VICINITY OF HIGH PRESSURE GAS LINES, FIBRE OPTIC CABLES & OTHER UNDERGROUND SERVICES.
9. PRIOR TO WORK COMMENCING ONSITE, CONSENT IS REQUIRED FROM WATERCARE TO CARRY OUT WORK WITHIN 10 METRES OF WATERCARE PIPELINES.
10. WHERE EVER POSSIBLE THE CONTRACTOR IS TO PROTECT EXISTING TREES AND PLANTS.
11. CONTRACTORS TO ADVISE ENGINEER AT START OF JOB AND PRIOR TO BACKFILL TO ALLOW NECESSARY INSPECTION.
12. NO CERTIFICATIONS FOR "AS BUILT" PLANS OR PAYMENT WILL BE MADE WITHOUT THESE INSPECTIONS TAKING PLACE.
13. THE CONTRACTOR MUST LOCATE ALL SERVICES ON SITE PRIOR TO CONSTRUCTION COMMENCING & CONTACT ALL RESPONSIBLE AGENCIES TO CONFIRM CONSTRUCTION METHODOLOGIES.



BUN60332463

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17/07/2020



SCALE 1:400 (A1)
SCALE 1:800 (A3)



REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
2.0	MA	28/01/20	BK	MINOR AMENDMENT

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CONSENT ISSUE



DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	EXISTING SITE OVERALL PLAN
PROJECT	30030 CIV - 00 XX - DRC - 0200 - PR 2.0
ORIG.	
ZONE	
LOC.	
TYPE	
RL	
DRG No.	
SUIT.	
REV	
SCALE @ A1	1:400
SCALE @ A3	1:800
SHEET	
DATE	

NOTES:

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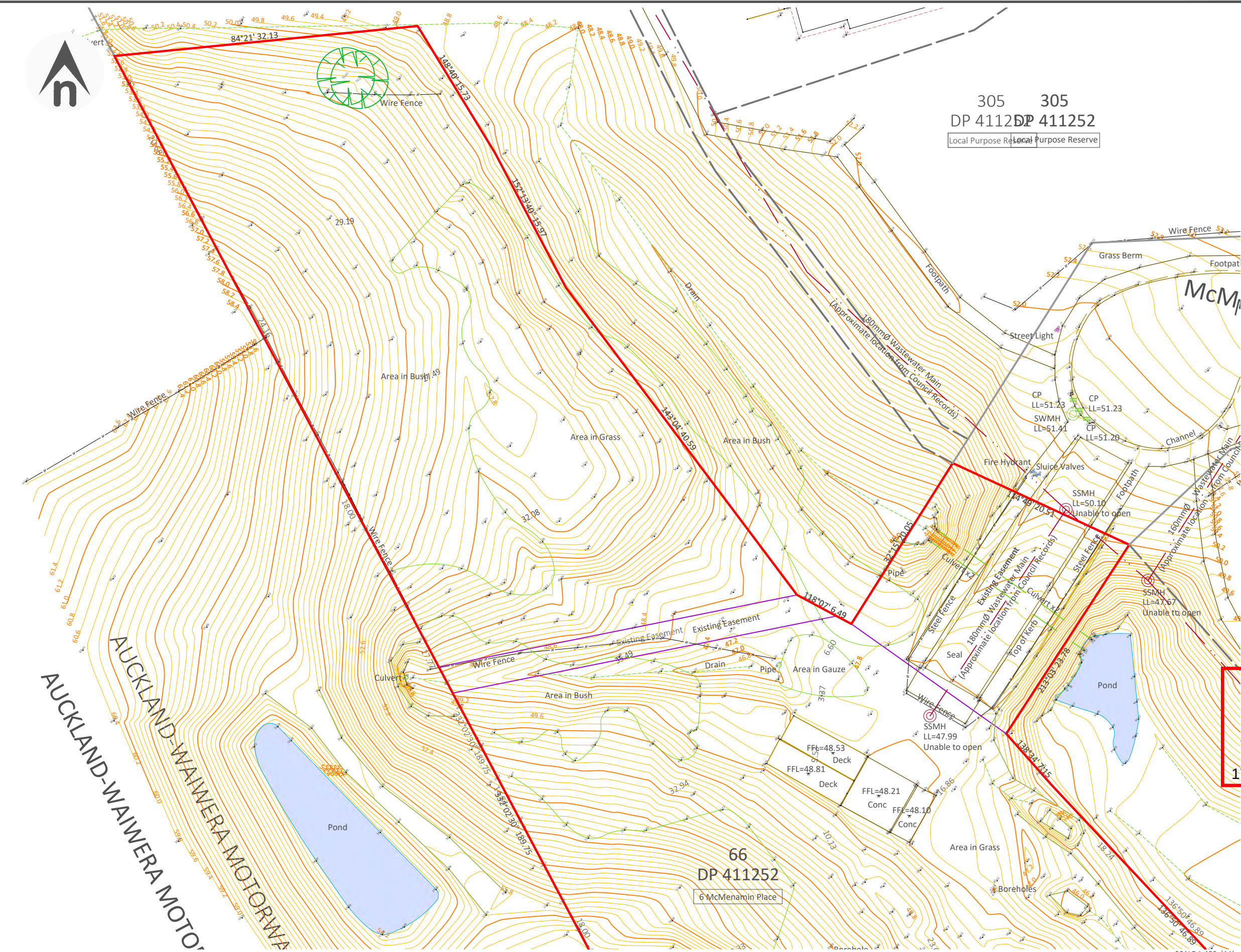
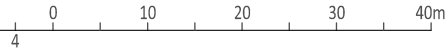


BUN60332463

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17/07/2020

SCALE 1:400 (A1)
SCALE 1:800 (A3)



REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
2.0	MA	28/01/20	BK	MINOR AMENDMENT

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CONSENT ISSUE



DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	EXISTING SITE PLAN SHEET 1 OF 2
PROJECT	30030 CIV - 00 XX - DRC - 0201 - PR 2.0
ORIG.	
ZONE	
LOC.	
TYPE	
RL	
DRG No.	
SUIT.	
REV	
SCALE @ A1	1:400
SCALE @ A3	1:800
SHEET	
DATE	

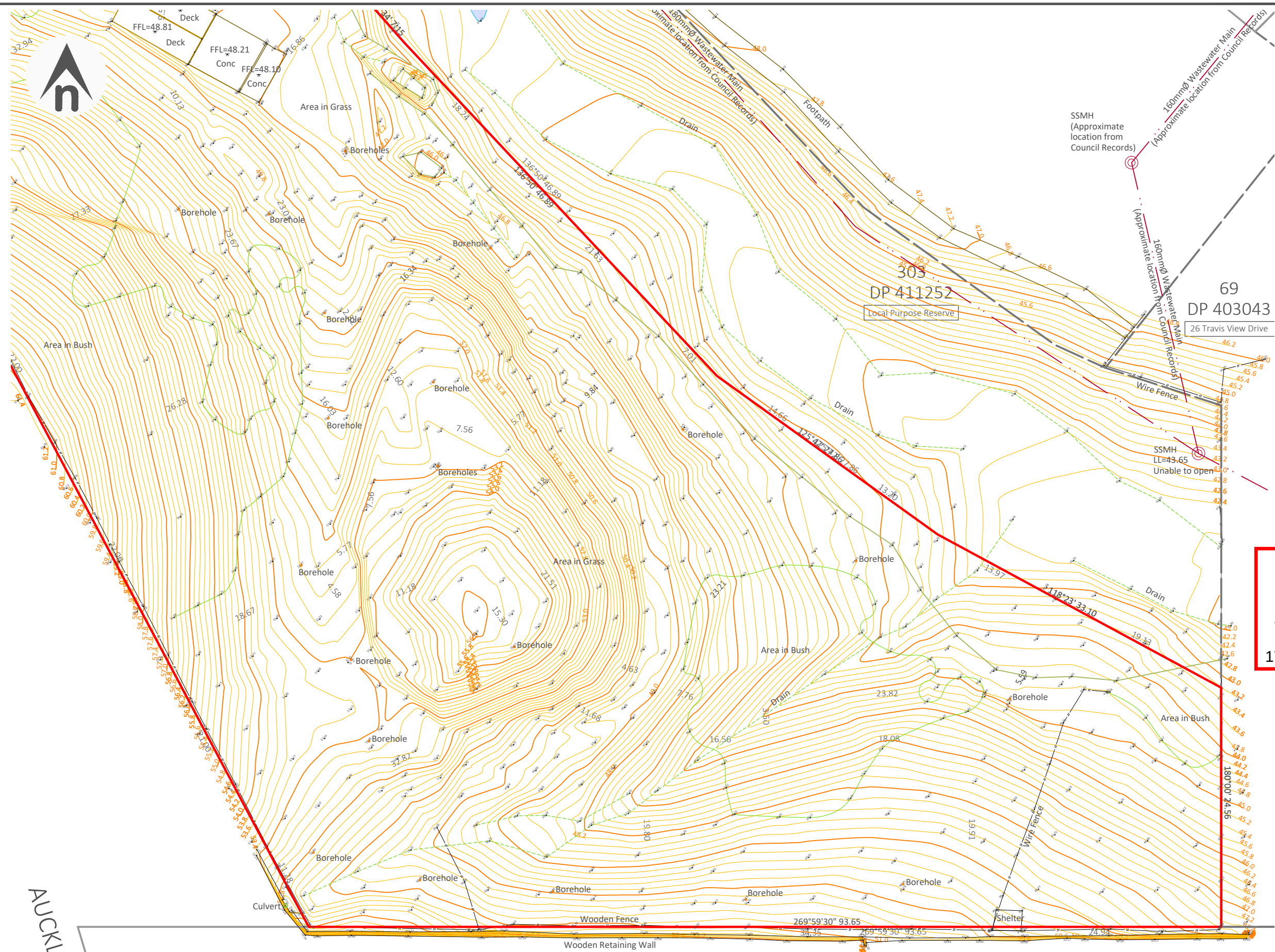
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SCALE 1:400 (A1) 0 10 20 30 40m
SCALE 1:800 (A3) 8 4

[illegible]

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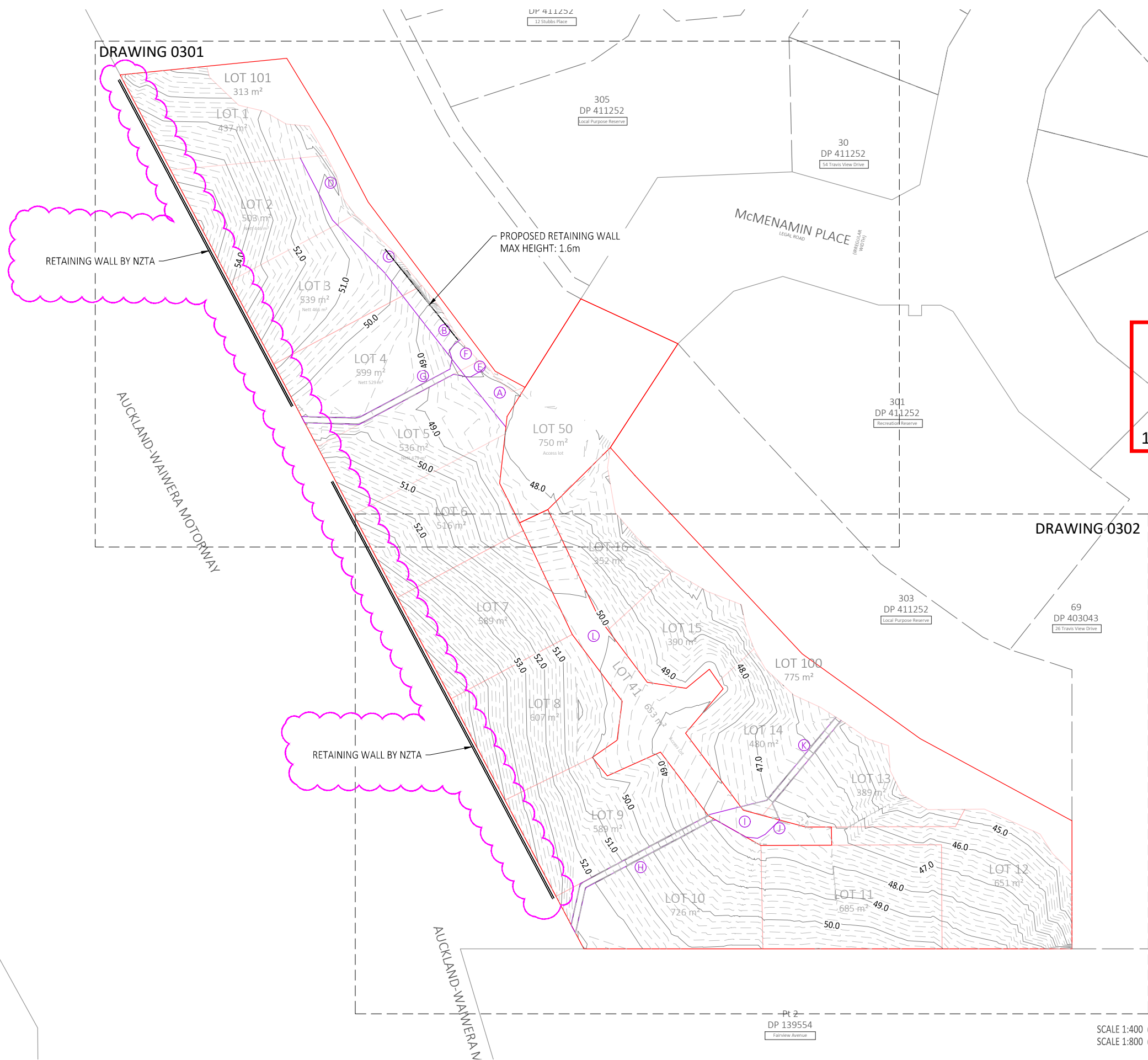


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envivo ltd po box 109 207 newmarket auckland 1149
+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

DRAWN		DRAWING CHECK		PROJECT/LOCATION		TITLE									
JDP		AB		6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND		EXISTING SITE PLAN SHEET 2 OF 2									
DESIGNED		DES. REVIEW													
AM		TT													
REVIEWED		APPROVED		CLIENT		PROJECT ORIG. ZONE LOC. TYPE RL. DRG No. SUIT. REV.									
				FAIRVIEW ESTATE INVESTMENTS		30030 CIV - 00 XX - DRC - 0202 - PR 2.0									
DATE		DATE		CERTIFICATE OF TITLE		ZONING		SCALE @ A1		SCALE @ A2		SHEET NO.		DATE	
17/12/18		17/12/18						1:400		1:400		43			



DRAWING 0301



DRAWING 0302

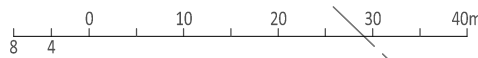


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Approved Resource Consent Plan

17/07/2020

SCALE 1:400 (A1)
SCALE 1:800 (A3)



DATE: 11/06/2020 12:37:05 PM
LOCATION: 6 McMenamin Place, Fairview Heights
LOGIN NAME: ANDRE MENZIES
6 McMenamin Place, Fairview Heights
C:\Users\andrem\OneDrive\Engineering - Civil\DWG\ResConsent\30030 - CIV - DRC - PR - 0300 - 1.0.dwg

REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	AM	11/06/19	CS	UPDATED LEVELS
3.0	MA	28/01/20	BK	UPDATED EARTHWORKS
3.1	AM	18/05/20	MJG	REVISED AS CLOUDED

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DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
TT	MJG	FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV.
FINISHED GROUND LEVEL OVERALL PLAN	30030 CIV - 00 XX - DRC - 0300 - PR								3.1
SCALE @ A1	SCALE @ A3								
1:400	1:800								

Auckland Council
Te Kaurihera o Tāmaki Makaurau

30
DP 411252
54 Travis View Drive

McMENAMIN PLACE
(IRREGULAR WIDTH)
LEGAL ROAD

301
OP 411
Recreation R

AUCKLAND-WAIWERA MOTORI

PROPOSED RETAINING WALL
MAX HEIGHT: 1.6m

RETAINING WALL BY NZTA

[illegible]

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+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

DRAWN		DRAWING CHECK		PROJECT/LOCATION		TITLE																									
JDP		AB		6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND		FINISHED GROUND LEVEL PLAN SHEET 1 OF 2																									
DESIGNED		DES. REVIEW																													
AM		TT																													
REVIEWED		APPROVED		CLIENT		<table><tr><th>PROJECT</th><th>ORIG.</th><th>ZONE</th><th>LOC.</th><th>TYPE</th><th>RL</th><th>DRG NO.</th><th>SUIT.</th><th>REV</th></tr><tr><td>30030</td><td>CIV</td><td>- 00 XX</td><td>- DRC</td><td>-</td><td>0301</td><td>-</td><td>PR</td><td>3.1</td></tr></table>								PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG NO.	SUIT.	REV	30030	CIV	- 00 XX	- DRC	-	0301	-	PR	3.1
PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG NO.	SUIT.	REV																							
30030	CIV	- 00 XX	- DRC	-	0301	-	PR	3.1																							
TT		MJG		FAIRVIEW ESTATE INVESTMENTS																											
DATE		DATE		CERTIFICATE OF TITLE		ZONING		SCALE @ A1		SCALE @ A3		SHEET NO.		DATE																	
17/12/18		17/12/18						1:200		1:100																					

Page 8 of 43

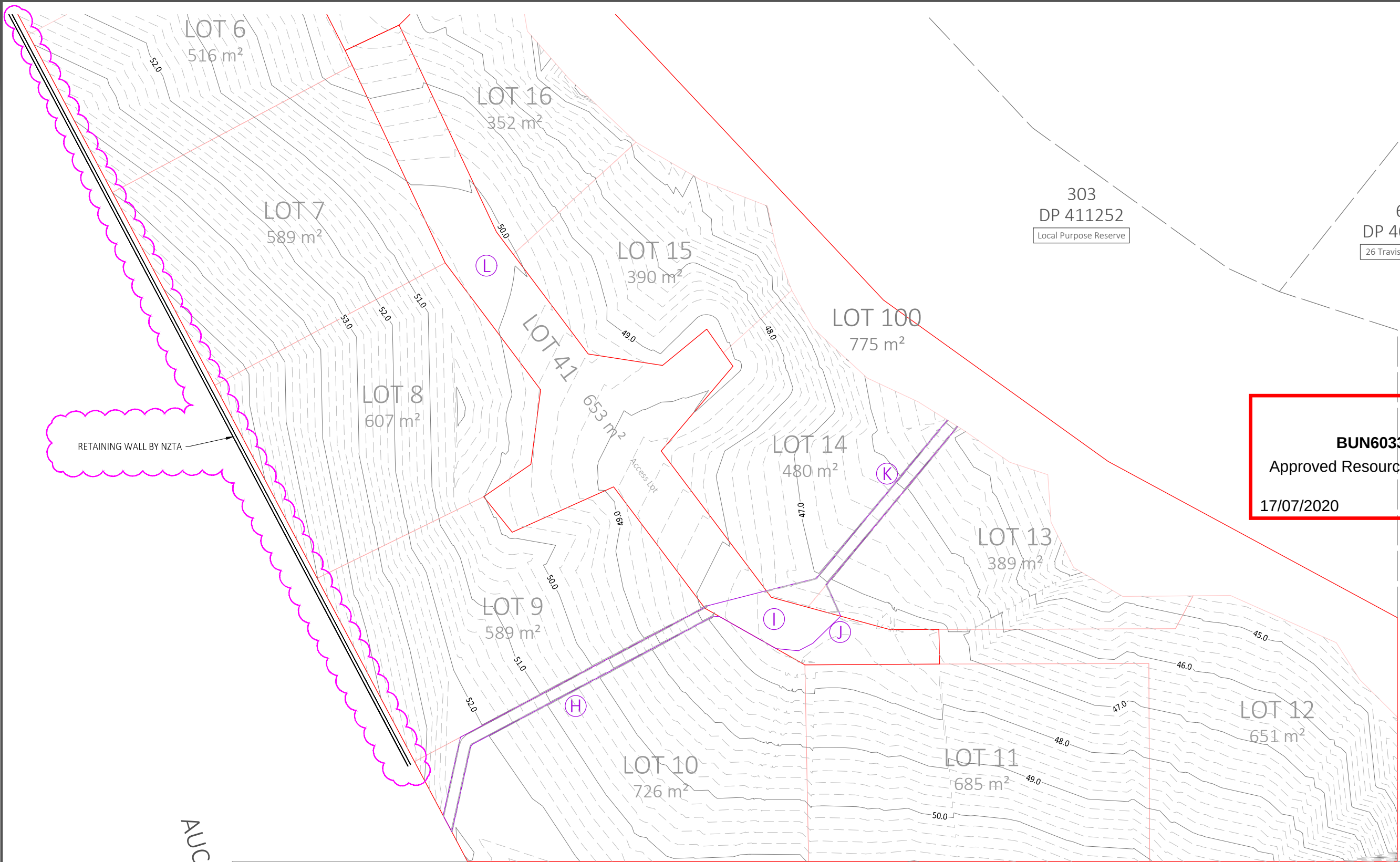


303
DP 411252
Local Purpose Reserve

69
DP 403043
26 Travis View Drive



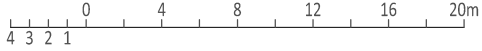
BUN60332463
Approved Resource Consent Plan
17/07/2020



AUCKLAND-MAIN

Pt 2

SCALE 1:200 (A1)
SCALE 1:400 (A3)



DATE: 11/06/2020 12:37:42 PM
LOCATION: Envivo\130030\30030 - 6 MCMENAMIN Place, Fairview Heights\Engineering - CIV\CAD\DWG\Resource Consent\30030 - CIV - DRC - PR - 0300 - 1.0.dwg

LOGON NAME: ANDRE MENZIES

REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	AM	11/06/19	CS	UPDATED LEVELS
3.0	MA	28/01/20	BK	UPDATED EARTHWORKS
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DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
TT	MJG	FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV.
FINISHED GROUND LEVEL PLAN SHEET 2 OF 2	30030 CIV - 00 XX - DRC - 0302 - PR								3.1
	SCALE @ A1	SCALE @ A3							
	1:200	1:400							



Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
CUT & FILL VOL.	1.000	1.000	9582.08sq.m	11215.42 Cu. M.	1786.95 Cu. M.	9428.47 Cu. M.<Cut>
Totals			9582.08sq.m	11215.42 Cu. M.	1786.95 Cu. M.	9428.47 Cu. M.<Cut>

Surface Analysis: Elevation Ranges

Number	Color	Minimum Elevation (m)	Maximum Elevation (m)	2D Area (m²)	Volume (m³)
1		-7.366	-3.600	693.1	990.9
2		-3.600	-1.900	1351.2	2044.6
3		-1.900	-1.200	1477.4	1905.9
4		-1.200	-0.700	1207.1	2081.9
5		-0.700	-0.300	939.2	2072.2
6		-0.300	0.000	858.6	1821.8
7		0.000	0.200	1157.4	584.8
8		0.200	0.400	713.4	372.8
9		0.400	0.600	436.2	256.7
10		0.600	1.000	514.7	327.8
11		1.000	2.800	578.6	257.2

NOTES:

- TOTAL EARTHWORKS VOLUME IS BASED ON DESIGN SUBGRADE LEVEL (300mm BELOW FGL FOR FORMED ACCESSWAYS) TO EXISTING GROUND LEVEL ALLOWANCE FOR 150mm TOPSOIL STRIP INCLUDED.
- THE EARTHWORKS ANALYSIS ONLY COVERS THE AREA WITHIN THE SUBJECT SITE.
- ALL VOLUMES ARE IN-SITU SOLID MEASURE. NO BULKING OR COMPACTION FACTORS ARE CONSIDERED.
- REINSTATE ALL OTHER GROUND TO MATCH EXISTING.
- UPON COMPLETION OF WORKS, THE CONTRACTOR IS TO REMOVE ALL DEBRIS INCLUDING SURPLUS SOIL, TIMBER, CONCRETE AND THE LIKE FROM SITE, LEAVING THE AREA TIDY.
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- WHERE EVER POSSIBLE THE CONTRACTOR IS TO PROTECT EXISTING TREES AND PLANTS.
- CONTRACTORS TO ADVISE ENGINEER AT START OF JOB AND PRIOR TO BACKFILL TO ALLOW NECESSARY INSPECTION.
- THE CONTRACTOR MUST LOCATE ALL SERVICES ON SITE PRIOR TO CONSTRUCTION COMMENCING & CONTACT ALL RESPONSIBLE AGENCIES TO CONFIRM CONSTRUCTION METHODOLOGIES.
- CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MONITORING EROSION AND SEDIMENT CONTROLS AS PER THE AUCKLAND COUNCIL GUIDELINES.

SCALE 1:400 (A1)
SCALE 1:800 (A3)

REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	AM	11/06/19	CS	UPDATED LEVELS
3	MA	28/01/20	BK	UPDATED EARTHWORKS
3.1	AM	18/05/20	MJG	REVISED AS CLOUDED

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envivo ltd. po box 109 207 newmarket auckland 1149
+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 McMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
TT	MJG	FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV.
PROPOSED EARTHWORKS CUT AND FILL PLAN	30030 CIV - 00 XX - DRC - 0303 - PR								3.1
	SCALE @ A1								
	1:400								

NOTES:

1. SURVEY INFORMATION SUPPLIED BY THIRD PARTY.
2. ALL EROSION AND SEDIMENT CONTROLS TO BE IN ACCORDANCE WITH ARC TECHNICAL PUBLICATION 90, "EROSION AND SEDIMENT CONTROL GUIDELINES FOR LAND DISTURBING ACTIVITIES" OR GUIDELINE DOCUMENT 2016/005 "EROSION AND SEDIMENT CONTROL GUIDE FOR LAND DISTURBING ACTIVITIES IN THE AUCKLAND REGION".
3. CONTRACTOR IS NOT LIMITED TO THESE SUGGESTED EROSION AND SEDIMENT CONTROLS.
4. FURTHER EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED BY THE ENGINEER AS THE PROJECT ADVANCES. THESE WILL BE INSTALLED AS AND WHERE DIRECTED BY THE ENGINEER. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT THE SITE HAS EFFECTIVE EROSION AND SEDIMENT CONTROL FACILITIES OPERATING AT ALL TIMES.
5. ALL WORKS TO COMPLY WITH THE H&S ACT 2015.
6. A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN SHALL BE AVAILABLE ON THE SITE DURING WORK HOURS AND ALL PERSONNEL INVOLVED IN EARTHWORK ACTIVITIES ON THE SITE (INCLUSIVE OF SUB-CONTRACTORS) SHALL BE FAMILIAR WITH THE CONSENT AND PLAN REQUIREMENTS AS THEY RELATE TO EROSION AND SEDIMENT CONTROL.
7. FOR FURTHER SILT AND SEDIMENT CONTROL DETAIL REFER TO ARC TECHNICAL PUBLICATION 90 OR AC GUIDELINE DOCUMENT 2016/005.
8. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED AND OPERATIONAL PRIOR TO ANY OTHER WORKS COMMENCING ON SITE.
9. SILT FENCES TO BE INSPECTED REGULARLY AND MAINTAINED AS NEEDED.
10. SILT FENCES ONLY TO BE REMOVED ONCE SITE HAS BEEN REINSTATED.



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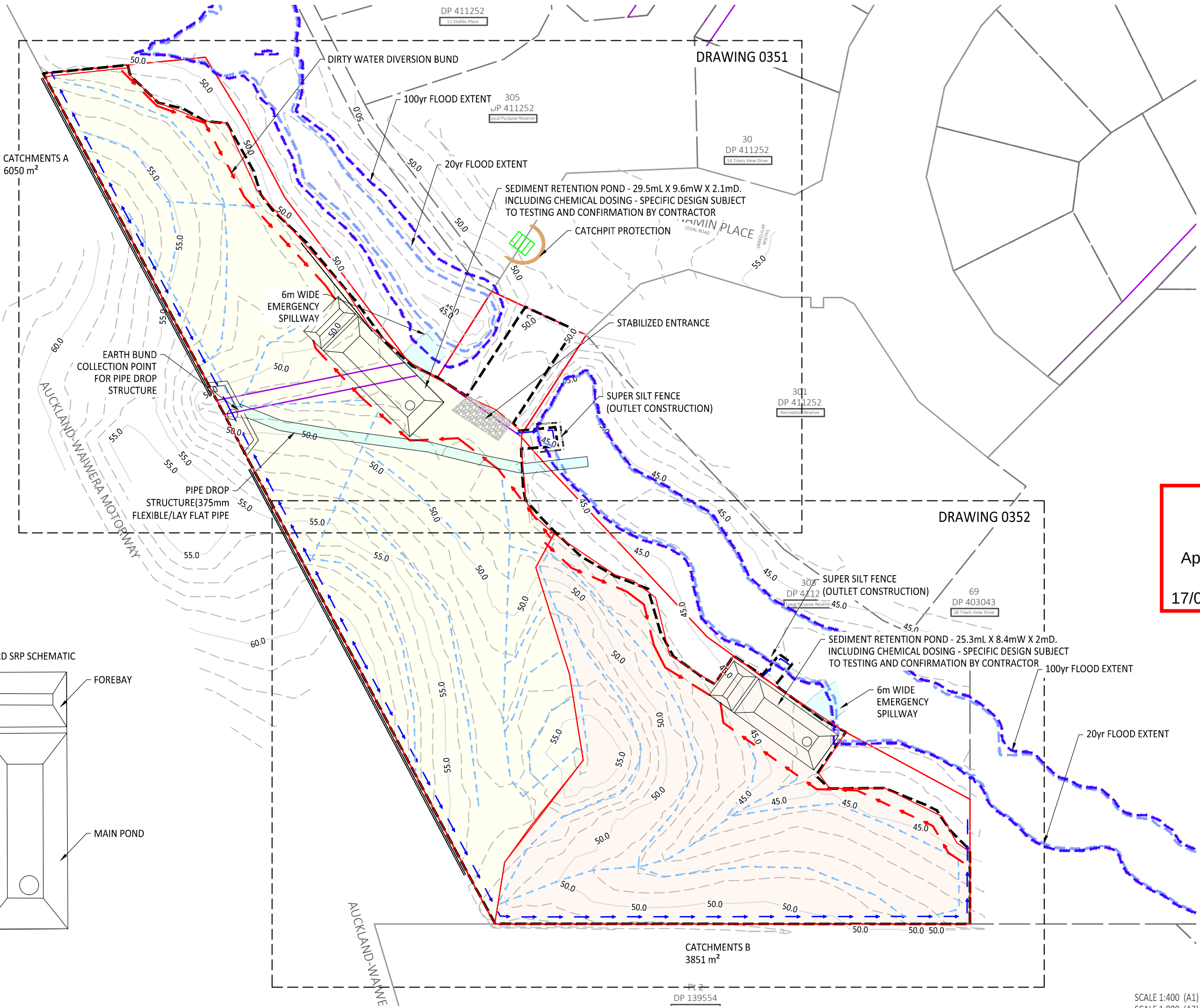
17/07/2020

LEGEND

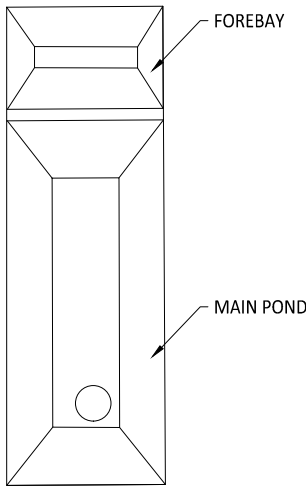
- EXTENT OF WORKS
- PROPOSED SEDIMENT RETENTION POND
- CONTOUR DRAINS
- CLEAN WATER DIVERSION CHANNEL
- 20yr FLOOD EXTENT
- 100yr FLOOD EXTENT
- SUPER SILT FENCE
- DIRTY WATER DIVERSION BUND/CHANNEL
- CATCHMENTS A
- CATCHMENTS B

SCALE 1:400 (A1)
SCALE 1:800 (A3)

TITLE							
SEDIMENT AND EROSION CONTROL OVERALL PLAN							
PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT. REV.
30030 CIV - 00 XX - DRC - 0350 - PR							3.1
SCALE @ A1				Page 11 of 43			
1:400							



STANDARD SRP SCHEMATIC



REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	AM	12/06/19	CS	UPDATED LAYOUT
1.2	MA	24/06/19	BK	UPDATED LAYOUT
3.0	MA	28/01/20	BK	UPDATED LAYOUT
3.1	AM	18/05/20	TT	NZTA RETAINING WALL

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CONSENT ISSUE



DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
TT	MJG	FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

NOTES:

1. SURVEY INFORMATION SUPPLIED BY THIRD PARTY.
2. ALL EROSION AND SEDIMENT CONTROLS TO BE IN ACCORDANCE WITH ARC TECHNICAL PUBLICATION 90, "EROSION AND SEDIMENT CONTROL GUIDELINES FOR LAND DISTURBING ACTIVITIES" OR GUIDELINE DOCUMENT 2016/005 "EROSION AND SEDIMENT CONTROL GUIDE FOR LAND DISTURBING ACTIVITIES IN THE AUCKLAND REGION".
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5. ALL WORKS TO COMPLY WITH THE H&S ACT 2015.
6. A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN SHALL BE AVAILABLE ON THE SITE DURING WORK HOURS AND ALL PERSONNEL INVOLVED IN EARTHWORK ACTIVITIES ON THE SITE (INCLUSIVE OF SUB-CONTRACTORS) SHALL BE FAMILIAR WITH THE CONSENT AND PLAN REQUIREMENTS AS THEY RELATE TO EROSION AND SEDIMENT CONTROL.
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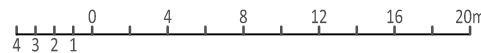
BUN60332463

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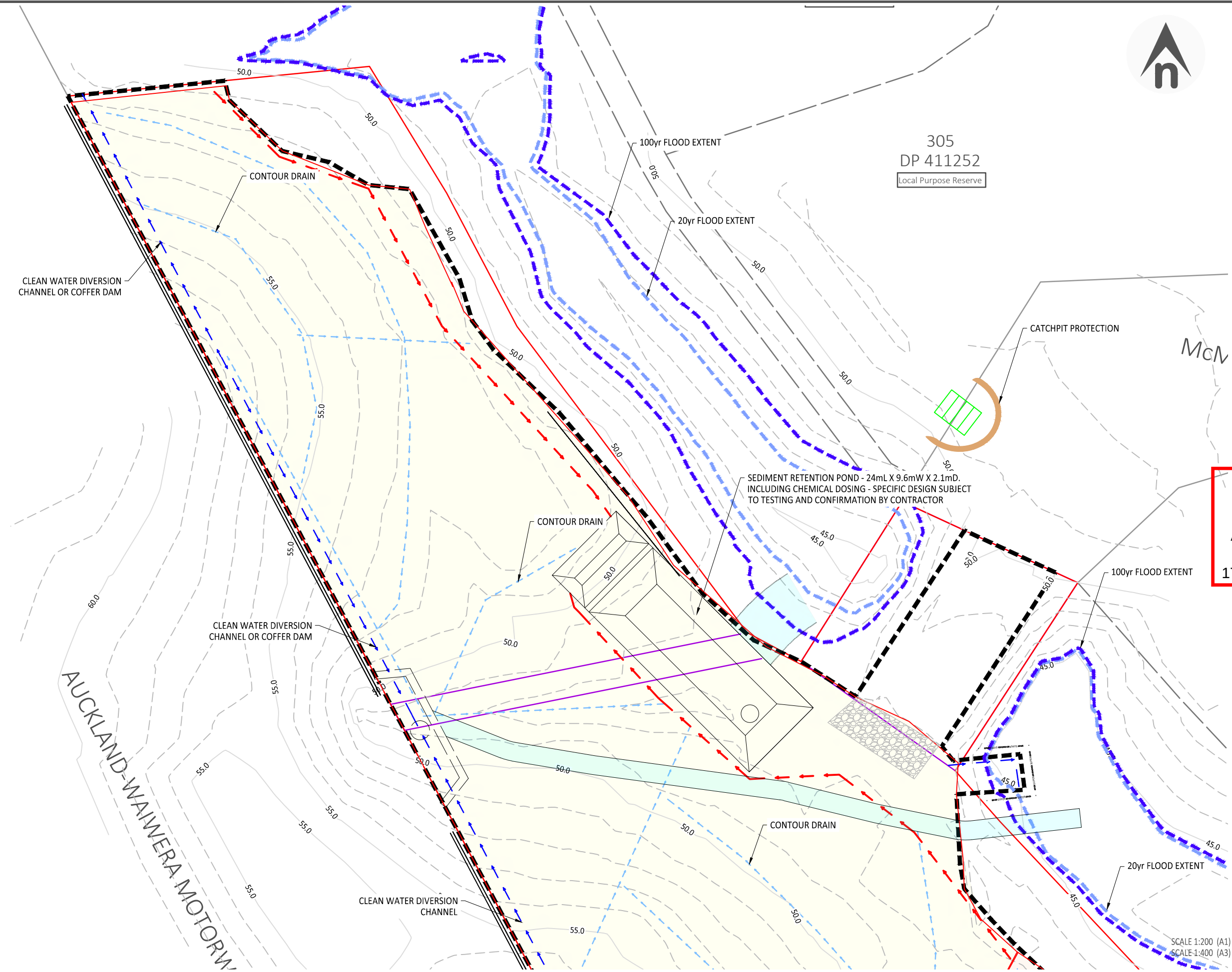
17/07/2020

LEGEND

- EXTENT OF WORKS
- PROPOSED SEDIMENT RETENTION POND
- CONTOUR DRAINS
- CLEAN WATER DIVERSION CHANNEL OR COFFER DAM
- 20yr FLOOD EXTENT
- 100yr FLOOD EXTENT
- SUPER SILT FENCE
- DIRTY WATER DIVERSION BUND/CHANNEL
- CATCHMENTS A
- CATCHMENTS B



SCALE 1:200 (A1)
SCALE 1:400 (A3)



REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	AM	12/06/19	CS	UPDATED LAYOUT
1.2	MA	24/06/19	BK	UPDATED LAYOUT
3.0	MA	28/01/20	BK	UPDATED LAYOUT
3.1	AM	18/05/20	TT	NZTA RETAINING WALL

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CONSENT ISSUE



DRAWN	DRAWING CHECK
JDP	AB
DESIGNED	DES. REVIEW
AM	TT
REVIEWED	APPROVED
TT	MJG
DATE	DATE
17/12/18	17/12/18

PROJECT/LOCATION	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
CUSTOMER	FAIRVIEW ESTATE INVESTMENTS
CERTIFICATE OF TITLE	
ZONING	

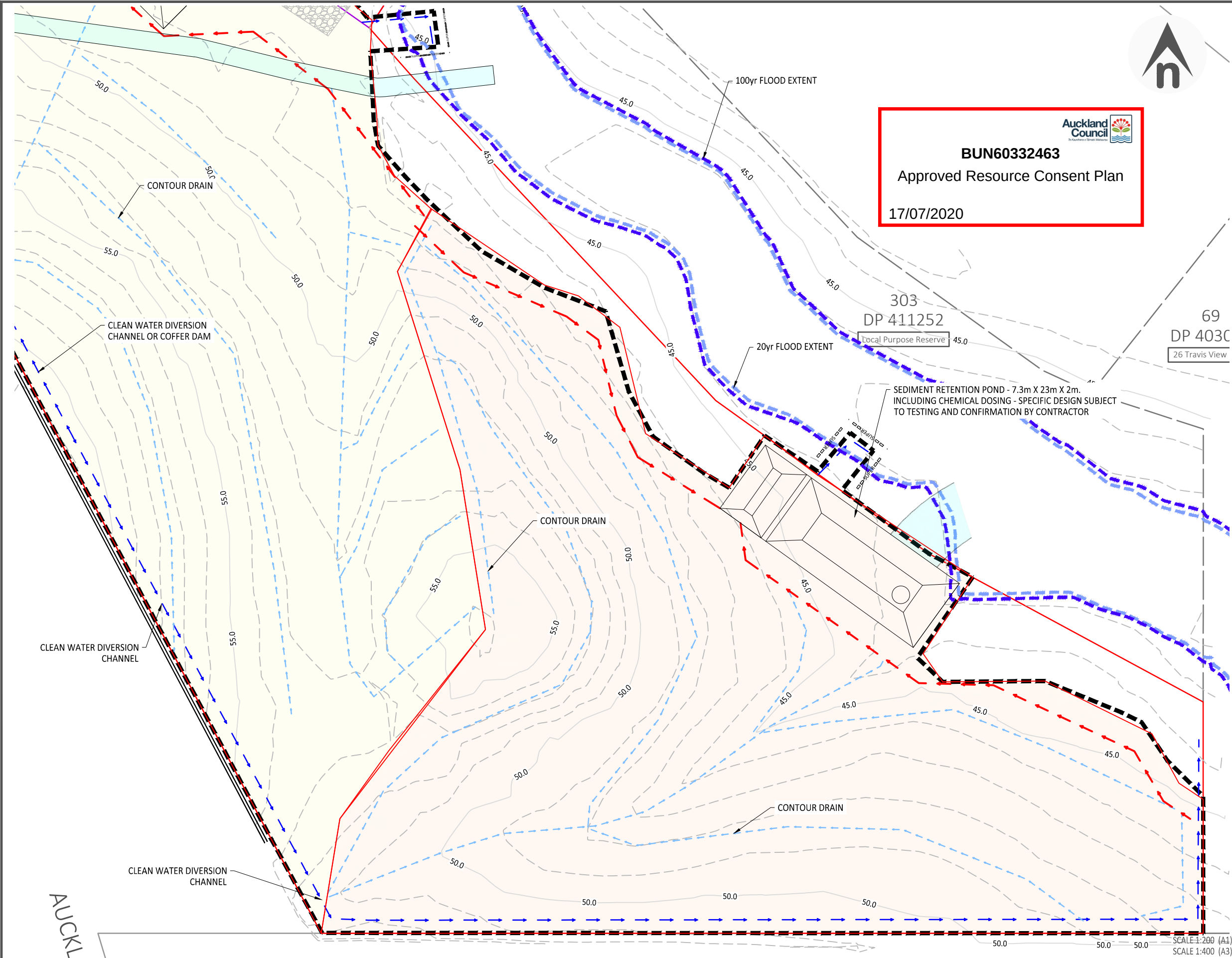
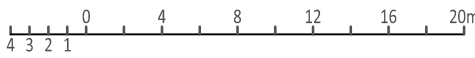
TITLE	SEDIMENT AND EROSION CONTROL PLAN SHEET 1 OF 2
PROJECT	30030 CIV - 00 XX - DRC - 0351 - PR 3.1
ORIG.	
ZONE	
LOC.	
TYPE	
RL	
DRG No.	
SUIT.	
REV	
SCALE @ A1	1:200
SCALE @ A3	
SHEET NO.	Page 12 of 43
DATE	

NOTES:

1. SURVEY INFORMATION SUPPLIED BY THIRD PARTY.
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10. SILT FENCES ONLY TO BE REMOVED ONCE SITE HAS BEEN REINSTATED.

LEGEND

- EXTENT OF WORKS
- PROPOSED SEDIMENT RETENTION POND
- CONTOUR DRAINS
- CLEAN WATER DIVERSION CHANNEL OR COFFER DAM
- 20yr FLOOD EXTENT
- 100yr FLOOD EXTENT
- SUPER SILT FENCE
- DIRTY WATER DIVERSION BUND/CHANNEL
- CATCHMENTS A
- CATCHMENTS B



REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	AM	12/06/19	CS	UPDATED LAYOUT
1.2	MA	24/06/19	BK	UPDATED LAYOUT
3.0	MA	28/01/20	BK	UPDATED LAYOUT
3.1	AM	18/05/20	TT	NZTA RETAINING WALL

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CONSENT ISSUE

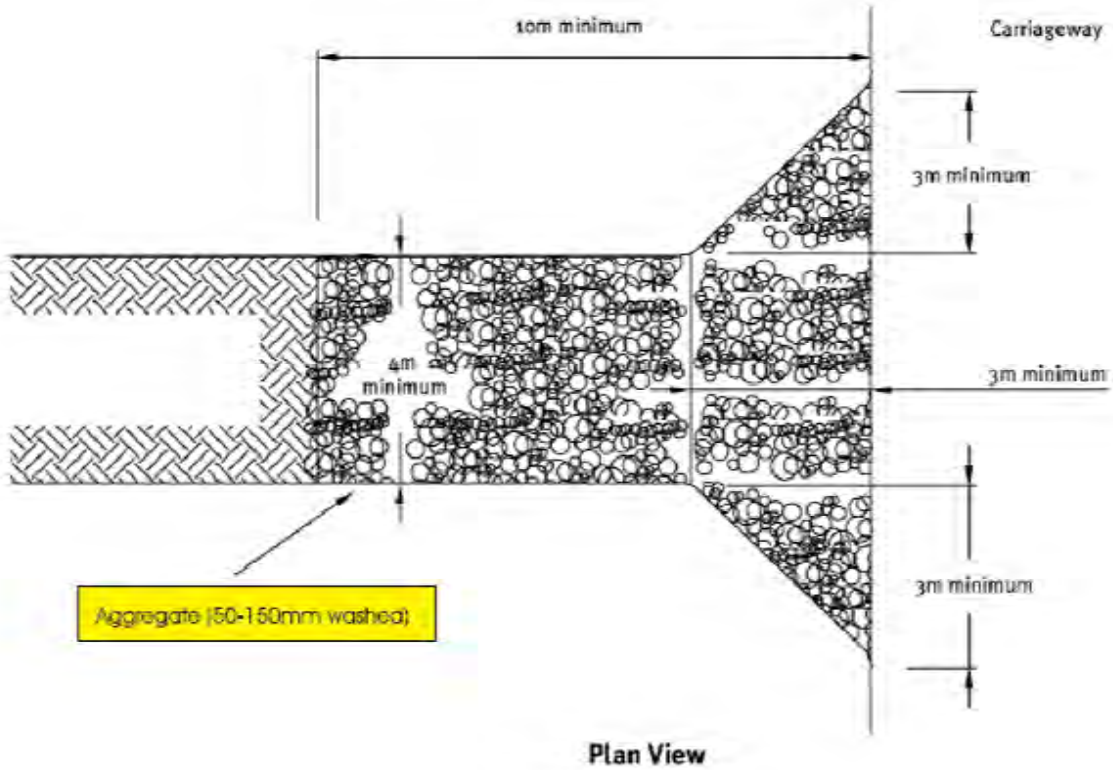
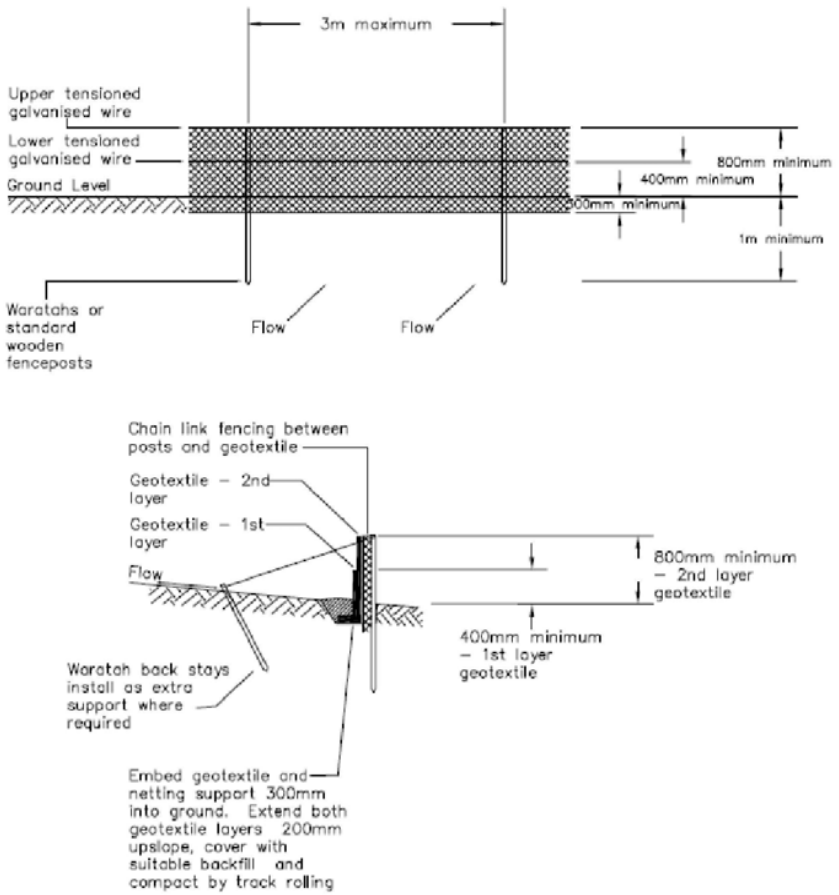
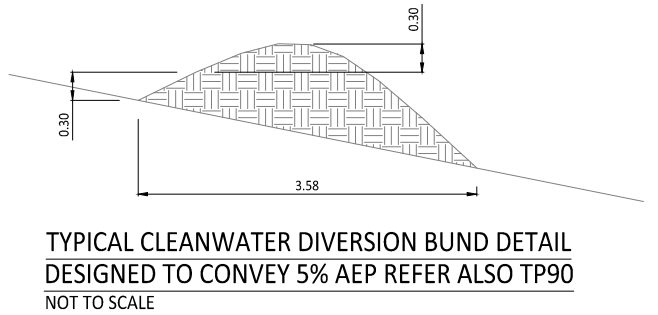
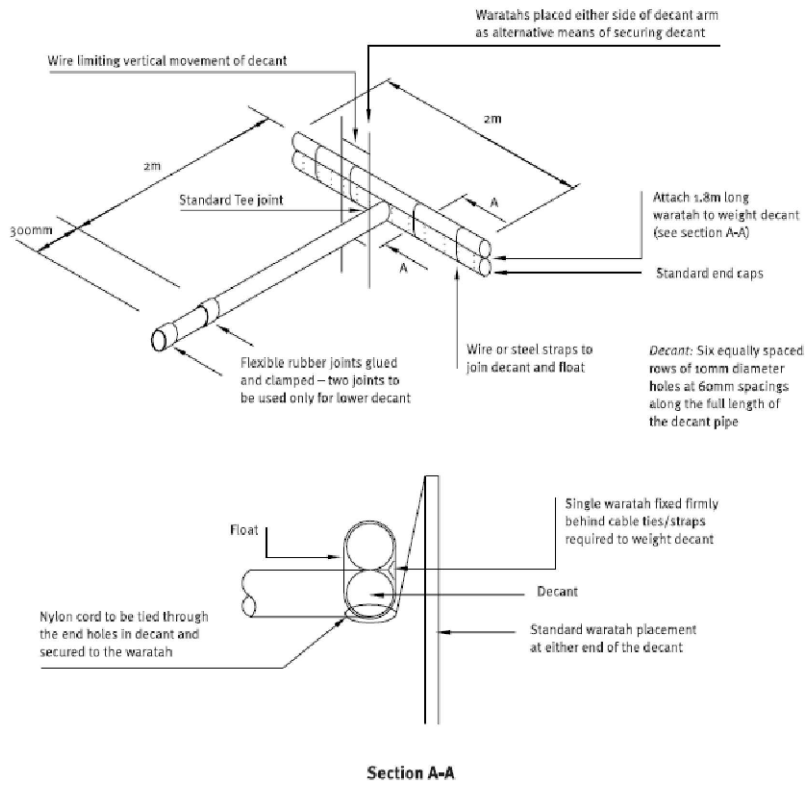
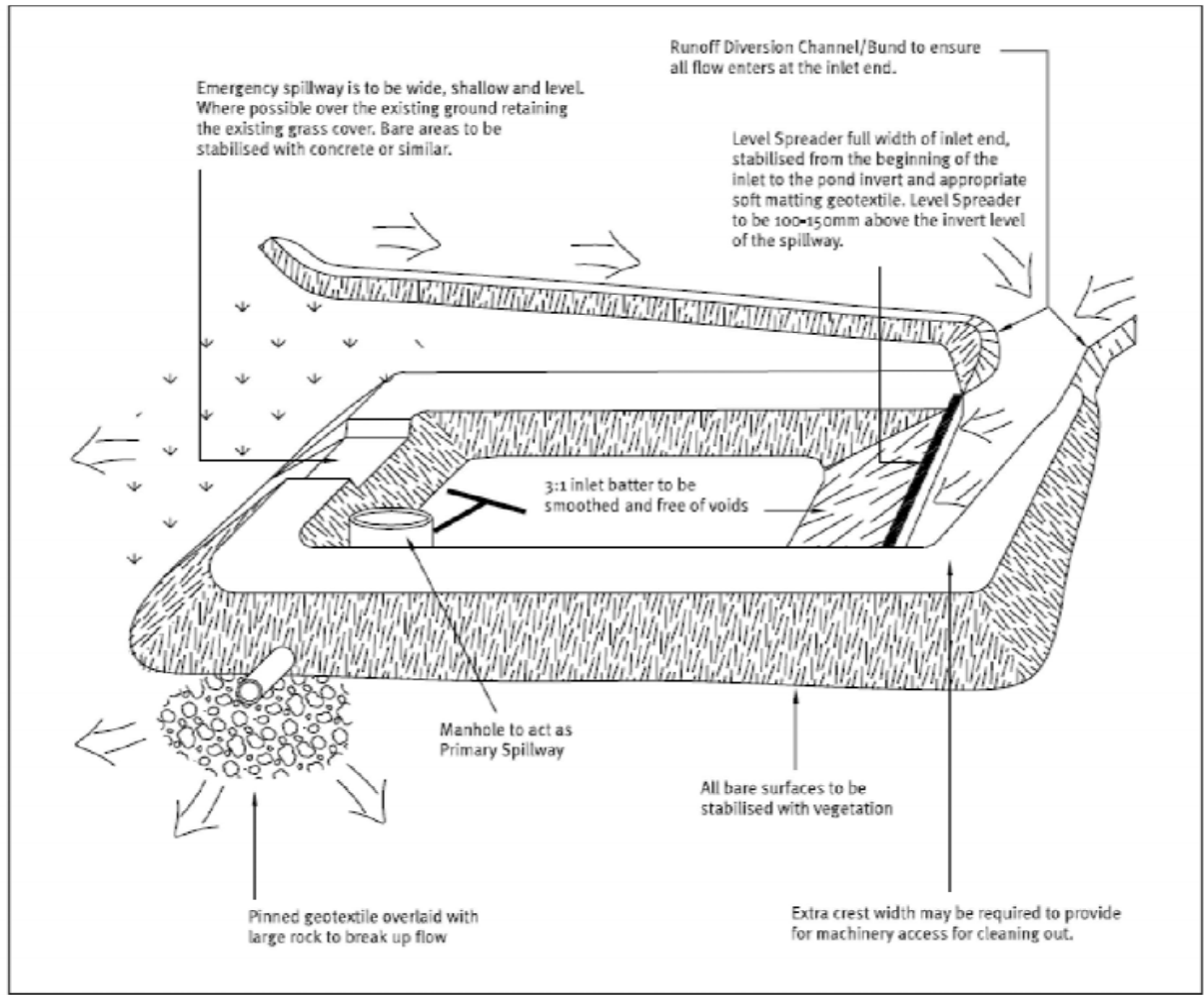


DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
TT	MJG	FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	SEDIMENT AND EROSION CONTROL PLAN SHEET 2 OF 2
PROJECT	30030 CIV - 00 XX - DRC - 0352 - PR
ORIG.	
ZONE	
LOC.	
TYPE	
RL	
DRG No.	
SUIT.	
REV	
SCALE @ A1	1:200
SCALE @ A3	1:400
DATE	

NOTES:

1. ALL CONTROLS TO BE INSTALLED IN ACCORDANCE TO TP90/GD05 STANDARDS.
2. CONTROLS TO BE INSTALLED PRIOR TO START OF WORKS.
3. CONTROLS TO BE INSPECTED AND MAINTAINED DURING DURATION OF WORKS.
4. REFER TO DRAWING 30030-0303 FOR EARTHWORK VOLUMES.
5. REFER TO DRAWING 30030-0350 FOR EROSION AND SEDIMENT CONTROLS LAYOUT PLAN.



BUN60332463

Approved Resource Consent Plan

17/07/2020



REV	BY	DATE	APPD	REVISION/COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE

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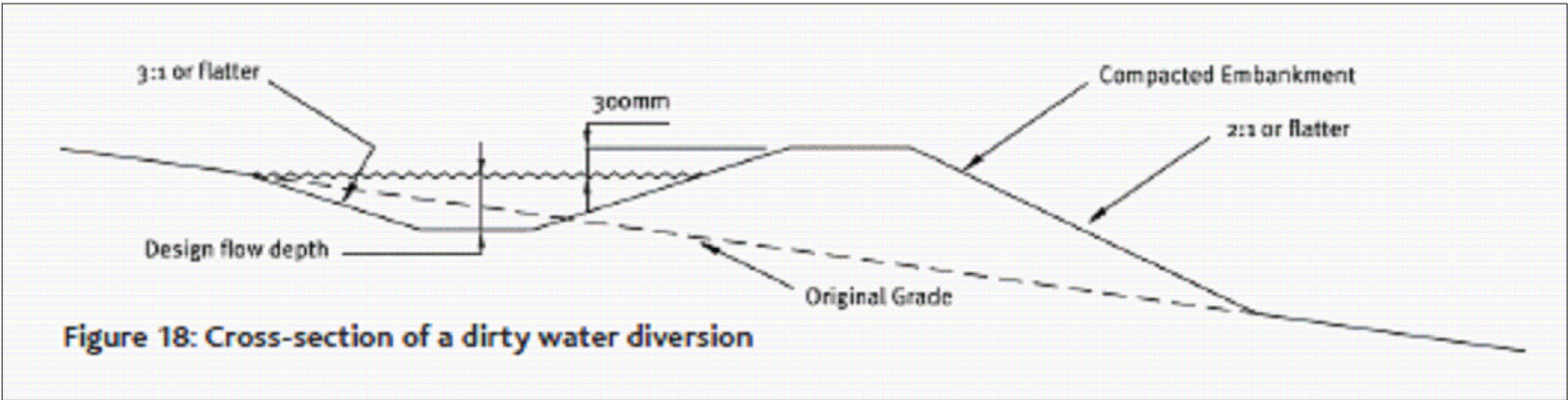
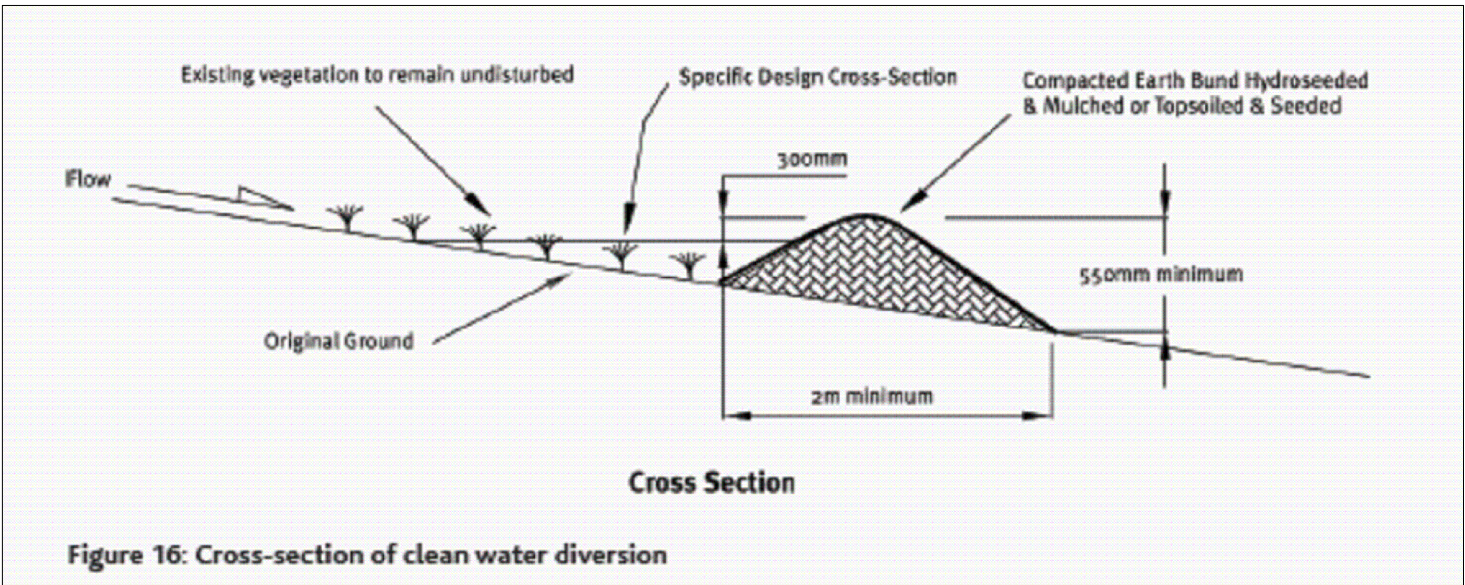
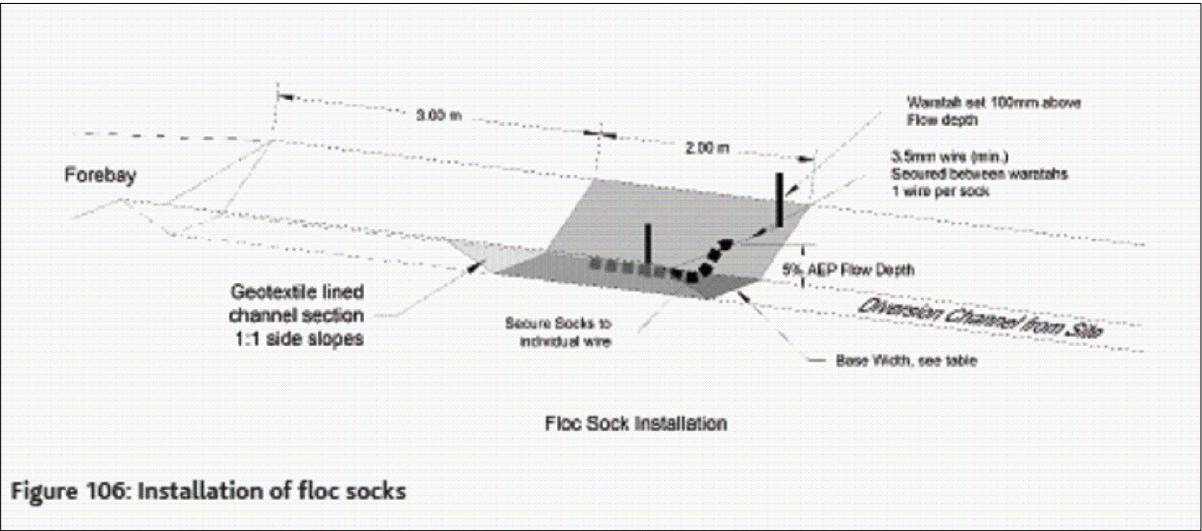


DRAWN	DRAWING CHECK
JDP	AB
DESIGNED	DES. REVIEW
AM	TT
REVIEWED	APPROVED
DATE	DATE
17/12/18	17/12/18

PROJECT/LOCATION	TITLE
6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND	SEDIMENT AND EROSION CONTROL DETAILS
CUSTOMER	PROJECT
FAIRVIEW ESTATE INVESTMENTS	30030 CIV - 00XX - DRC - 0360 - PR 1.0
CERTIFICATE OF TITLE	ZONING

PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV.
30030 CIV - 00XX - DRC - 0360 - PR 1.0								
SCALE @ A1	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
1:100								

- NOTES:
1. ALL CONTROLS TO BE INSTALLED IN ACCORDANCE TO TP90/GD05 STANDARDS.
 2. CONTROLS TO BE INSTALLED PRIOR TO START OF WORKS.
 3. CONTROLS TO BE INSPECTED AND MAINTAINED DURING DURATION OF WORKS.
 4. REFER TO DRAWING 30030-0303 FOR EARTHWORK VOLUMES.
 5. REFER TO DRAWING 30030-0350 FOR EROSION AND SEDIMENT CONTROLS LAYOUT PLAN.



DATE: 6/25/2019 9:43:27 AM LOGIN NAME: MAUD ANVARI LOCATION: V:\30030 - 6 MCMENAMIN PLACE, Fairview Heights\Engineering - CIV\CAD\Drawings\Resource Consent\30030 - CIV - DRC - PR - 0300 - 1.0.dwg

REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE

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+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

DRAWN	DRAWING CHECK
JDP	AB
DESIGNED	DES. REVIEW
AM	TT
REVIEWED	APPROVED
DATE	DATE
17/12/18	17/12/18

PROJECT/LOCATION	TITLE
6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND	SEDIMENT AND EROSION CONTROL DETAILS
CUSTOMER	PROJECT
FAIRVIEW ESTATE INVESTMENTS	30030 CIV - 00 XX - DRC - 0362 - PR 1.0
CERTIFICATE OF TITLE	ZONING

PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV.
30030 CIV - 00 XX - DRC - 0362 - PR 1.0								
SCALE @ A1	SCALE @ A2	SCALE @ A3	SCALE @ A4	SCALE @ A5	SCALE @ A6	SCALE @ A7	SCALE @ A8	SCALE @ A9
1:100	1:200	1:300	1:400	1:500	1:600	1:700	1:800	1:900

NOTES:

1. REFER TO DRAWING 30030-0420 & 0421 FOR DRIVEWAY LONG SECTION.
2. REFER TO DRAWING 30030-0440 & 0441 FOR DRIVEWAY CROSS SECTIONS.
2. REFER TO DRAWING 30030-0450 FOR TYPICAL DRIVEWAY CROSS SECTIONS.
3. VEHICLE CROSSINGS TO BE REFORMED AND CONSTRUCTED TO ATCOP STANDARDS
4. UNLESS OTHERWISE STATED, ALL WORK SHALL COMPLY WITH THE BUILDING CODES, AUCKLAND COUNCIL, WATERCARE AND NZS4404 STANDARDS AS APPLICABLE
5. ALL WORKS TO COMPLY WITH THE H&S ACT 2015.
6. REINSTATE ALL OTHER GROUND TO MATCH EXISTING.
7. PROVIDE ALL NECESSARY TEMPORARY SAFETY PROTECTION DURING CONSTRUCTION, AND SAFE PASSAGE FOR PEDESTRIANS ON FOOTPATH.
8. UPON COMPLETION OF WORKS, THE CONTRACTOR IS TO REMOVE ALL DEBRIS INCLUDING SURPLUS SOIL, TIMBER, CONCRETE AND THE LIKE FROM SITE, LEAVING THE AREA TIDY.
9. CONTRACTOR IS TO OBTAIN EXISTING PUBLIC SERVICES MARKOUT AND PILOT TO LOCATE BOTH PUBLIC AND PRIVATE DEVICES PRIOR TO EXCAVATION.
10. CONTRACTOR MUST TAKE ALL CARE NOT TO DAMAGE EXISTING SERVICES - PUBLIC OR PRIVATE.
11. ALL REPAIRS TO DAMAGE CAUSED BY THE CONTRACT WORKS ARE FOR THE CONTRACTORS EXPENSE AND REPAIRS ARE TO BE ACTIONED IMMEDIATELY.
12. CONTRACTOR TO OBTAIN ALL NECESSARY ROAD OPENING/CLOSING, TRAFFIC CONTROL PERMITS FROM COUNCIL. A COPY OF THE R.O.N. MUST BE SENT TO THE ENGINEER PRIOR TO WORKS COMMENCING.
13. WHERE EVER POSSIBLE THE CONTRACTOR IS TO PROTECT EXISTING TREES AND PLANTS.
14. CONTRACTORS TO ADVISE ENGINEER AT START OF JOB AND PRIOR TO BACKFILL TO ALLOW NECESSARY INSPECTION.
15. NO CERTIFICATIONS FOR "AS BUILT" PLANS OR PAYMENT WILL BE MADE WITHOUT THESE INSPECTIONS TAKING PLACE.
16. THE CONTRACTOR MUST LOCATE ALL SERVICES ON SITE PRIOR TO CONSTRUCTION COMMENCING & CONTACT ALL RESPONSIBLE AGENCIES TO CONFIRM CONSTRUCTION METHODOLOGIES.

LEGEND

PROPOSED DRIVEWAY

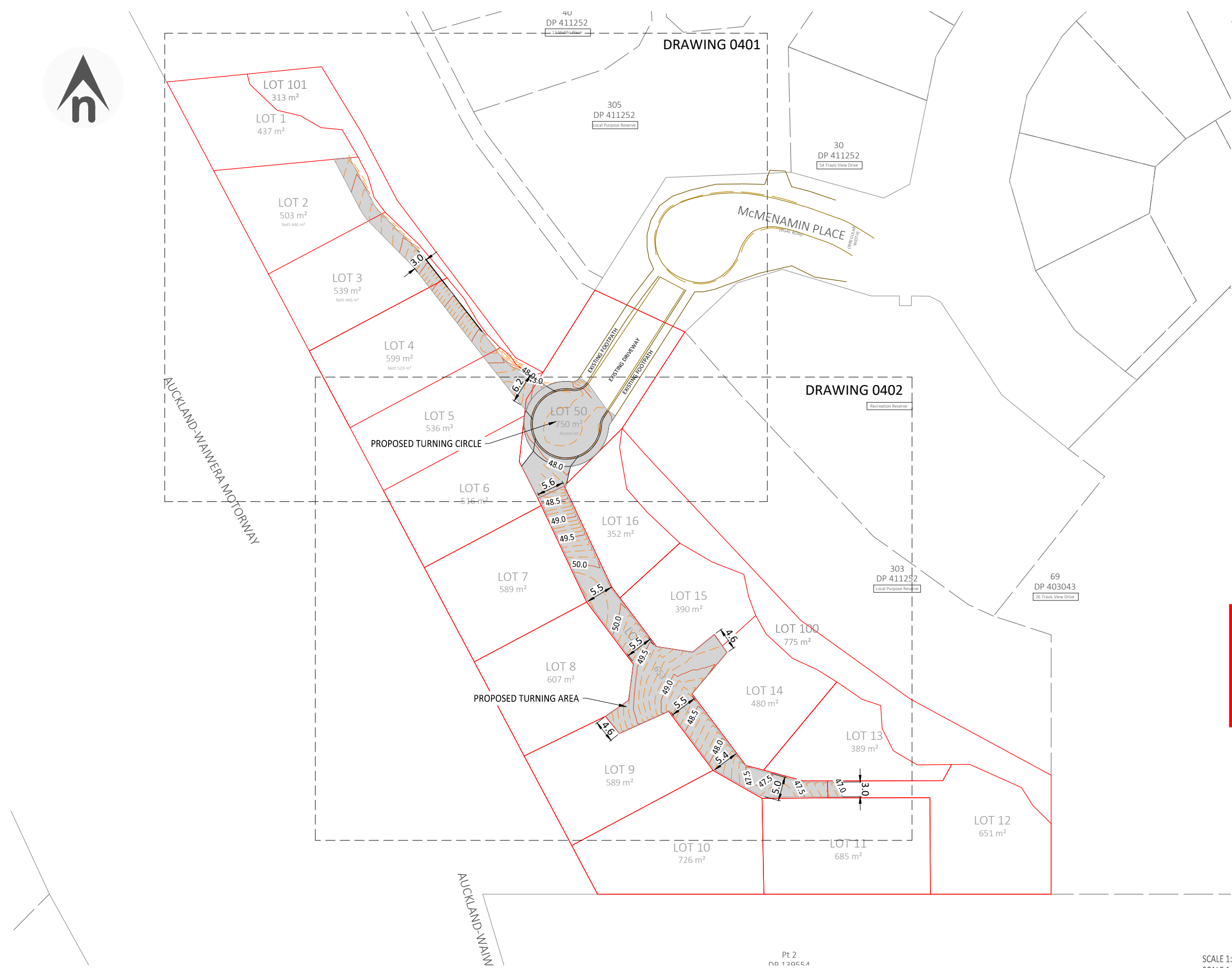
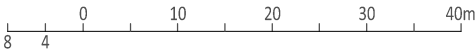


BUN60332463

Approved Resource Consent Plan

17/07/2020

SCALE 1:400 (A1)
SCALE 1:800 (A3)



REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	AM	12/06/19	CS	UPDATED LAYOUT
3.0	MA	28/01/20	BK	UPDATED LAYOUT

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envivo ltd po box 109 207 newmarket auckland 1149
+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	PROPOSED JOAL OVERALL PLAN
PROJECT	30030 CIV - 00 XX - DRC - 0400 - PR 3.0
ORIG.	
ZONE	
LOC.	
TYPE	
RL	
DRG No.	
SUIT.	
REV	
SCALE @ A1	1:400
SCALE @ A3	1:800
SHEET NO.	Page 16 of 43
DATE	

NOTES:

1. REFER TO DRAWING 30030-0420 & 0421 FOR DRIVEWAY LONG SECTION.
2. REFER TO DRAWING 30030-0440 & 0441 FOR DRIVEWAY CROSS SECTIONS.
2. REFER TO DRAWING 30030-0450 FOR TYPICAL DRIVEWAY CROSS SECTIONS.
3. VEHICLE CROSSINGS TO BE REFORMED AND CONSTRUCTED TO ATCOP STANDARDS
4. UNLESS OTHERWISE STATED, ALL WORK SHALL COMPLY WITH THE BUILDING CODES, AUCKLAND COUNCIL, WATERCARE AND NZS4404 STANDARDS AS APPLICABLE
5. ALL WORKS TO COMPLY WITH THE H&S ACT 2015.
6. REINSTATE ALL OTHER GROUND TO MATCH EXISTING.
7. PROVIDE ALL NECESSARY TEMPORARY SAFETY PROTECTION DURING CONSTRUCTION, AND SAFE PASSAGE FOR PEDESTRIANS ON FOOTPATH.
8. UPON COMPLETION OF WORKS, THE CONTRACTOR IS TO REMOVE ALL DEBRIS INCLUDING SURPLUS SOIL, TIMBER, CONCRETE AND THE LIKE FROM SITE, LEAVING THE AREA TIDY.
9. CONTRACTOR IS TO OBTAIN EXISTING PUBLIC SERVICES MARKOUT AND PILOT TO LOCATE BOTH PUBLIC AND PRIVATE DEVICES PRIOR TO EXCAVATION.
10. CONTRACTOR MUST TAKE ALL CARE NOT TO DAMAGE EXISTING SERVICES - PUBLIC OR PRIVATE.
11. ALL REPAIRS TO DAMAGE CAUSED BY THE CONTRACT WORKS ARE FOR THE CONTRACTORS EXPENSE AND REPAIRS ARE TO BE ACTIONED IMMEDIATELY.
12. CONTRACTOR TO OBTAIN ALL NECESSARY ROAD OPENING/CLOSING, TRAFFIC CONTROL PERMITS FROM COUNCIL. A COPY OF THE R.O.N. MUST BE SENT TO THE ENGINEER PRIOR TO WORKS COMMENCING.
13. WHERE EVER POSSIBLE THE CONTRACTOR IS TO PROTECT EXISTING TREES AND PLANTS.
14. CONTRACTORS TO ADVISE ENGINEER AT START OF JOB AND PRIOR TO BACKFILL TO ALLOW NECESSARY INSPECTION.
15. NO CERTIFICATIONS FOR "AS BUILT" PLANS OR PAYMENT WILL BE MADE WITHOUT THESE INSPECTIONS TAKING PLACE.
16. THE CONTRACTOR MUST LOCATE ALL SERVICES ON SITE PRIOR TO CONSTRUCTION COMMENCING & CONTACT ALL RESPONSIBLE AGENCIES TO CONFIRM CONSTRUCTION METHODOLOGIES.

LEGEND

PROPOSED DRIVEWAY

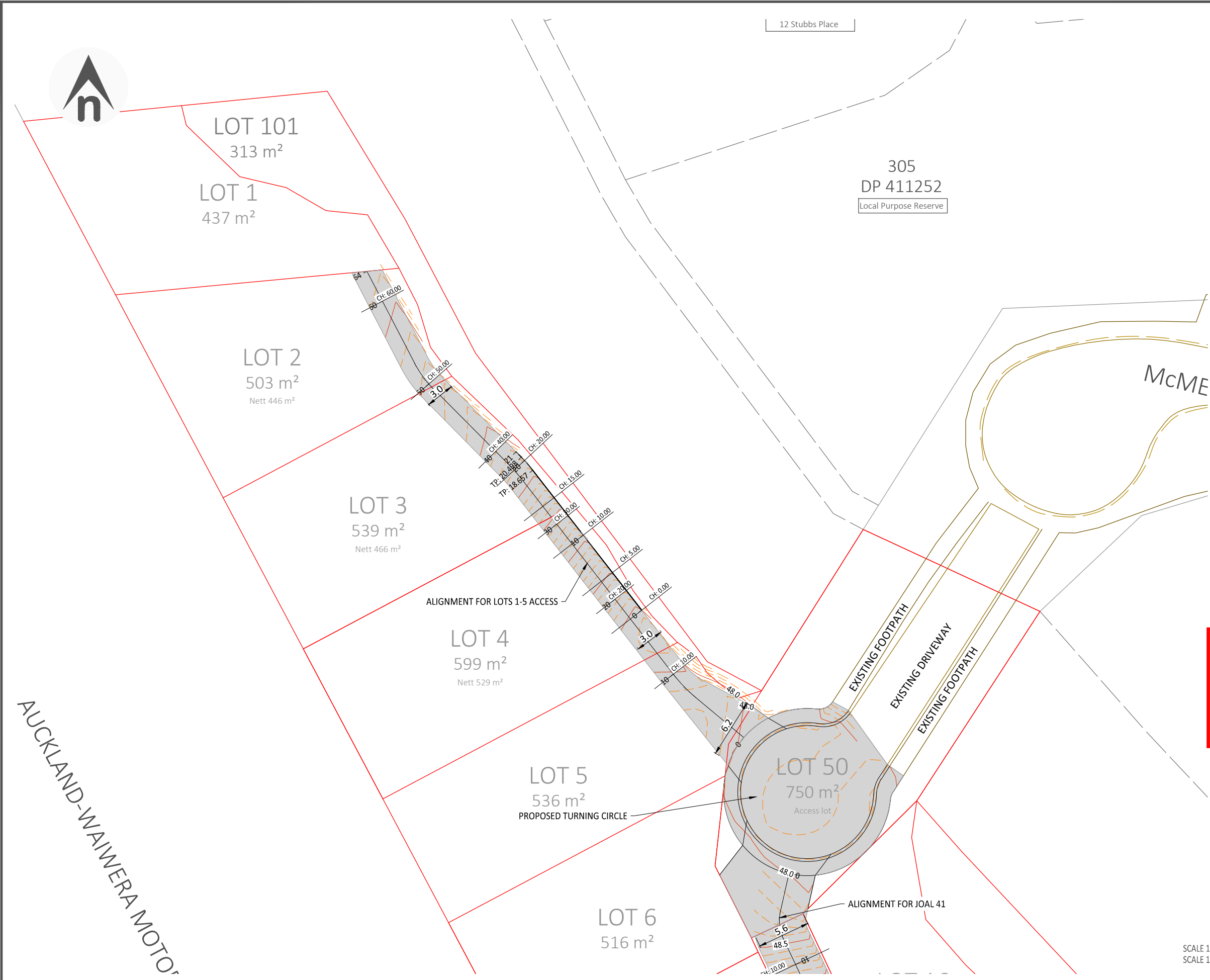
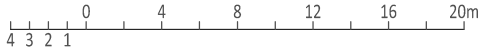


BUN60332463

Approved Resource Consent Plan

17/07/2020

SCALE 1:200 (A1)
SCALE 1:400 (A3)



AUCKLAND-WAIWERA MOTORWAY

REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	AM	12/06/19	CS	UPDATED LAYOUT
1.2	AM	11/09/19	CS	RETAINING WALL C/S ADDED
3.0	MA	28/01/20	BK	UPDATED LAYOUT

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CONSENT ISSUE



DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV.
PROPOSED JOAL PLAN SHEET 1 OF 2	30030	CIV	- 00	XX	- DRC	- 0401	- PR	3.0	
SCALE @ A1	SCALE @ A3	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
1:200	1:400								

NOTES:

1. REFER TO DRAWING 30030-0420 FOR DRIVEWAY LONG SECTION.
2. REFER TO DRAWING 30030-0440 & 0441 FOR DRIVEWAY CROSS SECTIONS.
2. REFER TO DRAWING 30030-0450 FOR TYPICAL DRIVEWAY CROSS SECTIONS.
3. VEHICLE CROSSINGS TO BE REFORMED AND CONSTRUCTED TO ATCOP STANDARDS
4. UNLESS OTHERWISE STATED, ALL WORK SHALL COMPLY WITH THE BUILDING CODES, AUCKLAND COUNCIL, WATERCARE AND NZS4404 STANDARDS AS APPLICABLE
5. ALL WORKS TO COMPLY WITH THE H&S ACT 2015.
6. REINSTATE ALL OTHER GROUND TO MATCH EXISTING.
7. PROVIDE ALL NECESSARY TEMPORARY SAFETY PROTECTION DURING CONSTRUCTION, AND SAFE PASSAGE FOR PEDESTRIANS ON FOOTPATH.
8. UPON COMPLETION OF WORKS, THE CONTRACTOR IS TO REMOVE ALL DEBRIS INCLUDING SURPLUS SOIL, TIMBER, CONCRETE AND THE LIKE FROM SITE, LEAVING THE AREA TIDY.
9. CONTRACTOR IS TO OBTAIN EXISTING PUBLIC SERVICES MARKOUT AND PILOT TO LOCATE BOTH PUBLIC AND PRIVATE DEVICES PRIOR TO EXCAVATION.
10. CONTRACTOR MUST TAKE ALL CARE NOT TO DAMAGE EXISTING SERVICES - PUBLIC OR PRIVATE.
11. ALL REPAIRS TO DAMAGE CAUSED BY THE CONTRACT WORKS ARE FOR THE CONTRACTORS EXPENSE AND REPAIRS ARE TO BE ACTIONED IMMEDIATELY.
12. CONTRACTOR TO OBTAIN ALL NECESSARY ROAD OPENING/CLOSING, TRAFFIC CONTROL PERMITS FROM COUNCIL. A COPY OF THE R.O.N. MUST BE SENT TO THE ENGINEER PRIOR TO WORKS COMMENCING.
13. WHERE EVER POSSIBLE THE CONTRACTOR IS TO PROTECT EXISTING TREES AND PLANTS.
14. CONTRACTORS TO ADVISE ENGINEER AT START OF JOB AND PRIOR TO BACKFILL TO ALLOW NECESSARY INSPECTION.
15. NO CERTIFICATIONS FOR "AS BUILT" PLANS OR PAYMENT WILL BE MADE WITHOUT THESE INSPECTIONS TAKING PLACE.
16. THE CONTRACTOR MUST LOCATE ALL SERVICES ON SITE PRIOR TO CONSTRUCTION COMMENCING & CONTACT ALL RESPONSIBLE AGENCIES TO CONFIRM CONSTRUCTION METHODOLOGIES.

LEGEND

PROPOSED DRIVEWAY

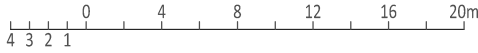


BUN60332463

Approved Resource Consent Plan

17/07/2020

SCALE 1:200 (A1)
SCALE 1:400 (A3)



REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	AM	12/06/19	CS	UPDATED LAYOUT
3.0	MA	28/01/20	BK	UPDATED LAYOUT

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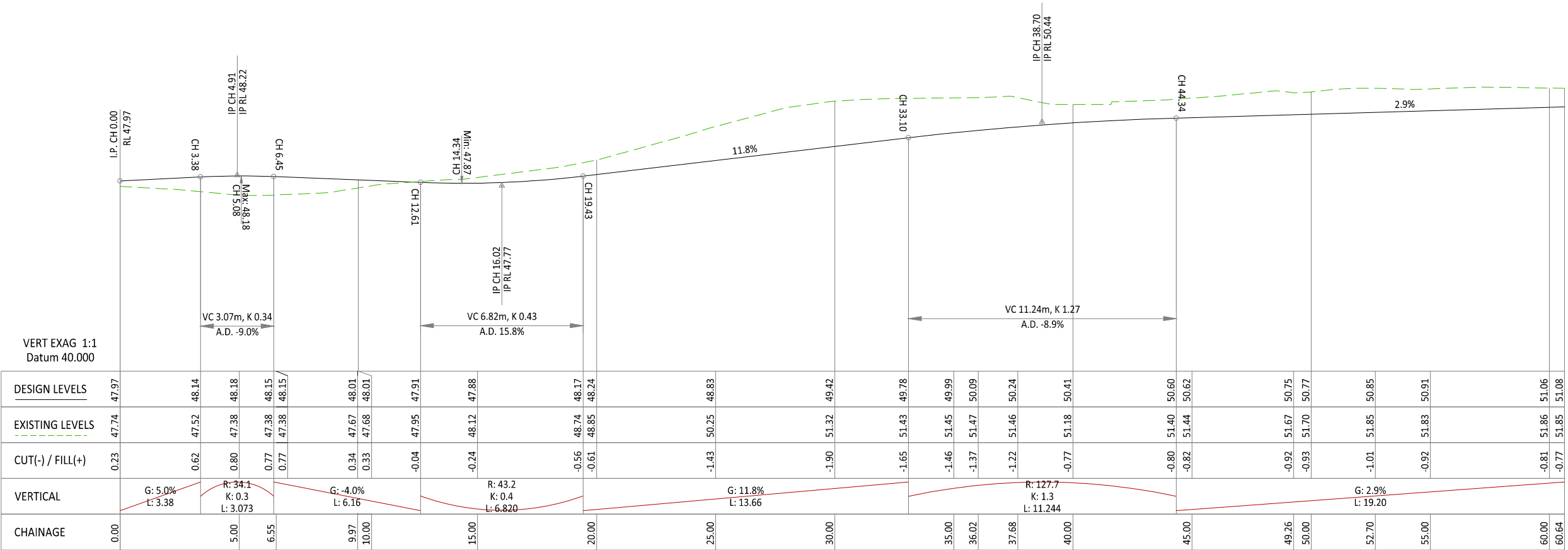
CONSENT ISSUE



DRAWN	DRAWING CHECK
JDP	AB
DESIGNED	DES. REVIEW
AM	TT
REVIEWED	APPROVED
DATE	DATE
17/12/18	17/12/18

PROJECT/LOCATION	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
CLIENT	FAIRVIEW ESTATE INVESTMENTS
CERTIFICATE OF TITLE	
ZONING	

TITLE	PROPOSED JOAL PLAN SHEET 2 OF 2
PROJECT	30030 CIV - 00 XX - DRC - 0402 - PR 3.0
ORIG.	
ZONE	
LOC.	
TYPE	
RL	
DRG No.	
SUIT.	
REV	
SCALE @ A1	1:200
SCALE @ A3	1:400
DATE	



LOTS 1-5 ACCESS LONG SECTION

NOTES:

1. REFER TO DRAWING 30030-0400 FOR DRIVEWAY PLAN
2. REFER TO DRAWING 30030-0440 & 0441 FOR DRIVEWAY CROSS SECTIONS.
3. REFER TO DRAWING 30030-0450 FOR TYPICAL DRIVEWAY CROSS SECTIONS.

SCALE 1:100 (A1)
SCALE 1:200 (A3)

REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	AM	12/06/19	CS	UPDATED LAYOUT

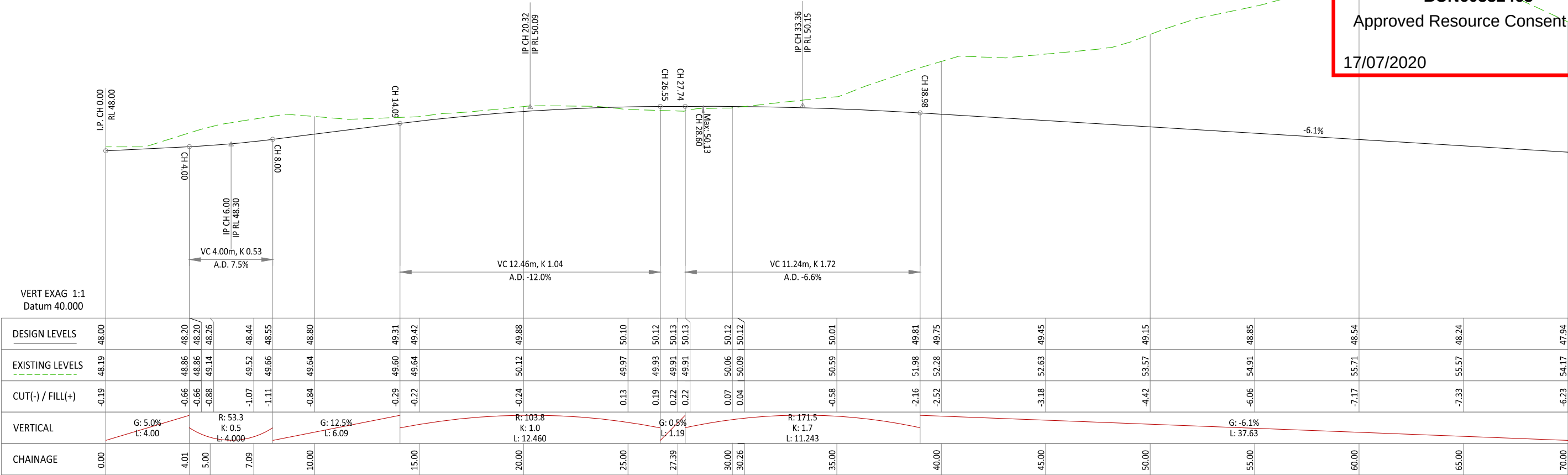
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CONSENT ISSUE

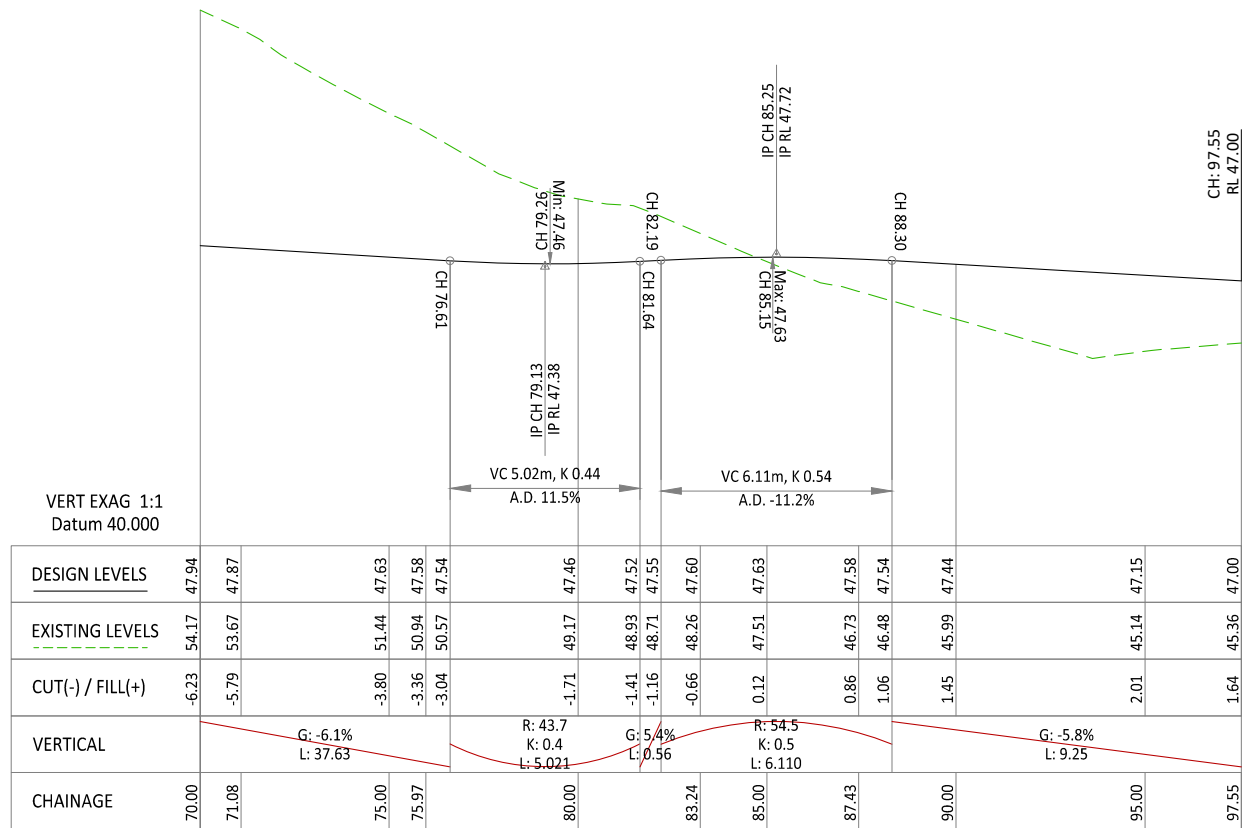
envivo
ENGINEERING SURVEYING PLANNING
envivo ltd po box 109 207 newmarket auckland 1149
+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	PROPOSED JOAL LONG SECTION SHEET 1 OF 2
PROJECT	30030 CIV - 00 XX - DRC - 0420 - PR 1.1
ORIG.	
ZONE	
LOC.	
TYPE	
RL	
DRG No.	
SUIT.	
REV	
SCALE @ A1	1:100
SCALE @ A3	1:200
DATE	



JOAL 41 LONG SECTION



JOAL 41 LONG SECTION

NOTES:

1. REFER TO DRAWING 30030-0400 FOR DRIVEWAY PLAN
2. REFER TO DRAWING 30030-0440 & 0441 FOR DRIVEWAY CROSS SECTIONS.
3. REFER TO DRAWING 30030-0450 FOR TYPICAL DRIVEWAY CROSS SECTIONS.

SCALE 1:100 (A1)
SCALE 1:200 (A3)

2 1 0 2 4 6 8 10m

REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
2.0	MA	28/01/20	BK	UPDATED LAYOUT

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CONSENT ISSUE



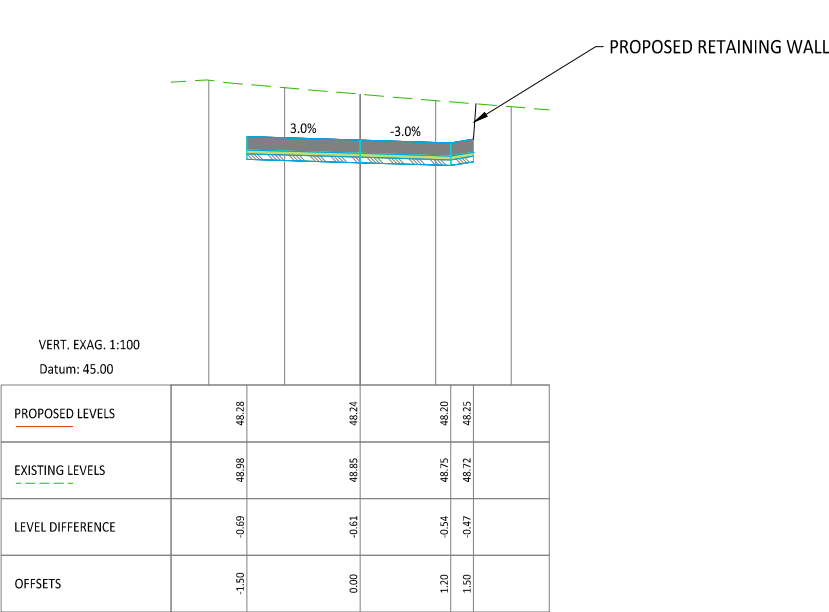
DRAWN	DRAWING CHECK
JDP	AB
DESIGNED	DES. REVIEW
AM	TT
REVIEWED	APPROVED
DATE	DATE
17/12/18	17/12/18

PROJECT/LOCATION	TITLE
6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND	PROPOSED JOAL LONG SECTION SHEET 2 OF 2
CLIENT	
FAIRVIEW ESTATE INVESTMENTS	
CERTIFICATE OF TITLE	ZONING

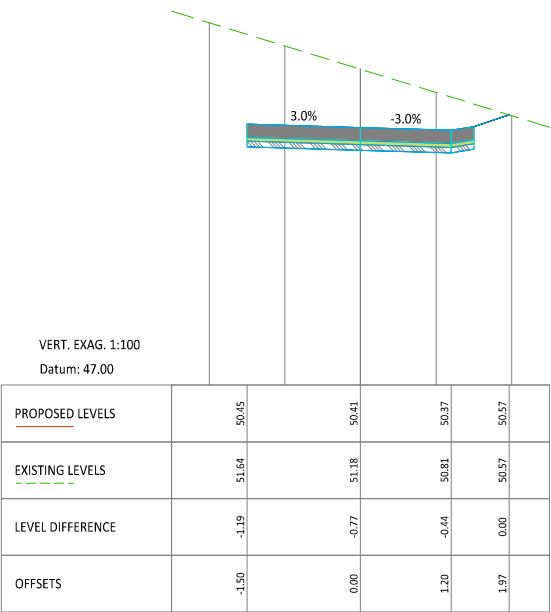
TITLE								
PROPOSED JOAL LONG SECTION SHEET 2 OF 2								
PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV.
30030	CIV	- 00	XX	- DRC	- 0421	- PR	2.0	
SCALE @ A1	SCALE @ A3	SHEET NO.	SHEET TOTAL					DATE
1:100	1:200	20	43					

NOTES:

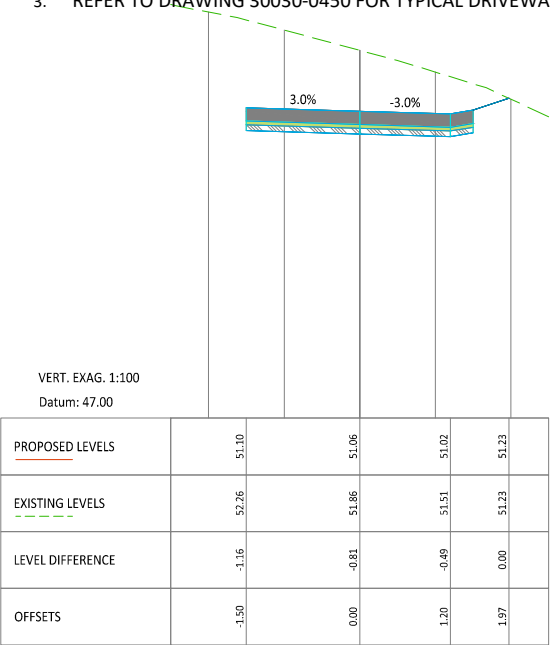
- 1. REFER TO DRAWING 30030-0400 FOR DRIVEWAY PLAN
- 2. REFER TO DRAWING 30030-0420 & 0421 FOR DRIVEWAY LONG SECTION.
- 3. REFER TO DRAWING 30030-0450 FOR TYPICAL DRIVEWAY CROSS SECTIONS.



LOTS 1-5 ACCESS - CH: 20.00



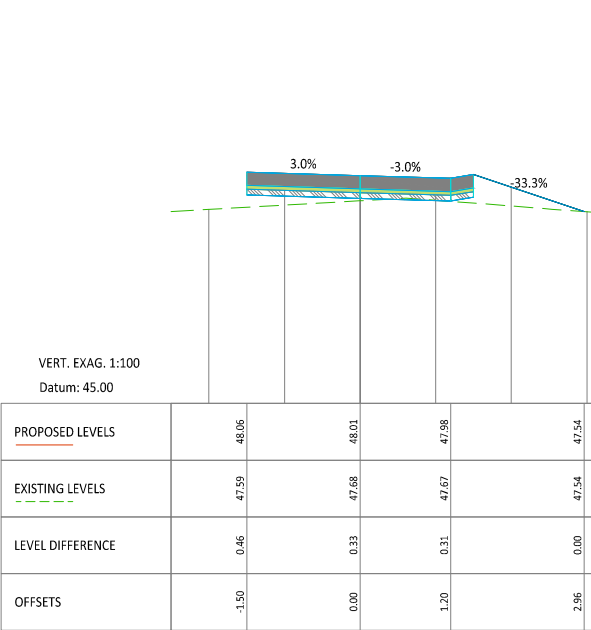
LOTS 1-5 ACCESS - CH: 40.00



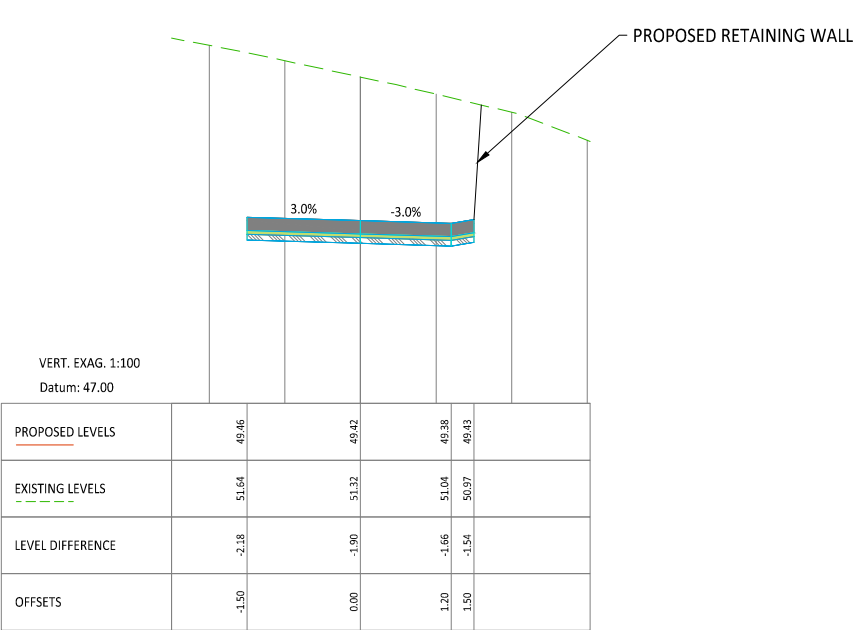
LOTS 1-5 ACCESS - CH: 60.00



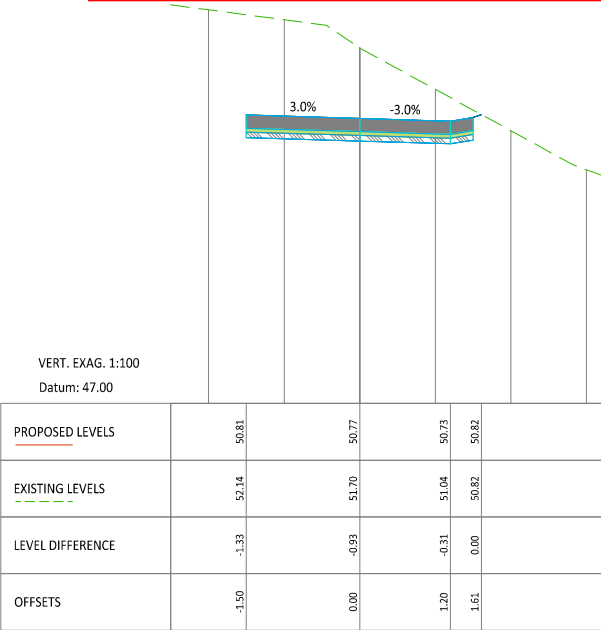
BUN60332463
Approved Resource Consent Plan
17/07/2020



LOTS 1-5 ACCESS - CH: 10.00

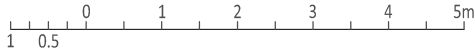


LOTS 1-5 ACCESS - CH: 30.00



LOTS 1-5 ACCESS - CH: 50.00

SCALE 1:50 (A1)
SCALE 1:100 (A3)



DATE: 7/20/2019 2:38:11 PM LOGIN NAME: MAUD ANVARI LOCATION: V:\30030 - 6 MCMENAMIN PLACE, FAIRVIEW HEIGHTS\Engineering - CIV\CADD\Draw\Resource Consent\30030 - CIV - DRC - PR - 0400 - 10.dwg

REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	AM	12/06/19	CS	UPDATED LAYOUT

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ENGINEERING SURVEYING PLANNING
envivo ltd po box 109 207 newmarket auckland 1149
+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

DRAWN	DRAWING CHECK
JDP	AB
DESIGNED	DES. REVIEW
AM	TT
REVIEWED	APPROVED
DATE	DATE
17/12/18	17/12/18

PROJECT/LOCATION	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
CUSTOMER	FAIRVIEW ESTATE INVESTMENTS
CERTIFICATE OF TITLE	ZONING
17/12/18	17/12/18

TITLE	PROPOSED LOTS 1-5 ACCESS CROSS SECTION SHEET 1 OF 2
PROJECT	30030 CIV - 00 XX - DRC - 0440 - PR 1.1
SCALE @ A1	1:50
SCALE @ A3	1:100
DATE	17/12/18

NOTES:

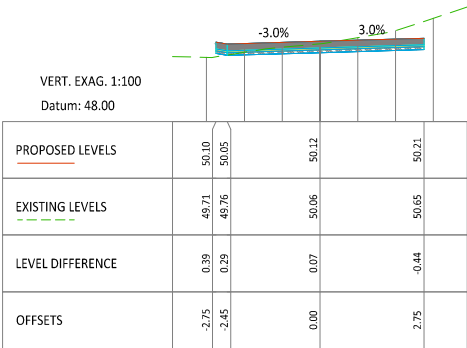
- 1. REFER TO DRAWING 30030-0400 FOR DRIVEWAY PLAN
- 2. REFER TO DRAWING 30030-0420 & 0421 FOR DRIVEWAY LONG SECTION.
- 3. REFER TO DRAWING 30030-0450 FOR TYPICAL DRIVEWAY CROSS SECTIONS.



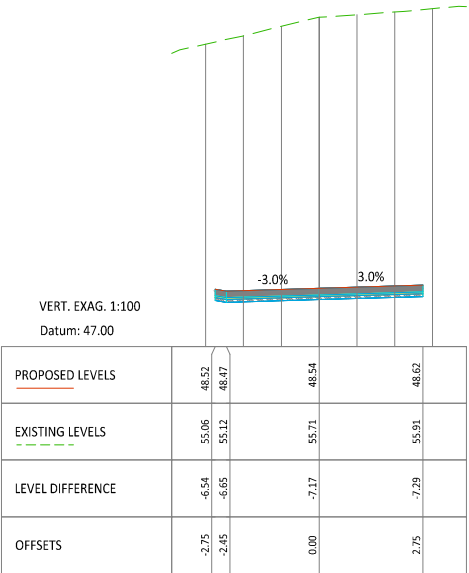
BUN60332463

Approved Resource Consent Plan

17/07/2020



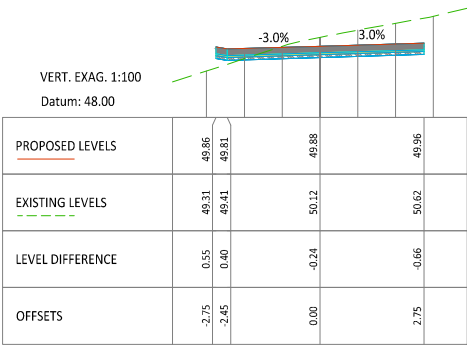
JOAL 41 - CH: 30.00



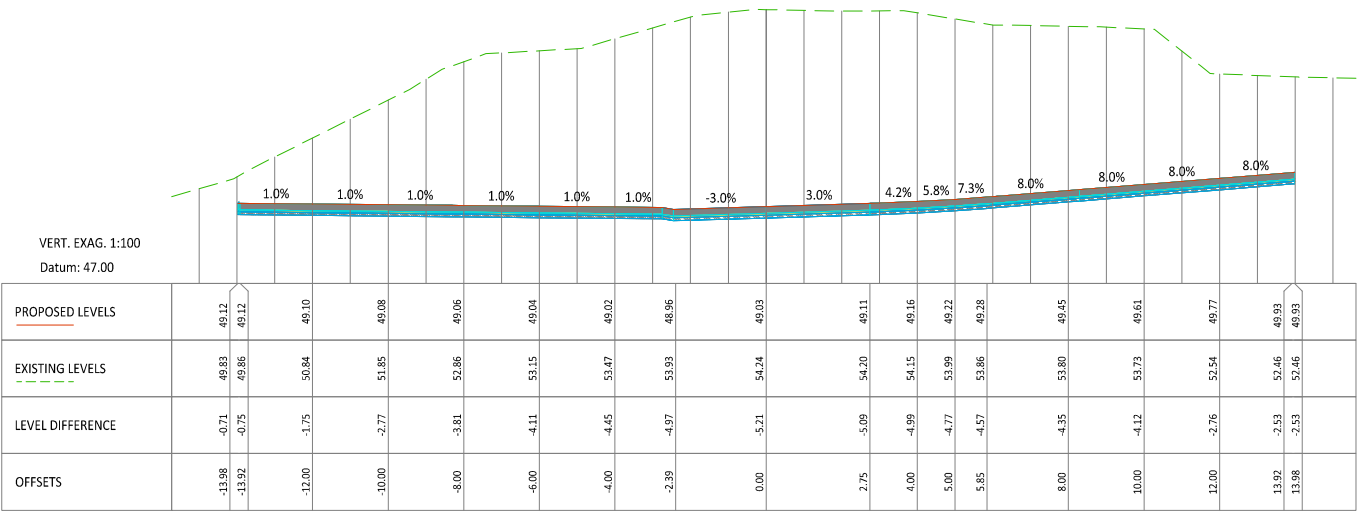
JOAL 41 - CH: 60.00



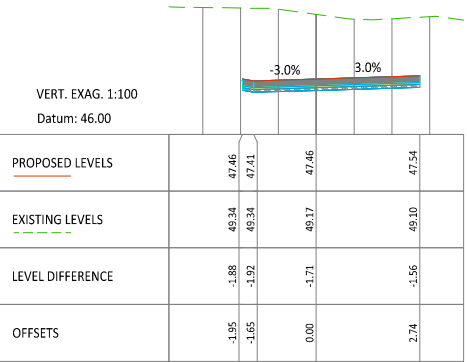
JOAL 41 - CH: 90.00



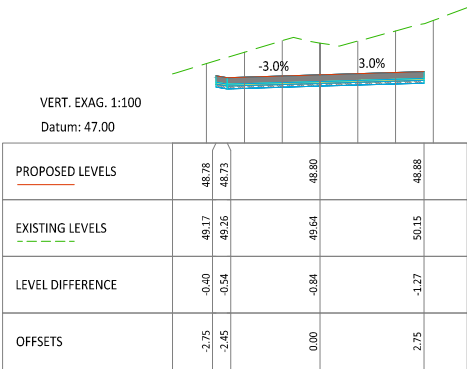
JOAL 41 - CH: 20.00



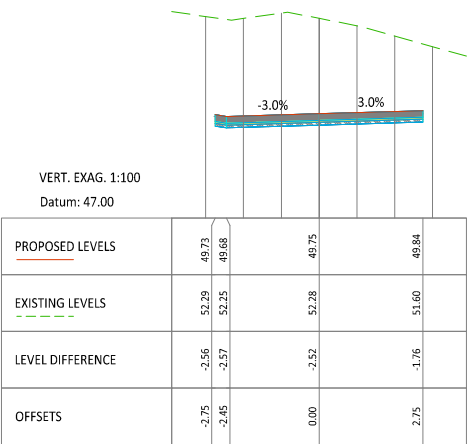
JOAL 41 - CH: 51.95



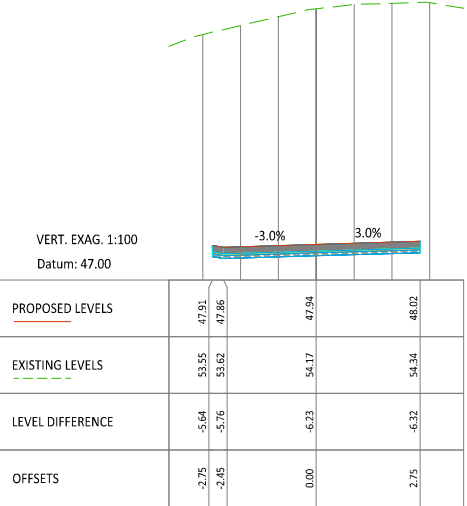
JOAL 41 - CH: 80.00



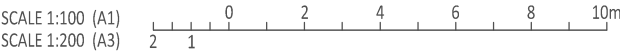
JOAL 41 - CH: 10.00



JOAL 41 - CH: 40.00



JOAL 41 - CH: 70.00



DATE: 17/12/2018 3:16:55 PM LOGIN NAME: JAY PAICHANU LOCATION: V:\30030 - 6 MCMENAMIN PLACE FAIRVIEW HEIGHTS\Engineering - CIVICAD\Drawings\Resource Consent\30030 - CIV - DRC - PR - 0400 - 1.dwg

REV	BY	DATE	APP'D	REVISION/COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE

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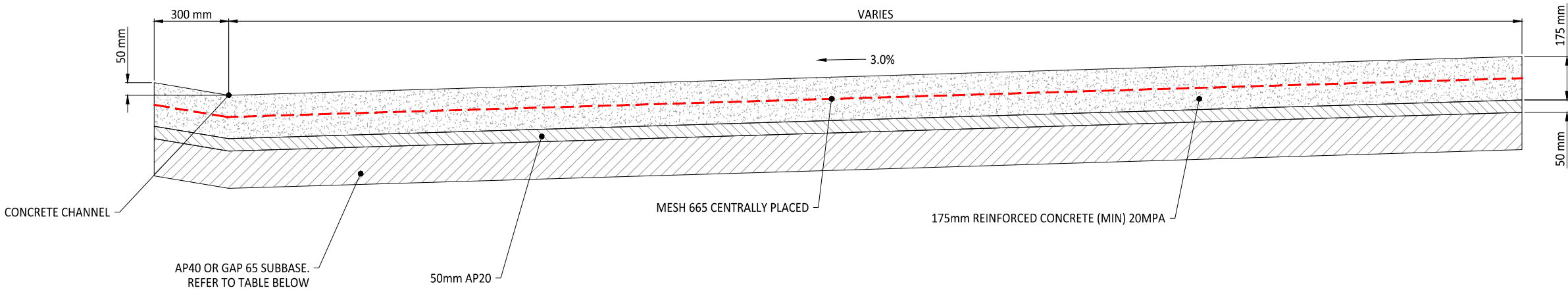
CONSENT ISSUE



DRAWN	DRAWING CHECK
JDP	AB
DESIGNED	DES. REVIEW
AM	TT
REVIEWED	APPROVED
DATE	DATE
17/12/18	17/12/18

PROJECT/LOCATION	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
CLIENT	FAIRVIEW ESTATE INVESTMENTS
CERTIFICATE OF TITLE	
ZONING	

TITLE	PROPOSED JOAL 41 CROSS SECTION SHEET 2 OF 2
PROJECT	30030 CIV - 00 XX - DRC - 0441 - PR
ORIG.	SCALE @ A1
ZONE	1:100
LOC.	
TYPE	
RL	
DRG No.	
SUIT.	
REV	1.0



TYPICAL DRIVEWAY CROSS SECTION
SCALE 1:10 (A1)

SUBGRADE CBR	SUBBASE REQUIRED
≥ 7	0
5	75
≤ 3	100

- NOTES:
- REFER TO DRAWING 30030-0400 FOR DRIVEWAY PLAN
 - REFER TO DRAWING 30030-0420 & 0421 FOR DRIVEWAY LONG SECTION.
 - REFER TO DRAWING 30030-0440 & 0441 FOR DRIVEWAY CROSS SECTIONS.



DATE: 17/12/2018 3:17:10 PM LOGIN NAME: JAY PAICHANU LOCATION: V:\30030 - 6 MCMENAMIN PLACE, Fairview Heights\Engineering - CIV\CAD\Drawings\Resource Consent\30030 - CIV - DRC - PR - 0400 - 1.0.dwg

REV	BY	DATE	APP'D	REVISION/COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE

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CONSENT ISSUE



DRAWN	DRAWING CHECK
JDP	AB
DESIGNED	DES. REVIEW
AM	TT
REVIEWED	APPROVED
DATE	DATE
17/12/18	17/12/18

PROJECT/LOCATION	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
CLIENT	FAIRVIEW ESTATE INVESTMENTS
CERTIFICATE OF TITLE	
ZONING	

TITLE	PROPOSED JOAL TYPICAL DRIVEWAY CROSS SECTION
PROJECT	30030 CIV - 00XX - DRC - 0450 - PR 1.0
ORIG.	
ZONE	
LOC.	
TYPE	
RL	
DRG No.	
SUIT.	
REV	
SCALE @ A1	1:10
SCALE @ A3	1:20
DATE	

NOTES:

1. REFER TO DRAWING 30030-0520 & 0550 FOR STORMWATER AND WASTE WATER PLAN
2. REFER TO DRAWING 30030-0523,0524, 0553 & 0554 FOR STORMWATER AND WASTE WATER LONG SECTIONS.
3. ALL PRIVATE STORMWATER LINES TO BE 150mmØ uPVC SN 16 PIPES UNLESS NOTIFIED OTHERWISE .
4. ALL PRIVATE SANITARY SEWER PIPES TO BE 100mmØ UPVC SN16 UNLESS NOTIFIED OTHERWISE.
5. ALL PRIVATE STORMWATER AND SANITARY SEWER LINES TO BE AT 1:60 MINIMUM GRADE
6. UNLESS OTHERWISE STATED, ALL WORK SHALL COMPLY WITH THE BUILDING CODES, AUCKLAND COUNCIL, WATERCARE AND NZS4404 STANDARDS AS APPLICABLE
7. CONTRACTOR IS TO OBTAIN EXISTING PUBLIC SERVICES MARKOUT AND PILOT TO LOCATE BOTH PUBLIC AND PRIVATE DEVICES PRIOR TO EXCAVATION.
8. CONTRACTOR MUST TAKE ALL CARE NOT TO DAMAGE EXISTING SERVICES - PUBLIC OR PRIVATE.
9. PRIOR TO WORK COMMENCING ONSITE, CONSENT IS REQUIRED FROM VECTOR TO CARRY OUT WORK BELOW OVERHEAD POWERLINES, IN THE VICINITY OF HIGH PRESSURE GAS LINES, FIBRE OPTIC CABLES & OTHER UNDERGROUND SERVICES.
10. PRIOR TO WORK COMMENCING ONSITE, CONSENT IS REQUIRED FROM WATERCARE TO CARRY OUT WORK WITHIN 10 METRES OF WATERCARE PIPELINES.
11. CONTRACTORS TO ADVISE ENGINEER AT START OF JOB AND PRIOR TO BACKFILL TO ALLOW NECESSARY INSPECTION.
12. NO CERTIFICATIONS FOR "AS BUILT" PLANS OR PAYMENT WILL BE MADE WITHOUT THESE INSPECTIONS TAKING PLACE.



BUN60332463

Approved Resource Consent Plan

17/07/2020

LEGEND

- SITE BOUNDARY
- WW --- EXISTING PUBLIC WASTEWATER PIPE
- SW --- EXISTING PUBLIC STORMWATER PIPE
- PROPOSED PUBLIC WASTEWATER PIPE
- PROPOSED PUBLIC STORMWATER PIPE
- PVT---PVT---PVT--- PROPOSED PRIVATE WASTEWATER PIPE
- PVT---PVT---PVT--- PROPOSED PRIVATE STORMWATER PIPE
- EXISTING PUBLIC WASTEWATER MANHOLE
- EXISTING PUBLIC STORMWATER MANHOLE
- PROPOSED PUBLIC WASTEWATER MANHOLE
- PROPOSED PUBLIC STORMWATER MANHOLE
- PROPOSED PRIVATE STORMWATER CATCHPIT

SCALE 1:400 (A1)
SCALE 1:800 (A3)



REV	BY	DATE	APP'D	REVISION/COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
2.0	MA	29/05/19	TT	CONSENT ISSUE
2.1	MA	24/06/19	BK	CONSENT ISSUE
2.2	AM	10/09/19	TT	UPDATED LAYOUT
3.0	MA	28/01/20	BK	UPDATED DRAINAGE

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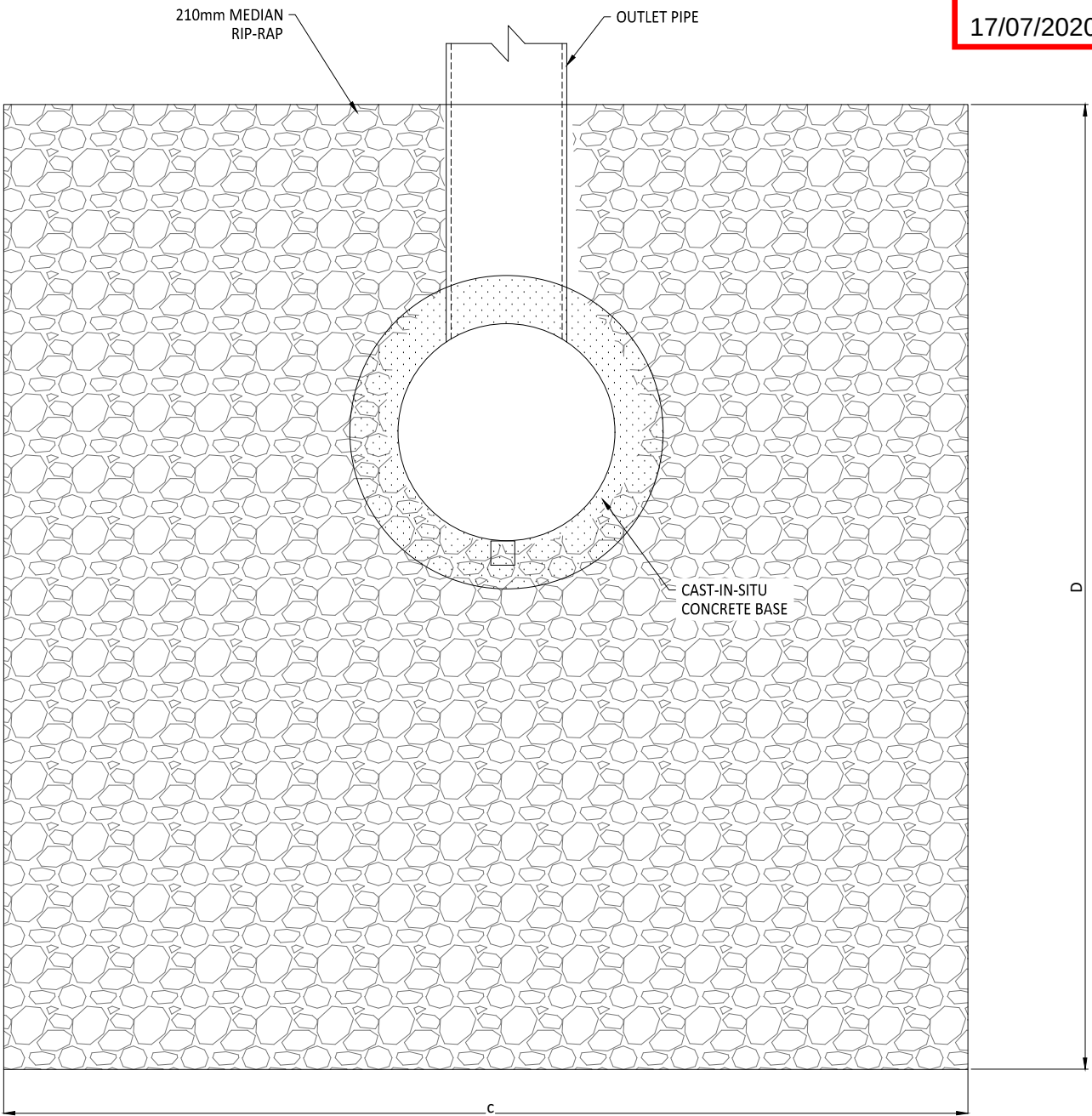
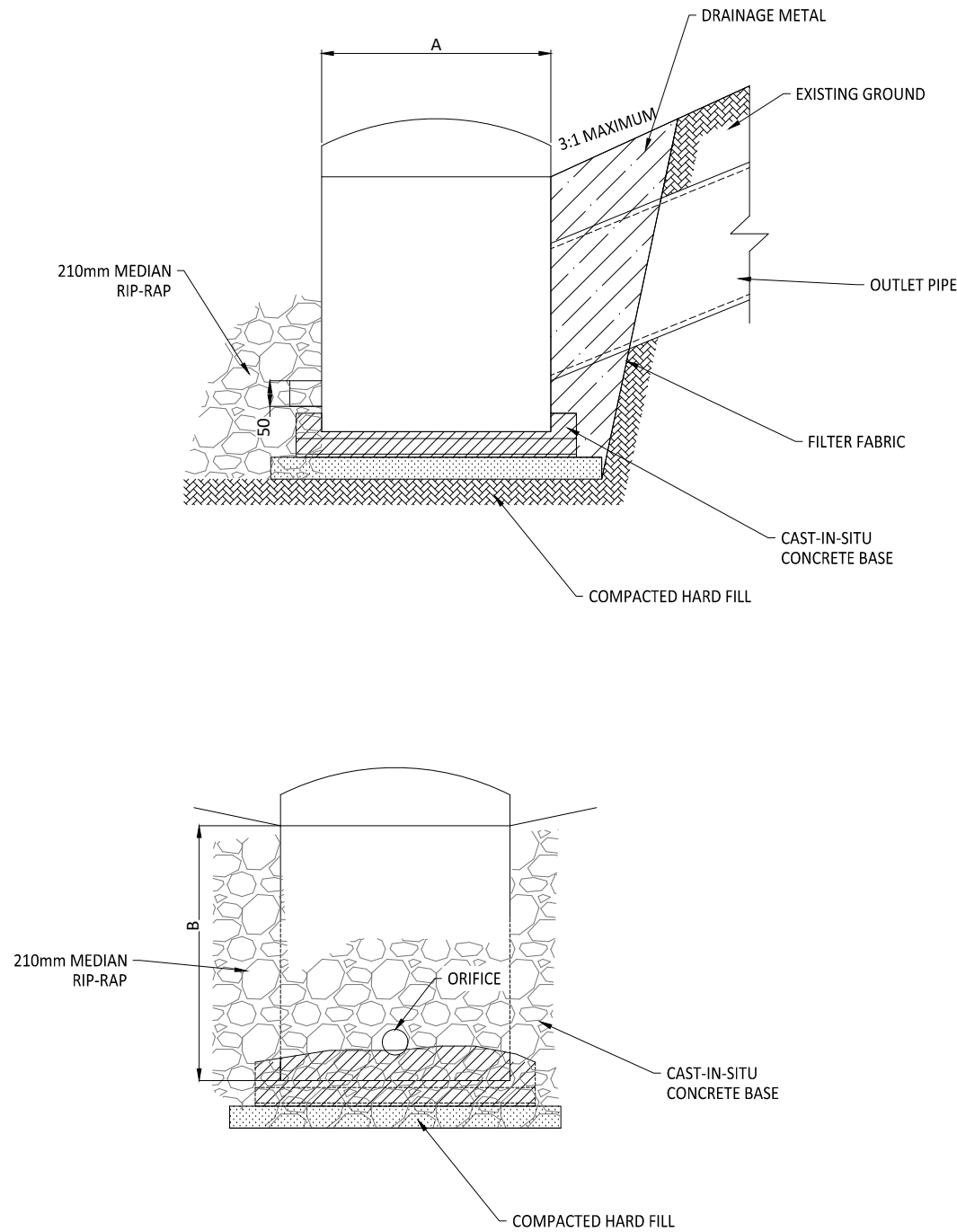
CONSENT ISSUE

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+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

DRAWN	DRAWING CHECK
JDP	AB
DESIGNED	DES. REVIEW
AM	TT
REVIEWED	APPROVED
DATE	DATE
17/12/18	17/12/18

PROJECT/LOCATION	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
CLIENT	FAIRVIEW ESTATE INVESTMENTS
CERTIFICATE OF TITLE	
ZONING	

TITLE	PROPOSED DRAINAGE OVERALL PLAN
PROJECT	30030 CIV - 00 XX - DRC - 0500 - PR 3.0
ORIG.	
ZONE	
LOC.	
TYPE	
RL	
DRG No.	
SUIT.	
REV	
SCALE @ A1	1:400
SCALE @ A3	1:800
DATE	



OUTLET STRUCTURE	Dimension			
	A (mm)	B (mm)	C (mm)	D (mm)
SW OUTFALL 01	1500	1750	3676	7176
SW OUTFALL 01	1050	1350	3200	5350

DATE: 6/25/2019 10:55:55 AM LOGIN NAME: MAJID ANJARI LOCATION: V:\30030 - 6 McMenamin Place, Fairview Heights\Engineering - Civil\CAD\Draw Resource Consent\30030 - CIV - DRC - PR - 0500 - 504 - 581.dwg

REV	BY	DATE	APP'D	REVISION/COMMENTS
1.0	TT	29/05/19	BK	CONSENT ISSUE

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DRAWN	DRAWING CHECK	PROJECT/LOCATION
TT	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
TT	BK	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
29/05/19	29/05/19	

TITLE	STORMWATER OUTFALL DETAILS PLAN
PROJECT	30030 CIV - 00XX - DRC - 504 - PR 1.0
ORIG.	N.T.S.
ZONE	
LOC.	
TYPE	
RL	
DRG No.	
SUIT.	
REV	
DATE	

NOTES:

1. REFER TO DRAWING 30030-0520 & 0550 FOR STORMWATER AND WASTE WATER PLAN
2. REFER TO DRAWING 30030-0523,0524, 0553 & 0554 FOR STORMWATER AND WASTE WATER LONG SECTIONS.
3. ALL PRIVATE STORMWATER LINES TO BE 150mmØ uPVC SN 16 PIPES UNLESS NOTIFIED OTHERWISE .
4. ALL PRIVATE SANITARY SEWER PIPES TO BE 100mmØ UPVC SN16 UNLESS NOTIFIED OTHERWISE.
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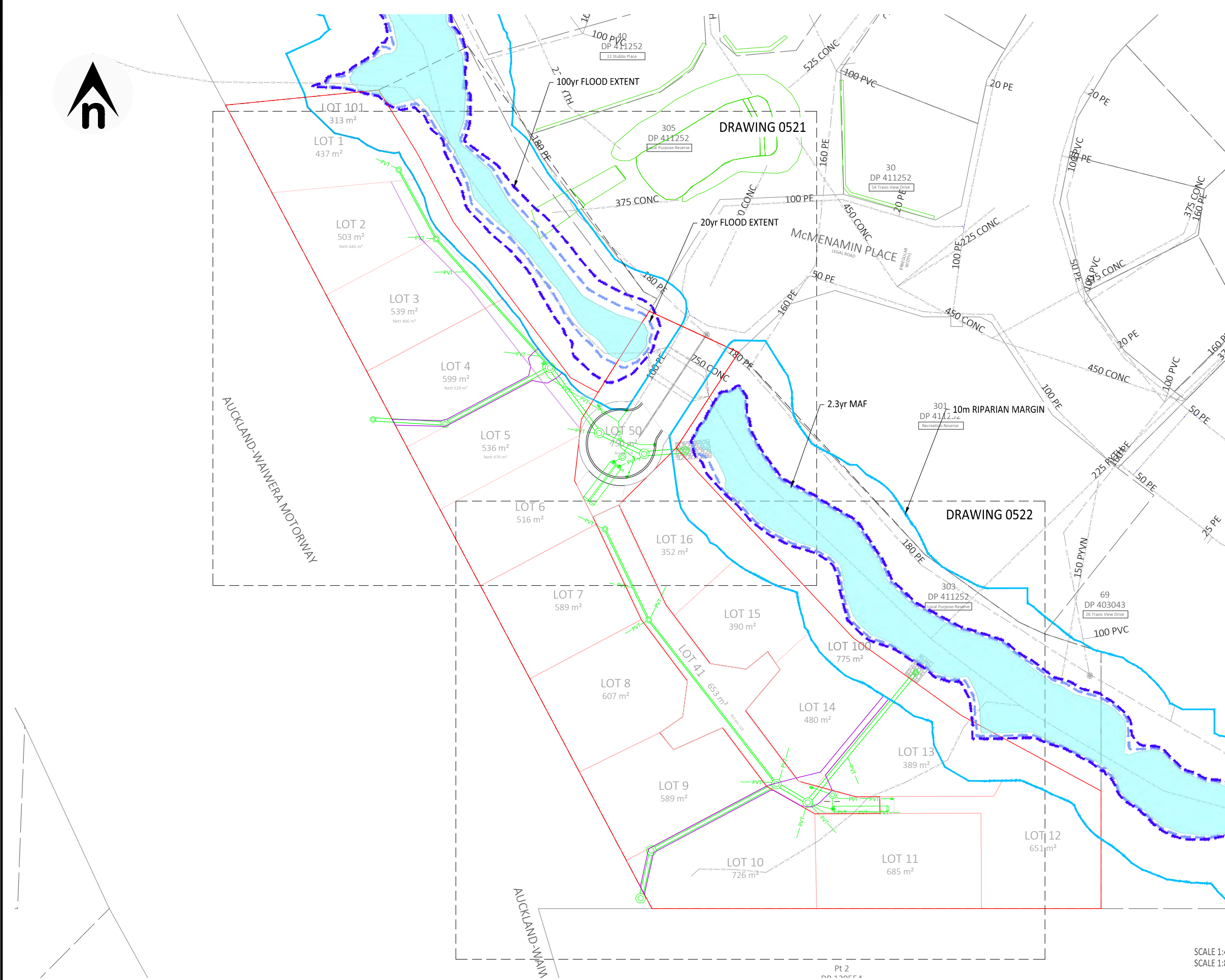
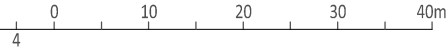
Approved Resource Consent Plan

17/07/2020

LEGEND

- SITE BOUNDARY
- WW --- EXISTING PUBLIC WASTEWATER PIPE
- SW --- EXISTING PUBLIC STORMWATER PIPE
- PROPOSED PUBLIC STORMWATER PIPE
- PVT---PVT--- PROPOSED PRIVATE STORMWATER PIPE
- EXISTING PUBLIC WASTEWATER MANHOLE
- EXISTING PUBLIC STORMWATER MANHOLE
- PROPOSED PUBLIC STORMWATER MANHOLE
- PROPOSED PRIVATE STORMWATER CATCHPIT

SCALE 1:400 (A1)
SCALE 1:800 (A3)



REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	MA	24/06/19	BK	CONSENT ISSUE
1.2	AM	10/09/19	TT	UPDATED LAYOUT
3.0	MA	28/01/20	BK	UPDATED DRAINAGE

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+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	PROPOSED STORMWATER OVERALL PLAN
PROJECT	30030 CIV - 00 XX - DRC - 0520 - PR 3.0
ORIG.	
ZONE	
LOC.	
TYPE	
RL	
DRG No.	
SUIT.	
REV	
SCALE @ A1	1:400
SCALE @ A3	1:800
DATE	

NOTES:

1. REFER TO DRAWING 30030-0520 & 0550 FOR STORMWATER AND WASTE WATER PLAN
2. REFER TO DRAWING 30030-0523,0524, 0553 & 0554 FOR STORMWATER AND WASTE WATER LONG SECTIONS.
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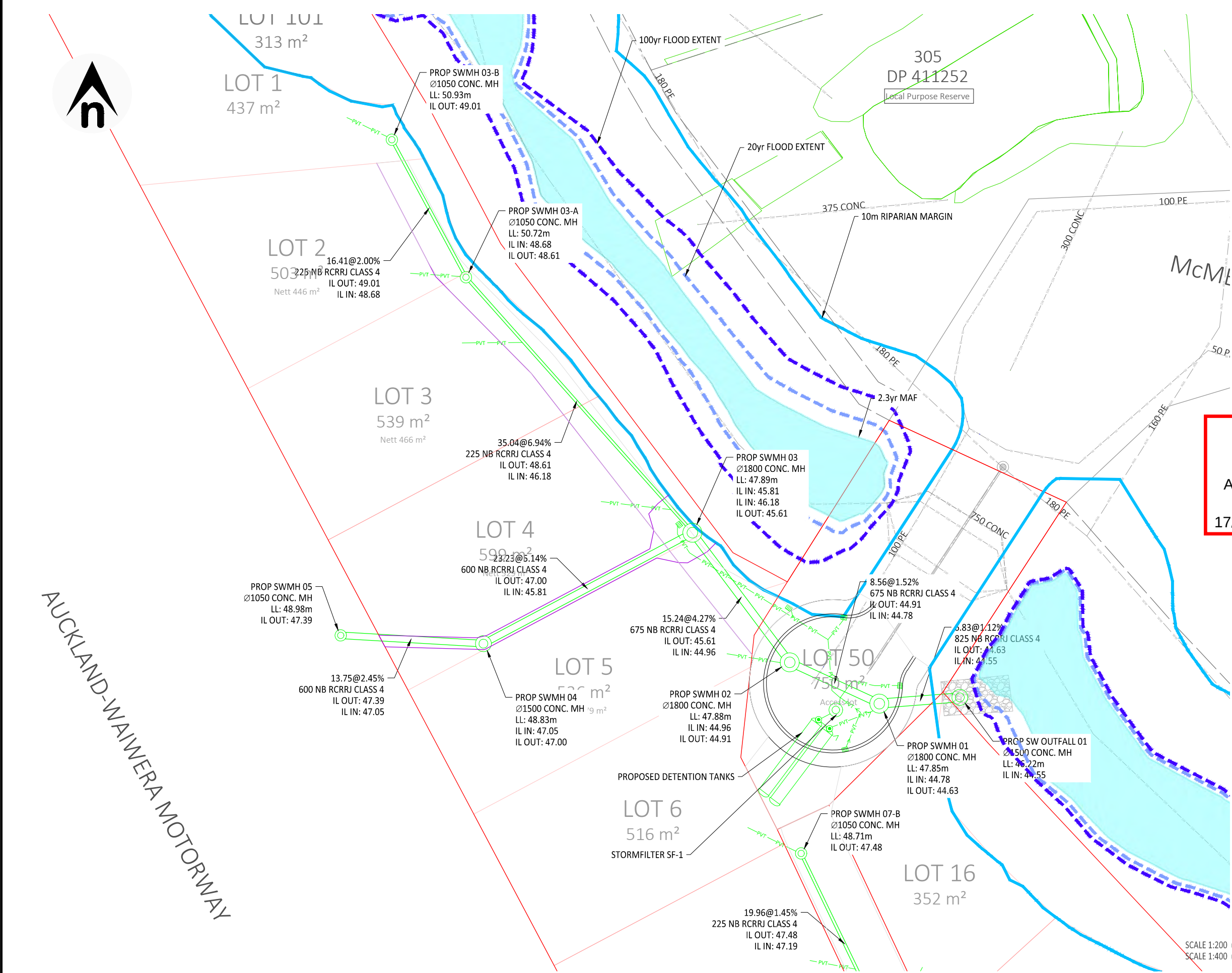
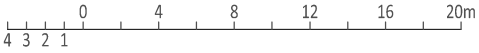
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17/07/2020

LEGEND

- SITE BOUNDARY
- WW --- EXISTING PUBLIC WASTEWATER PIPE
- SW --- EXISTING PUBLIC STORMWATER PIPE
- PROPOSED PUBLIC STORMWATER PIPE
- PVT --- PVT --- PROPOSED PRIVATE STORMWATER PIPE
- EXISTING PUBLIC WASTEWATER MANHOLE
- EXISTING PUBLIC STORMWATER MANHOLE
- PROPOSED PUBLIC STORMWATER MANHOLE
- PROPOSED PRIVATE STORMWATER CATCHPIT

SCALE 1:200 (A1)
SCALE 1:400 (A3)



REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
2.0	MA	29/05/19	TT	CONSENT ISSUE
2.1	MA	24/06/19	BK	CONSENT ISSUE
2.2	AM	10/09/19	TT	UPDATED LAYOUT
3.0	MA	28/01/20	BK	UPDATED DRAINAGE

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DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CUSTOMER
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	PROPOSED STORMWATER PLAN SHEET 1 OF 2
PROJECT	30030 CIV - 00 XX - DRC - 0521 - PR 3.0
ORIG.	
ZONE	
LOC.	
TYPE	
RL	
DRG No.	
SUIT.	
REV	
SCALE @ A1	1:200
SCALE @ A3	1:400
DATE	

NOTES:

1. REFER TO DRAWING 30030-0520 & 0550 FOR STORMWATER AND WASTE WATER PLAN
2. REFER TO DRAWING 30030-0523,0524, 0553 & 0554 FOR STORMWATER AND WASTE WATER LONG SECTIONS.
3. ALL PRIVATE STORMWATER LINES TO BE 150mmØ uPVC SN 16 PIPES UNLESS NOTIFIED OTHERWISE .
4. ALL PRIVATE SANITARY SEWER PIPES TO BE 100mmØ UPVC SN16 UNLESS NOTIFIED OTHERWISE.
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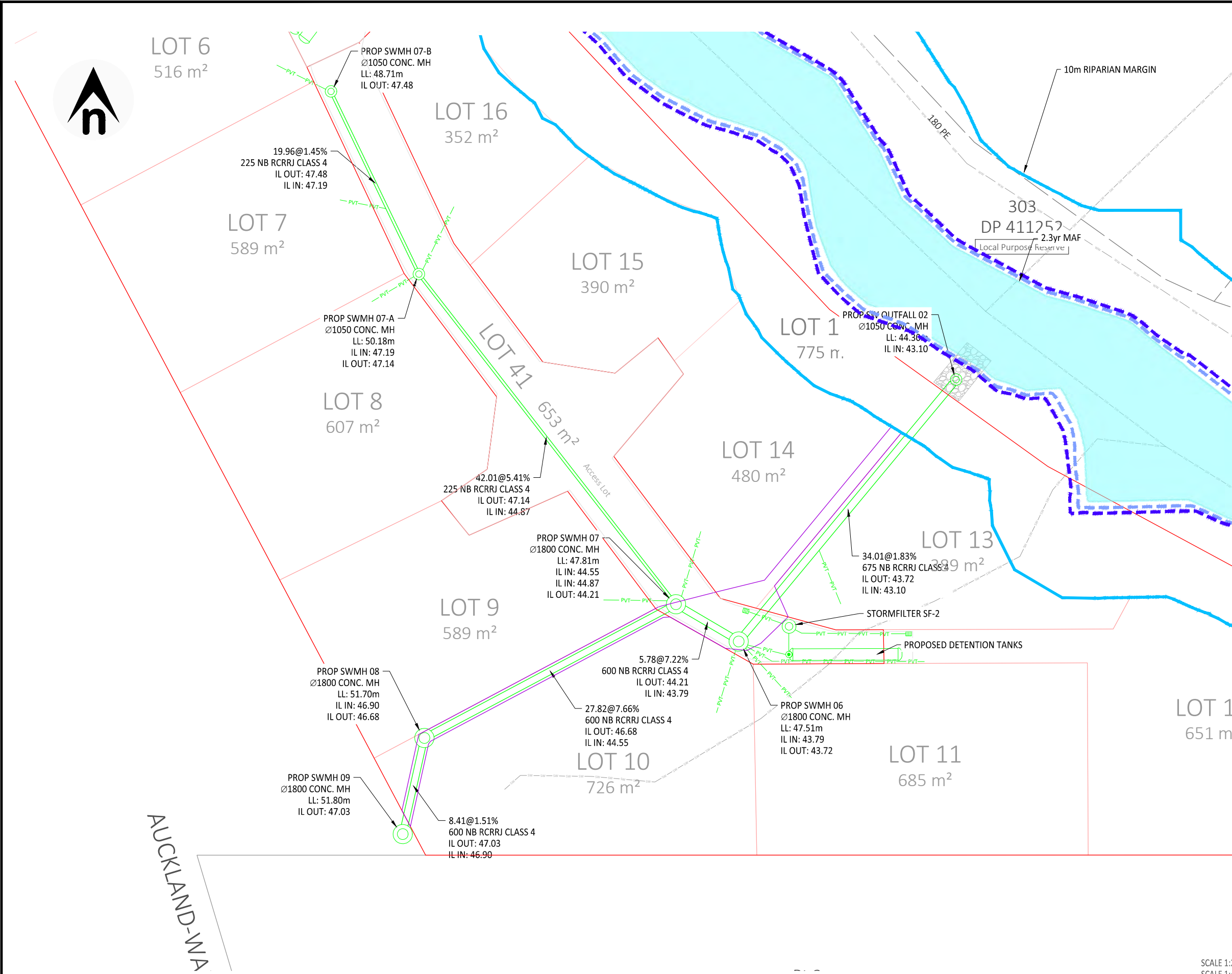
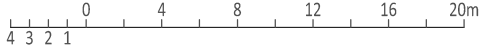
Approved Resource Consent Plan

17/07/2020

LEGEND

- SITE BOUNDARY
- WW --- EXISTING PUBLIC WASTEWATER PIPE
- SW --- EXISTING PUBLIC STORMWATER PIPE
- PROPOSED PUBLIC STORMWATER PIPE
- PVT --- PROPOSED PRIVATE STORMWATER PIPE
- EXISTING PUBLIC WASTEWATER MANHOLE
- EXISTING PUBLIC STORMWATER MANHOLE
- PROPOSED PUBLIC STORMWATER MANHOLE
- PROPOSED PRIVATE STORMWATER CATCHPIT

SCALE 1:200 (A1)
SCALE 1:400 (A3)



REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
2.0	MA	29/05/19	TT	CONSENT ISSUE
2.1	MA	24/06/19	BK	CONSENT ISSUE
3.0	MA	28/01/20	BK	UPDATED DRAINAGE

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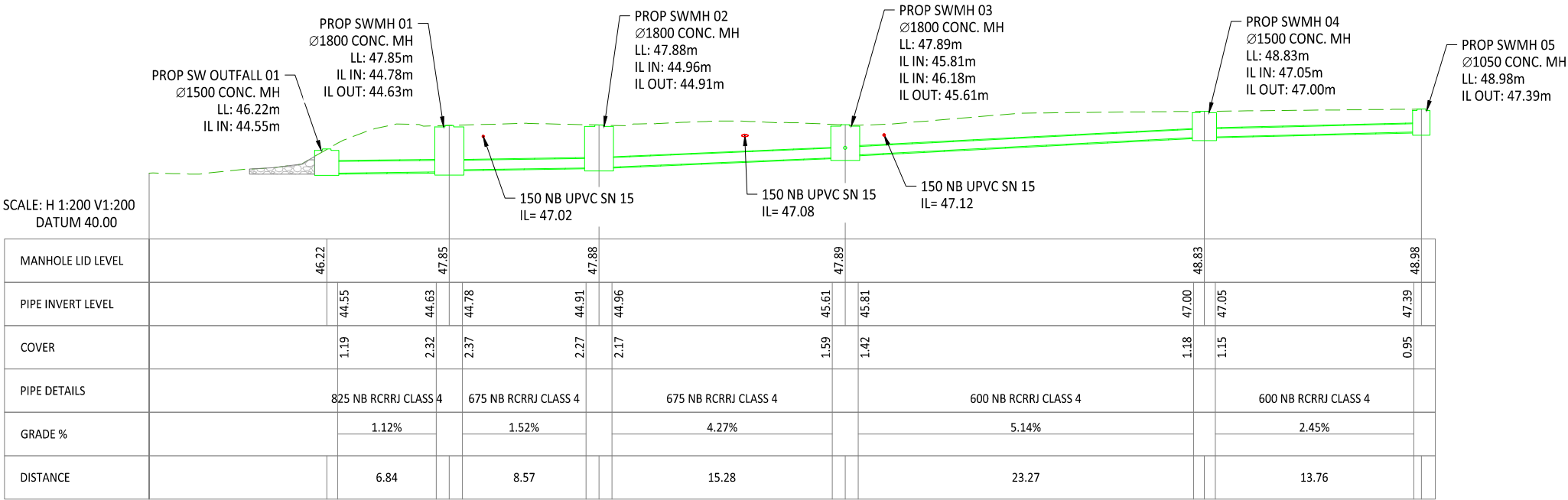
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+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

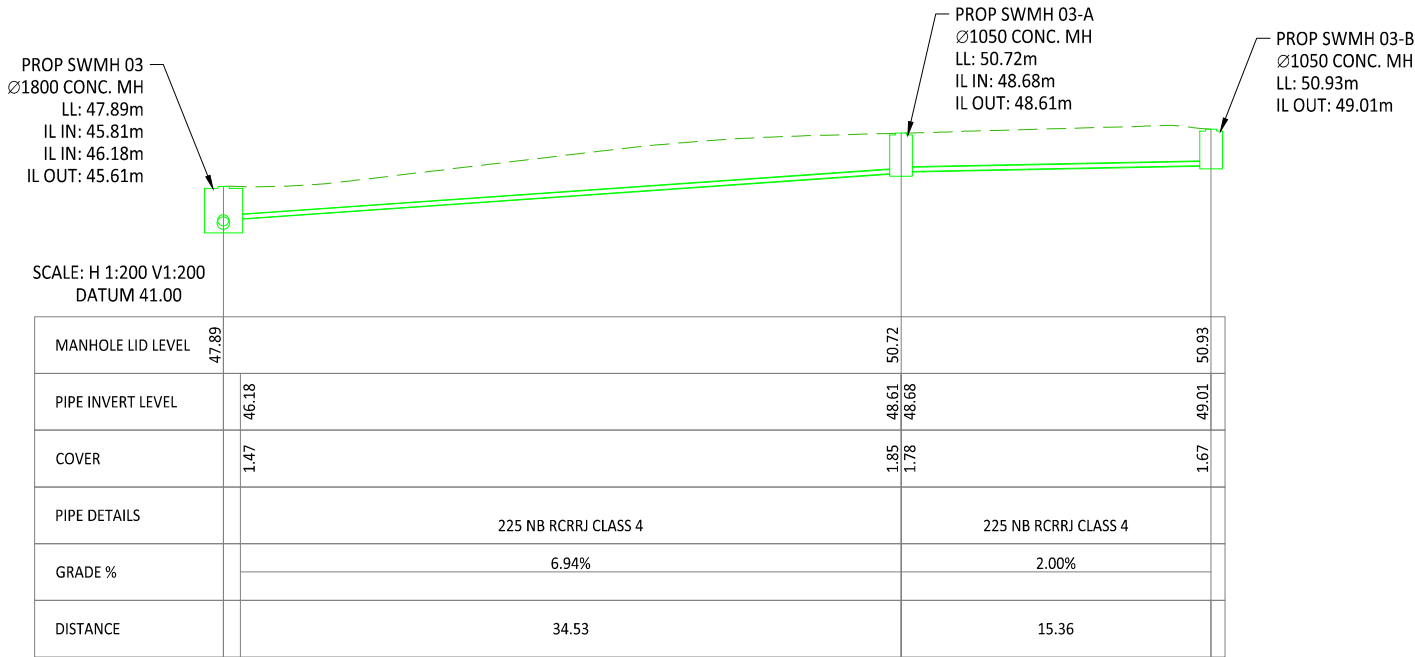
TITLE	PROPOSED STORMWATER PLAN SHEET 2 OF 2
PROJECT	30030 CIV - 00 XX - DRC - 0522 - PR 3.0
ORIG.	SCALE @ A1
ZONE	SCALE @ A3
LOC.	SCALE @ A3
TYPE	SCALE @ A3
RL	SCALE @ A3
DRG No.	SCALE @ A3
SUIT.	SCALE @ A3
REV	SCALE @ A3

NOTES:

- 1. REFER TO DRAWING 30030-0520 & 0550 FOR STORMWATER AND WASTE WATER PLAN
- 2. REFER TO DRAWING 30030-0523,0524, 0553 & 0554 FOR STORMWATER AND WASTE WATER LONG SECTIONS.
- 3. ALL PRIVATE STORMWATER LINES TO BE 150mmØ uPVC SN 16 PIPES UNLESS NOTIFIED OTHERWISE .
- 4. ALL PRIVATE SANITARY SEWER PIPES TO BE 100mmØ UPVC SN16 UNLESS NOTIFIED OTHERWISE.
- 5. ALL PRIVATE STORMWATER AND SANITARY SEWER LINES TO BE AT 1:60 MINIMUM GRADE
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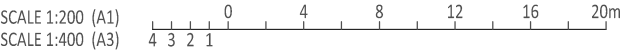
JOAL 40 - PROPOSED STORMWATER 01 LONG SECTION



JOAL 40 - PROPOSED STORMWATER 02 LONG SECTION



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Approved Resource Consent Plan
17/07/2020



DATE: 4/10/2019 5:14:33 PM LOGIN NAME: ANDRE MENZIES
LOCATION: I:\enviro\1300030030 - 6 Mckenam Place, Fairview Heights\Engineering - Civil\CAD\Draw\Resource Consent\30030 - CIV - DRC - PR - 0500 - 31.dwg

REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSISTENT ISSUE
2.0	MA	29/05/19	TT	CONSISTENT ISSUE
2.1	AM	10/09/19	TT	UPDATED LAYOUT

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CONSENT ISSUE



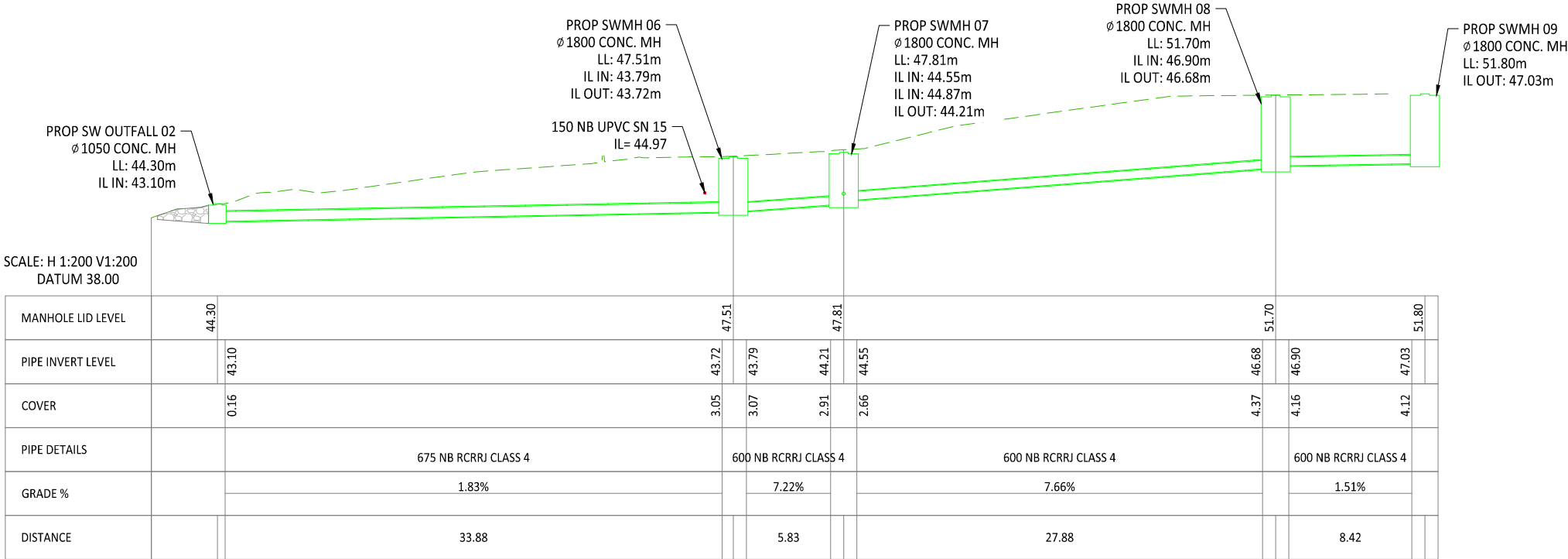
ENGINEERING SURVEYING PLANNING
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+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

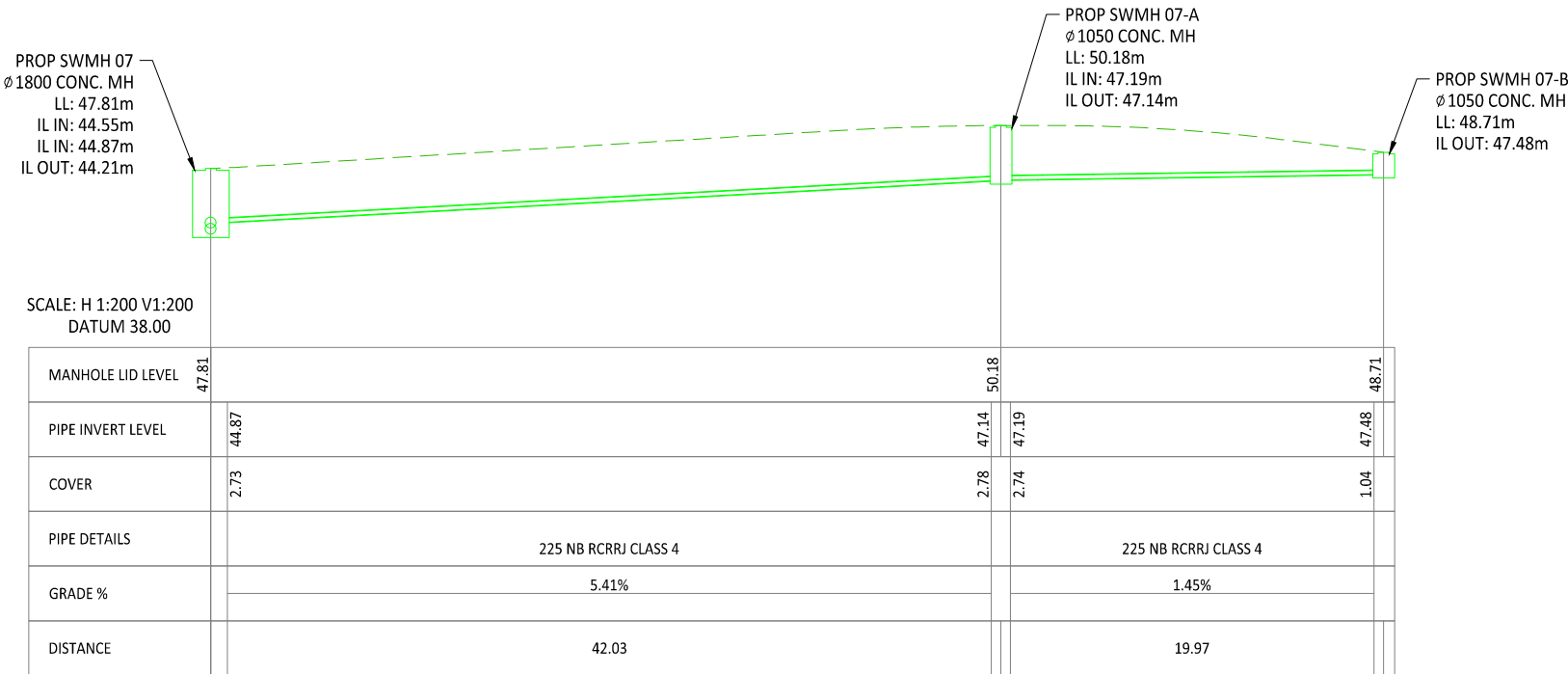
TITLE								
PROPOSED STORMWATER LONG SECTION SHEET 1 OF 2								
PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV.
30030 CIV	-	00	XX	-	DRC	0523	-	PR 2.1
SCALE @ A1	SCALE @ A3	SHEET NO.	SHEET TOTAL	DATE				
1:200	1:400	29	43	Page 29 of 43				

NOTES:

- 1. REFER TO DRAWING 30030-0520 & 0550 FOR STORMWATER AND WASTE WATER PLAN
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- 8. CONTRACTOR MUST TAKE ALL CARE NOT TO DAMAGE EXISTING SERVICES - PUBLIC OR PRIVATE.
- 9. PRIOR TO WORK COMMENCING ONSITE, CONSENT IS REQUIRED FROM VECTOR TO CARRY OUT WORK BELOW OVERHEAD POWERLINES, IN THE VICINITY OF HIGH PRESSURE GAS LINES, FIBRE OPTIC CABLES & OTHER UNDERGROUND SERVICES.
- 10. PRIOR TO WORK COMMENCING ONSITE, CONSENT IS REQUIRED FROM WATERCARE TO CARRY OUT WORK WITHIN 10 METRES OF WATERCARE PIPELINES.
- 11. CONTRACTORS TO ADVISE ENGINEER AT START OF JOB AND PRIOR TO BACKFILL TO ALLOW NECESSARY INSPECTION.
- 12. NO CERTIFICATIONS FOR "AS BUILT" PLANS OR PAYMENT WILL BE MADE WITHOUT THESE INSPECTIONS TAKING PLACE.



JOAL 41 - PROPOSED STORMWATER 01 LONG SECTION



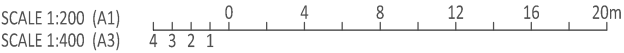
JOAL 41 - PROPOSED STORMWATER 02 LONG SECTION



BUN60332463

Approved Resource Consent Plan

17/07/2020



NOTES:

1. REFER TO DRAWING 30030-0520 & 0550 FOR STORMWATER AND WASTE WATER PLAN
2. REFER TO DRAWING 30030-0523,0524, 0553 & 0554 FOR STORMWATER AND WASTE WATER LONG SECTIONS.
3. ALL PRIVATE STORMWATER LINES TO BE 150mmØ uPVC SN 16 PIPES UNLESS NOTIFIED OTHERWISE .
4. ALL PRIVATE SANITARY SEWER PIPES TO BE 100mmØ UPVC SN16 UNLESS NOTIFIED OTHERWISE.
5. ALL PRIVATE STORMWATER AND SANITARY SEWER LINES TO BE AT 1:60 MINIMUM GRADE
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BUN60332463

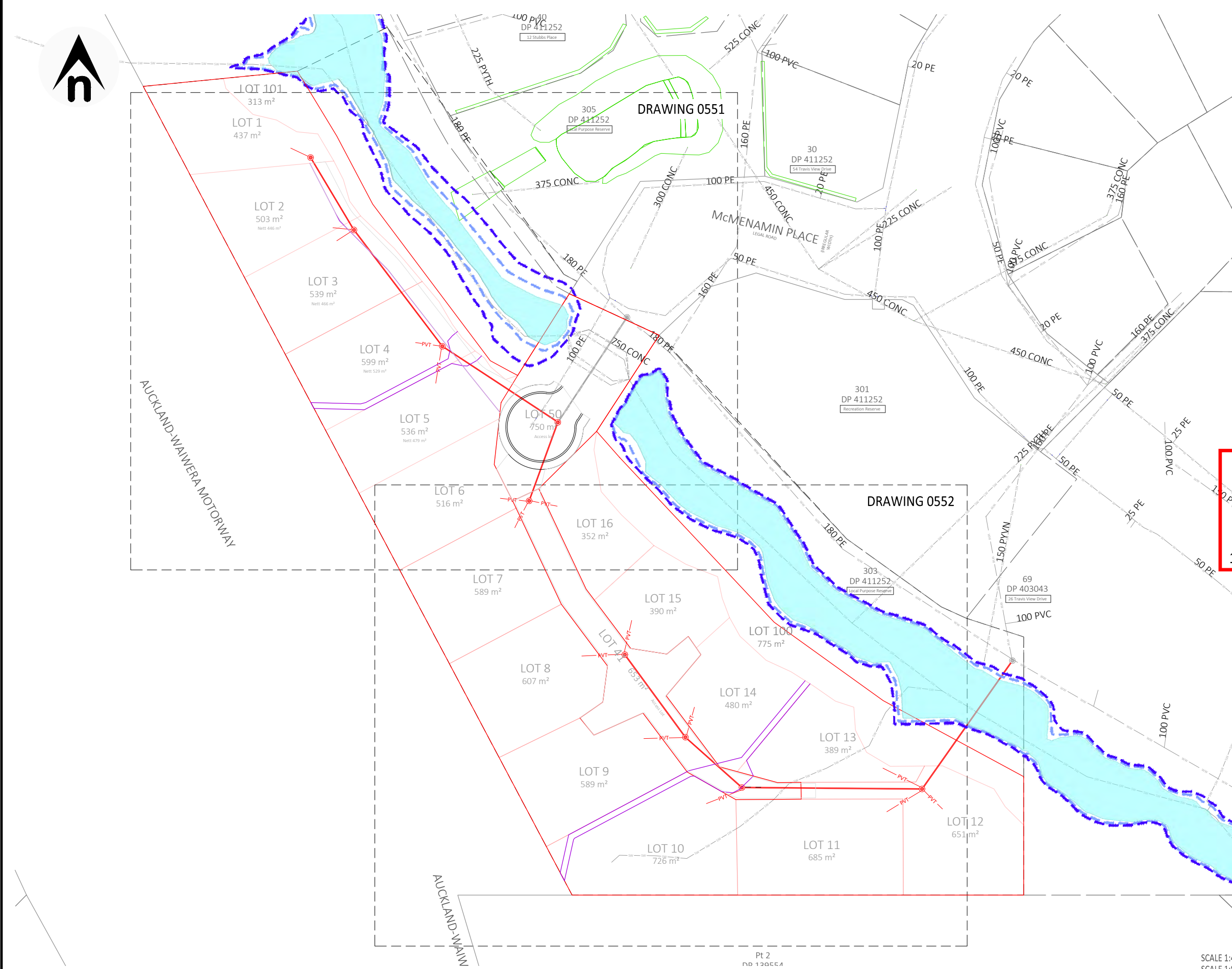
Approved Resource Consent Plan

17/07/2020

LEGEND

- SITE BOUNDARY
- WW --- WW --- EXISTING PUBLIC WASTEWATER PIPE
- SW --- SW --- EXISTING PUBLIC STORMWATER PIPE
- === PROPOSED PUBLIC WASTEWATER PIPE
- PVT---PVT---PVT--- PROPOSED PRIVATE WASTEWATER PIPE
- ⊙ EXISTING PUBLIC WASTEWATER MANHOLE
- ⊙ EXISTING PUBLIC STORMWATER MANHOLE
- ⊙ PROPOSED PUBLIC WASTEWATER MANHOLE

SCALE 1:400 (A1)
SCALE 1:800 (A3)



REV	BY	DATE	APP'D	REVISION/COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	MA	25/06/19	BK	CONSENT ISSUE
1.2	AM	10/09/19	TT	UPDATED LAYOUT
3.0	MA	28/01/20	BK	UPDATED LAYOUT

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envivo ltd po box 109 207 newmarket auckland 1149
+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV
PROPOSED WASTEWATER OVERALL PLAN	30030 CIV - 00 XX - DRC - 0550 - PR 3.0								
SCALE @ A1	1:400								
SCALE @ A3	1:800								

1. REFER TO DRAWING 30030-0520 & 0550 FOR STORMWATER AND WASTE WATER PLAN
2. REFER TO DRAWING 30030-0523,0524, 0553 & 0554 FOR STORMWATER AND WASTE WATER LONG SECTIONS.
3. ALL PRIVATE STORMWATER LINES TO BE 150mmØ uPVC SN 16 PIPES UNLESS NOTIFIED OTHERWISE .
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5. ALL PRIVATE STORMWATER AND SANITARY SEWER LINES TO BE AT 1:60 MINIMUM GRADE
6. UNLESS OTHERWISE STATED, ALL WORK SHALL COMPLY WITH THE BUILDING CODES, AUCKLAND COUNCIL, WATERCARE AND NZS4404 STANDARDS AS APPLICABLE
7. CONTRACTOR IS TO OBTAIN EXISTING PUBLIC SERVICES MARKOUT AND PILOT TO LOCATE BOTH PUBLIC AND PRIVATE DEVICES PRIOR TO EXCAVATION.
8. CONTRACTOR MUST TAKE ALL CARE NOT TO DAMAGE EXISTING SERVICES - PUBLIC OR PRIVATE.
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11. CONTRACTORS TO ADVISE ENGINEER AT START OF JOB AND PRIOR TO BACKFILL TO ALLOW NECESSARY INSPECTION.
12. NO CERTIFICATIONS FOR "AS BUILT" PLANS OR PAYMENT WILL BE MADE WITHOUT THESE INSPECTIONS TAKING PLACE.



BUN60332463

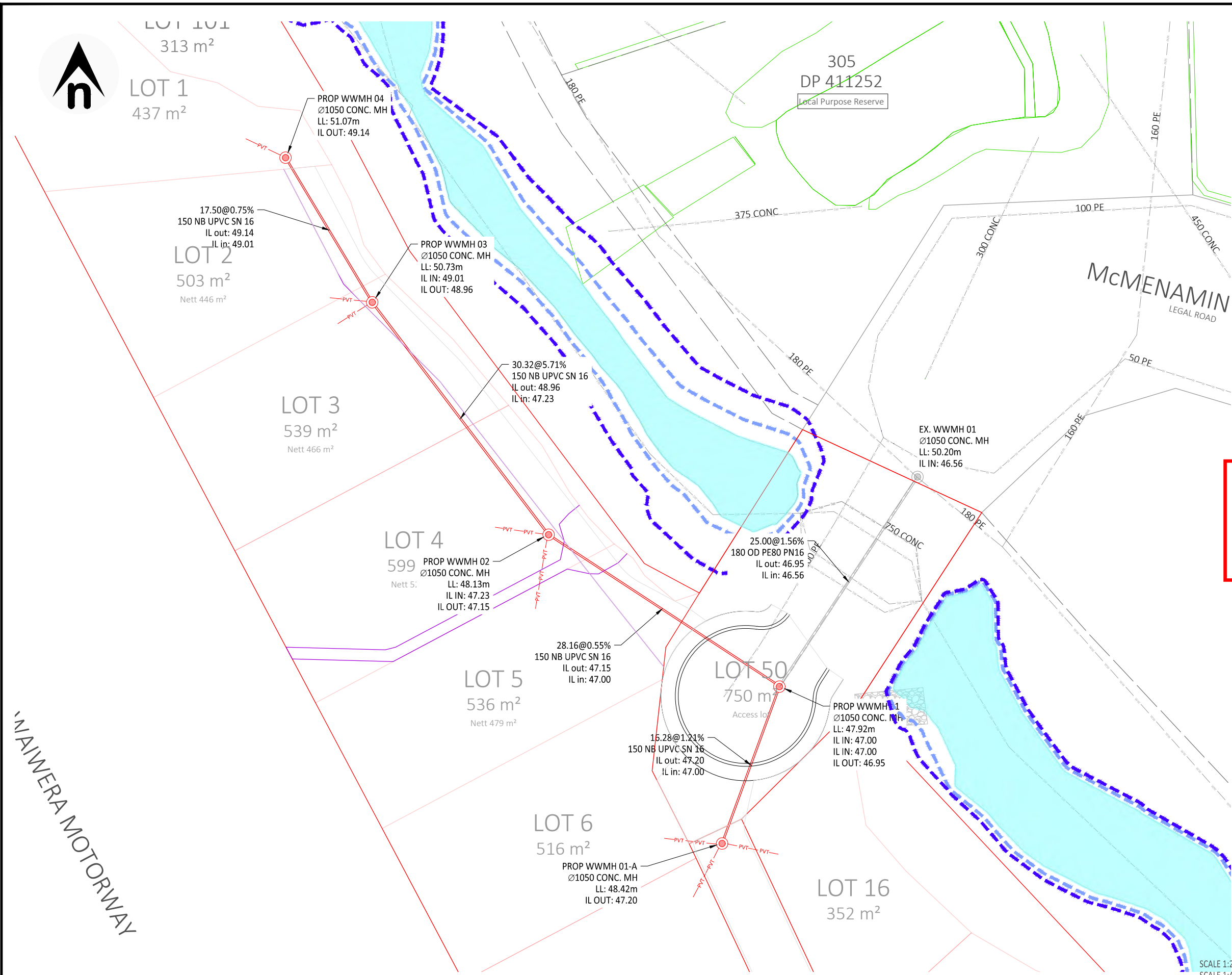
Approved Resource Consent Plan

17/07/2020

LEGEND

- | | |
|---|------------------------------------|
|  | SITE BOUNDARY |
|  | EXISTING PUBLIC WASTEWATER PIPE |
|  | EXISTING PUBLIC STORMWATER PIPE |
|  | PROPOSED PUBLIC WASTEWATER PIPE |
|  | PROPOSED PRIVATE WASTEWATER PIPE |
|  | EXISTING PUBLIC WASTEWATER MANHOLE |
|  | EXISTING PUBLIC STORMWATER MANHOLE |
|  | PROPOSED PUBLIC WASTEWATER MANHOLE |

SCALE 1:200 (A1) 0 4 8 12 16 20m
SCALE 1:400 (A3) 4 3 2 1

[illegible]

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DRAWN		DRAWING CHECK		PROJECT/LOCATION		TITLE					
JDP		AB		6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND		PROPOSED WASTEWATER PLAN SHEET 1 OF 2					
DESIGNED		DES. REVIEW									
AM		TT									
REVIEWED		APPROVED		CLIENT		30030 CIV - 00 XX - DRC - 0551 - PR 3.0					
				FAIRVIEW ESTATE INVESTMENTS		PROJECT ORIG. ZONE LOC. TYPE RL DRG No. SUIT. REV					
DATE		DATE		CERTIFICATE OF TITLE		ZONING		SCALE @ A1		DATE	
17/12/18		17/12/18						1:200			

NOTES:

1. REFER TO DRAWING 30030-0520 & 0550 FOR STORMWATER AND WASTE WATER PLAN
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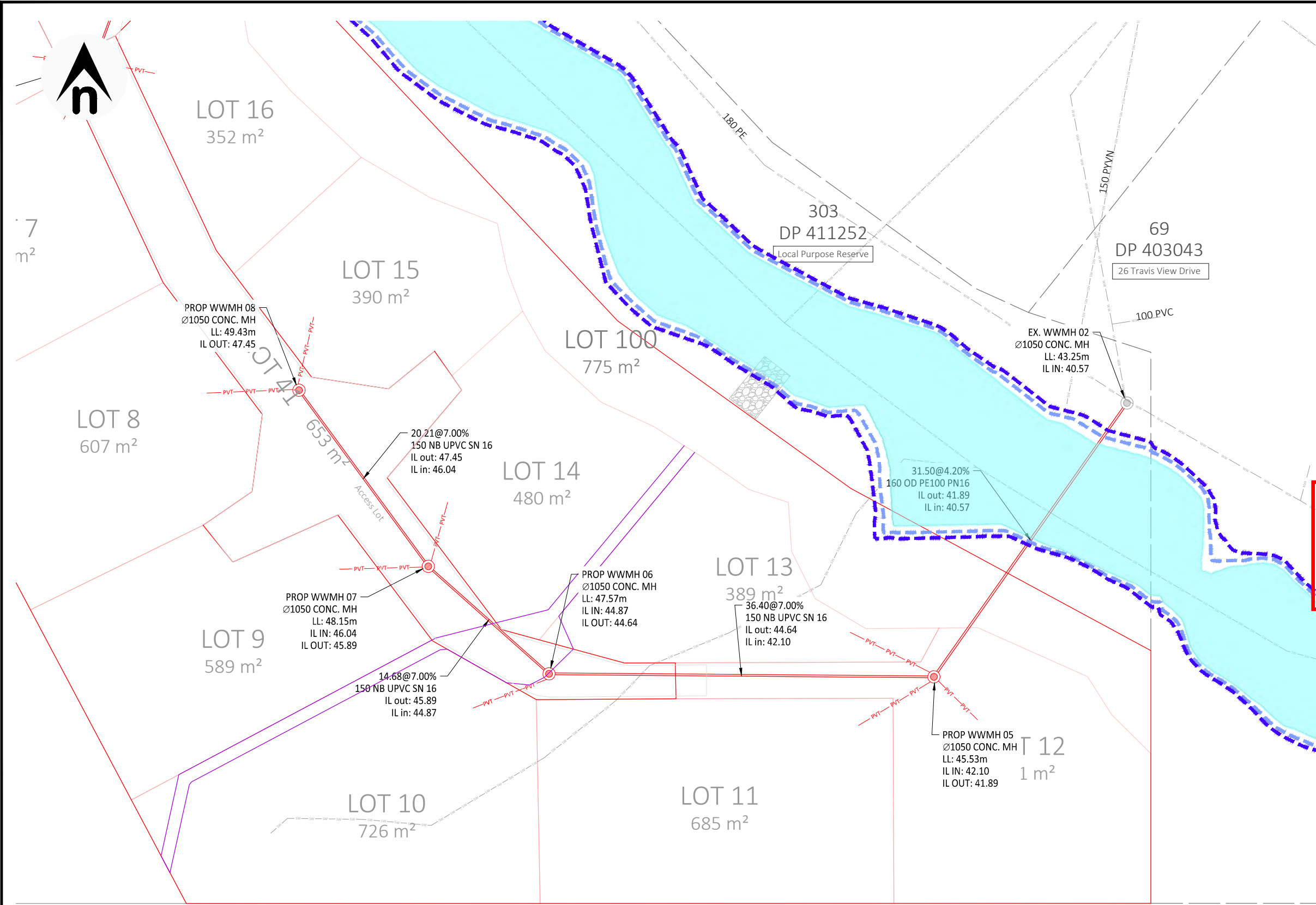
BUN60332463

Approved Resource Consent Plan

17/07/2020

LEGEND

- SITE BOUNDARY
- WW --- EXISTING PUBLIC WASTEWATER PIPE
- SW --- EXISTING PUBLIC STORMWATER PIPE
- PROPOSED PUBLIC WASTEWATER PIPE
- PVT---PVT---PVT--- PROPOSED PRIVATE WASTEWATER PIPE
- EXISTING PUBLIC WASTEWATER MANHOLE
- EXISTING PUBLIC STORMWATER MANHOLE
- PROPOSED PUBLIC WASTEWATER MANHOLE



Pt 2

SCALE 1:200 (A1)
SCALE 1:400 (A3)

REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	MA	25/06/19	BK	CONSENT ISSUE
3.0	MA	28/01/20	BK	UPDATED ISSUE

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+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

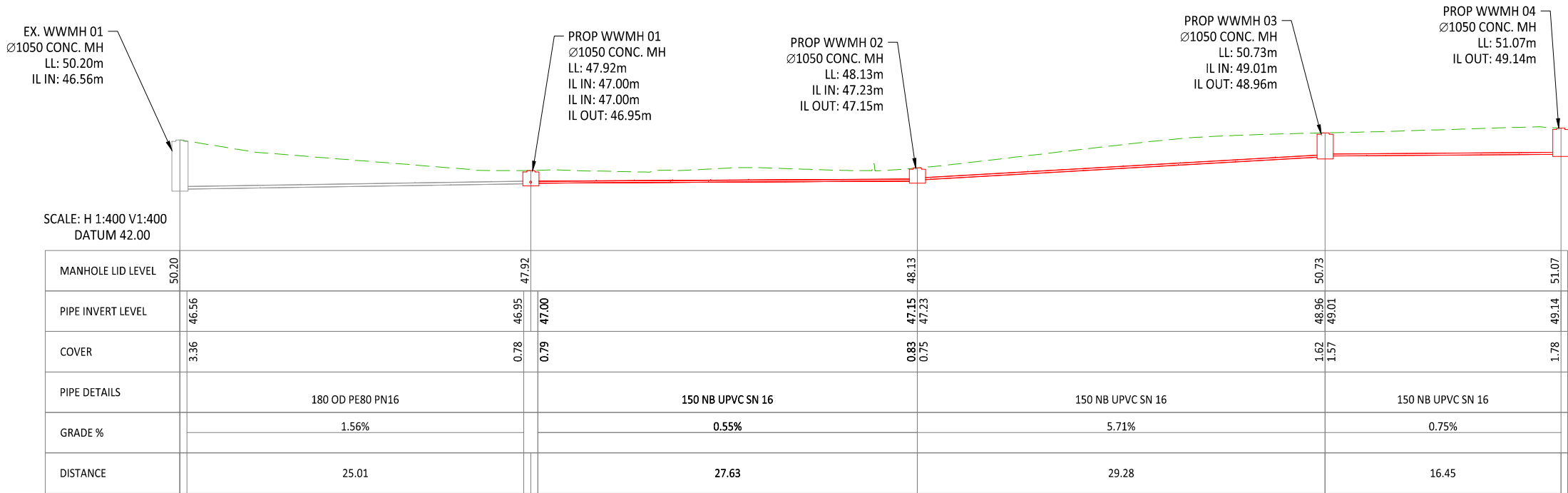
DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV.
PROPOSED WASTEWATER PLAN SHEET 2 OF 2	30030 CIV - 00 XX - DRC - 0552 - PR 3.0								
SCALE @ A1 1:200	SCALE @ A3 1:400								

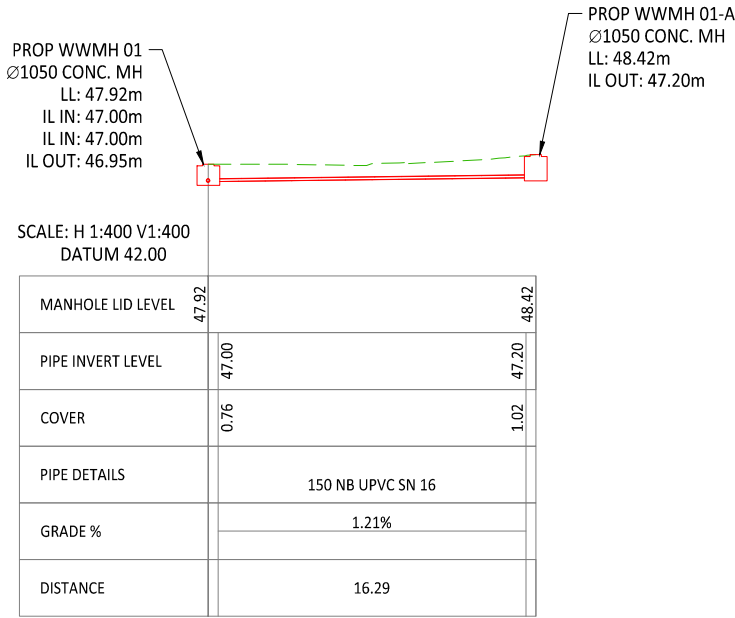
DATE: 11/06/2020 04:01 pm LOGIN NAME: TAHER TEJANI
LOCATION: I:\envivo\30030\0520 - 6 MCMENAMIN PLACE, Fairview Heights\Engineering - CIV\CAD\DWG\Resource Consent\30030 - CIV - DRC - PR - 0500 - 31.dwg

NOTES:

- 1. REFER TO DRAWING 30030-0520 & 0550 FOR STORMWATER AND WASTE WATER PLAN
- 2. REFER TO DRAWING 30030-0523,0524, 0553 & 0554 FOR STORMWATER AND WASTE WATER LONG SECTIONS.
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- 12. NO CERTIFICATIONS FOR "AS BUILT" PLANS OR PAYMENT WILL BE MADE WITHOUT THESE INSPECTIONS TAKING PLACE.



JOAL 40 - PROPOSED WASTEWATER 01 LONG SECTION



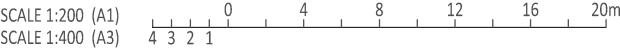
JOAL 40 - PROPOSED WASTEWATER 02 LONG SECTION



BUN60332463

Approved Resource Consent Plan

17/07/2020



DATE: 14/10/2019 3:10:18 p.m.
LOCATION: V:\30030-1-2428\Highway St. Manu. Chen\30030 - 6 Mckmenamin Place, Fairview Heights\Engineering - CIV\CA\DWG\Resource Consent\30030 - CIV - DRC - PR - 0550 - 3.1.dwg
LOGIN NAME: FAHER TEJAN

REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	AM	10/09/19	TT	UPDATED LAYOUT

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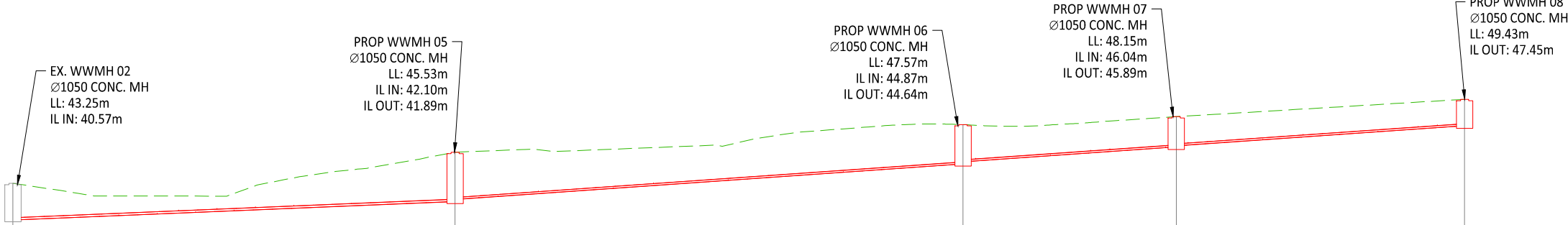
DRAWN	DRAWING CHECK
JDP	AB
DESIGNED	DES. REVIEW
AM	TT
REVIEWED	APPROVED
DATE	DATE
17/12/18	17/12/18

PROJECT/LOCATION	TITLE
6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND	PROPOSED WASTEWATER LONG SECTION SHEET 1 OF 2
FAIRVIEW ESTATE INVESTMENTS	
CERTIFICATE OF TITLE	ZONING
17/12/18	17/12/18

PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV.
30030 CIV - 00 XX - DRC - 0553 - PR	1.1							
SCALE @ A1	1:200	SCALE @ A3	1:400	SHEET NO.	1	DATE		

NOTES:

- 1. REFER TO DRAWING 30030-0520 & 0550 FOR STORMWATER AND WASTE WATER PLAN
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- 11. CONTRACTORS TO ADVISE ENGINEER AT START OF JOB AND PRIOR TO BACKFILL TO ALLOW NECESSARY INSPECTION.
- 12. NO CERTIFICATIONS FOR "AS BUILT" PLANS OR PAYMENT WILL BE MADE WITHOUT THESE INSPECTIONS TAKING PLACE.



SCALE: H 1:400 V1:400
DATUM 35.00

MANHOLE LID LEVEL	43.25		45.53		47.57		48.15		49.43
PIPE INVERT LEVEL	40.57		41.89 42.10		44.64 44.87		45.89 46.04		47.45
COVER	2.43		3.37 3.31		2.80 2.52		2.07 1.99		1.79
PIPE DETAILS	160 OD PE100 PN16			150 NB UPVC SN 16			150 NB UPVC SN 16		
GRADE %	4.20%			7.00%			7.00%		
DISTANCE	31.51			36.42			20.22		

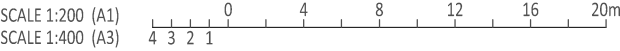
JOAL 41 - PROPOSED WASTEWATER 01 LONG SECTION



BUN60332463

Approved Resource Consent Plan

17/07/2020



DATE: 14/10/2019 3:10:45 p.m. LOCATION: V:\30030-1-2428\Highway St. Manu. Chm30030 - 6 Mckinamin Place, Fairview Heights\Engineering - Civil\CAD\Draw\Resource Consent\30030 - CIV - DRC - PR - 0550 - 3.1.dwg

LOGIN NAME: TAJER TEJAN

REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE

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DRAWN	DRAWING CHECK
JDP	AB
DESIGNED	DES. REVIEW
AM	TT
REVIEWED	APPROVED
DATE	DATE
17/12/18	17/12/18

PROJECT/LOCATION	TITLE
6 MCKENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND	PROPOSED WASTEWATER LONG SECTION SHEET 2 OF 2
FAIRVIEW ESTATE INVESTMENTS	
CERTIFICATE OF TITLE	ZONING
17/12/18	17/12/18

PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV
30030 CIV	-	00 XX	-	DRC	-	0554	-	PR 1.0
SCALE @ A1	1:200	SCALE @ A3	1:400	SHEET	2	PAGE	35	OF 43

NOTES:

1. UNLESS OTHERWISE STATED, ALL WORK SHALL COMPLY WITH THE BUILDING CODES, AUCKLAND COUNCIL, WATERCARE AND NZS4404 STANDARDS AS APPLICABLE
2. ALL WORKS TO COMPLY WITH THE H&S ACT 2015.
3. REINSTATE ALL OTHER GROUND TO MATCH EXISTING.
4. PROVIDE ALL NECESSARY TEMPORARY SAFETY PROTECTION DURING CONSTRUCTION, AND SAFE PASSAGE FOR PEDESTRIANS ON FOOTPATH.
5. UPON COMPLETION OF WORKS, THE CONTRACTOR IS TO REMOVE ALL DEBRIS INCLUDING SURPLUS SOIL, TIMBER, CONCRETE AND THE LIKE FROM SITE, LEAVING THE AREA TIDY.
6. CONTRACTOR IS TO OBTAIN EXISTING PUBLIC SERVICES MARKOUT AND PILOT TO LOCATE BOTH PUBLIC AND PRIVATE DEVICES PRIOR TO EXCAVATION.
7. CONTRACTOR MUST TAKE ALL CARE NOT TO DAMAGE EXISTING SERVICES - PUBLIC OR PRIVATE.
8. ALL REPAIRS TO DAMAGE CAUSED BY THE CONTRACT WORKS ARE FOR THE CONTRACTORS EXPENSE AND REPAIRS ARE TO BE ACTIONED IMMEDIATELY.
9. CONTRACTOR TO OBTAIN ALL NECESSARY ROAD OPENING/CLOSING, TRAFFIC CONTROL PERMITS FROM COUNCIL. A COPY OF THE R.O.N. MUST BE SENT TO THE ENGINEER PRIOR TO WORKS COMMENCING.
10. WHERE EVER POSSIBLE THE CONTRACTOR IS TO PROTECT EXISTING TREES AND PLANTS.
11. CONTRACTORS TO ADVISE ENGINEER AT START OF JOB AND PRIOR TO BACKFILL TO ALLOW NECESSARY INSPECTION.
12. NO CERTIFICATIONS FOR "AS BUILT" PLANS OR PAYMENT WILL BE MADE WITHOUT THESE INSPECTIONS TAKING PLACE.
13. THE CONTRACTOR MUST LOCATE ALL SERVICES ON SITE PRIOR TO CONSTRUCTION COMMENCING & CONTACT ALL RESPONSIBLE AGENCIES TO CONFIRM CONSTRUCTION METHODOLOGIES.

LEGEND

- SOUTHERN CATCHMENT
- NORTHERN CATCHMENT
- PROPOSED BOUNDARIES
- PROPOSED EASEMENT

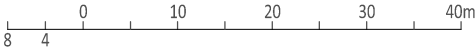


BUN60332463

Approved Resource Consent Plan

17/07/2020

SCALE 1:400 (A1)
SCALE 1:800 (A3)



REV	BY	DATE	APP'D	REVISION/COMMENTS
1.0	TT	29/05/19	BK	CONSENT ISSUE
1.1	MA	25/06/19	BK	CONSENT ISSUE
3.0	MA	28/01/20	BK	UPDATED LAYOUT

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+64 9 630 9512 admin@envivo.co.nz www.envivo.co.nz

DRAWN	DRAWING CHECK	PROJECT/LOCATION
TT	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
TT	BPK	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
29/05/19	29/05/19	

TITLE	PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV.
STORMWATER CATCHMENT PLAN	30030 CIV - 00 XX - DRC -						581		PR 3.0
	SCALE @ A1								
	1:400								

NOTES:

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10. THE CONTRACTOR MUST LOCATE ALL SERVICES ON SITE PRIOR TO CONSTRUCTION COMMENCING & CONTACT ALL RESPONSIBLE AGENCIES TO CONFIRM CONSTRUCTION METHODOLOGIES.



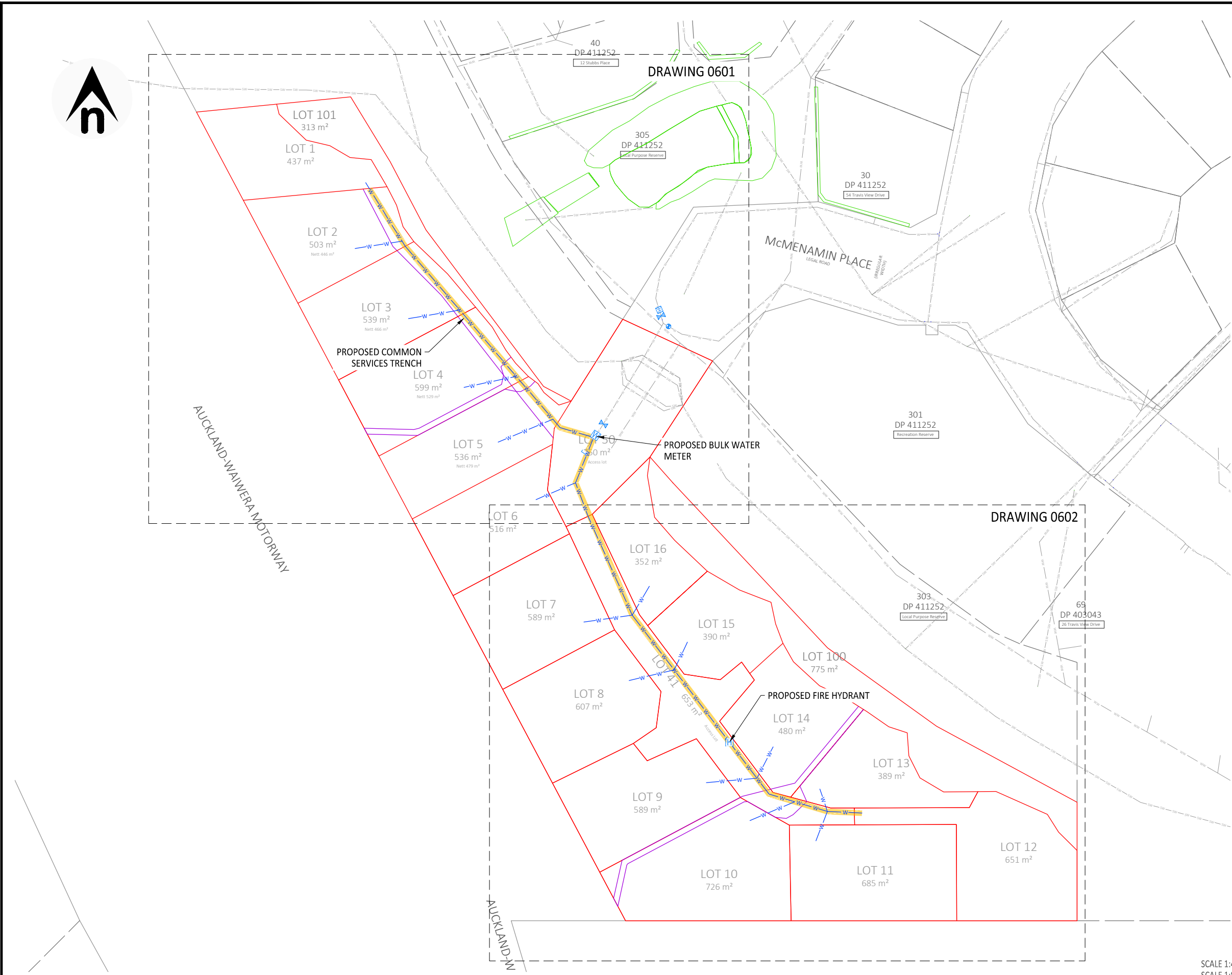
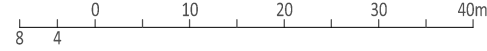
BUN60332463
Approved Resource Consent Plan

17/07/2020

LEGEND

- W — W — W — W — EXISTING WATER MAIN
- WW — WW — EXISTING PUBLIC WASTEWATER PIPE
- SW — SW — SW — SW — EXISTING PUBLIC STORMWATER PIPE
- ⊙ EXISTING PUBLIC WASTEWATER MANHOLE
- ⊙ EXISTING PUBLIC STORMWATER MANHOLE
- ⋈ EXISTING SLUICE VALVE
- ⊗ EXISTING PEAT VALVE
- ⊠ EXISTING FIRE HYDRANT
- ⋈ EXISTING END CAP
- ⊠ PROPOSED FIRE HYDRANT
- ⊠ PROPOSED BULK METER
- W — W — W — W — PROPOSED WATER LINE
- PROPOSED COMMON SERVICE TRENCH

SCALE 1:400 (A1)
SCALE 1:800 (A3)



REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	MA	25/06/19	BK	CONSENT ISSUE
3.0	MA	28/01/20	BK	UPDATED BOUNDARIES & AREAS

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DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV.
PROPOSED UTILITIES & WATER SUPPLY OVERALL PLAN	30030	CIV	-	00	XX	-	DRC	0600	- PR 3.0
	SCALE @ A1	1:400							

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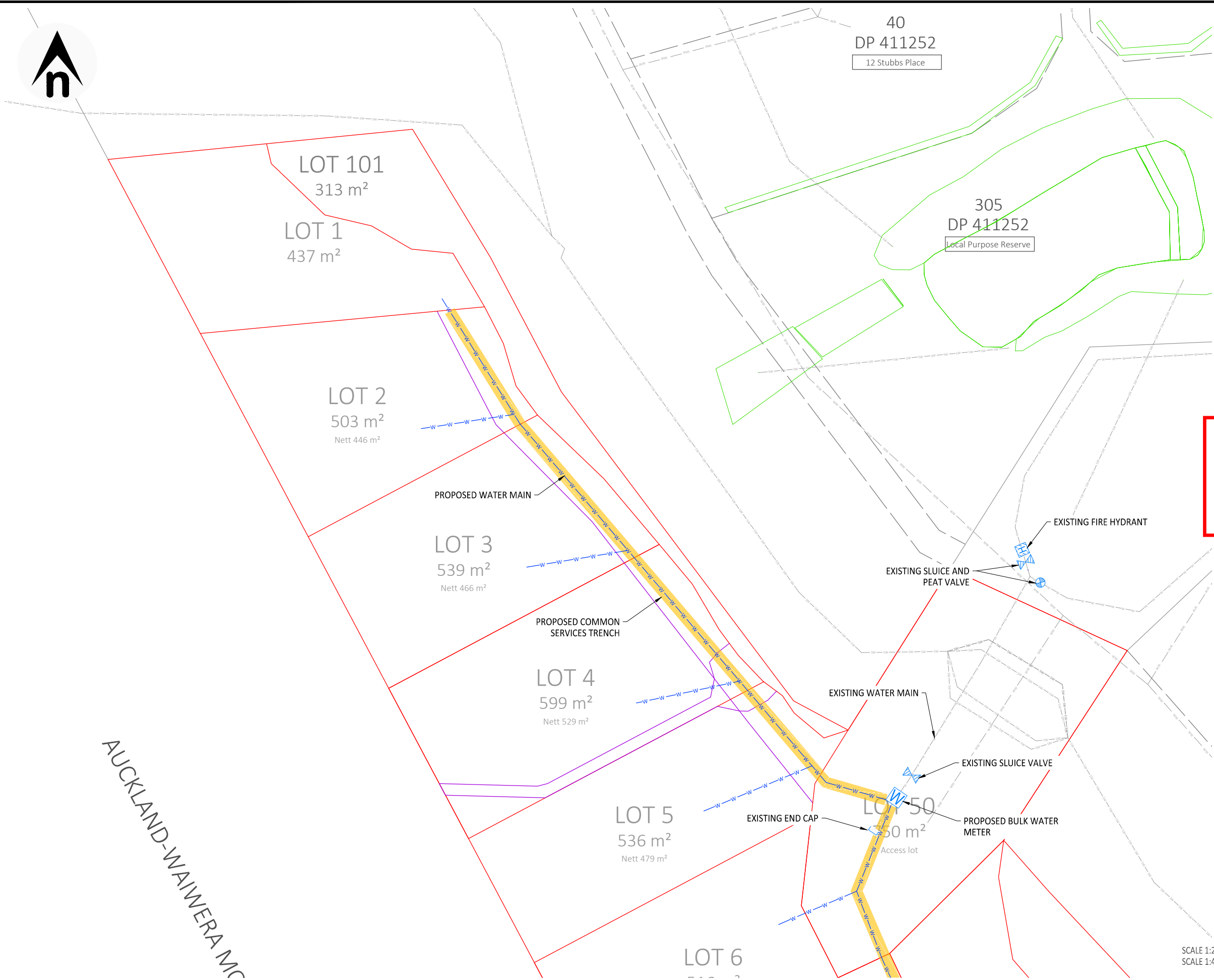
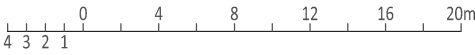
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LEGEND

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- WW — WW — EXISTING PUBLIC WASTEWATER PIPE
- SW — SW — SW — EXISTING PUBLIC STORMWATER PIPE
- ⊙ EXISTING PUBLIC WASTEWATER MANHOLE
- ⊙ EXISTING PUBLIC STORMWATER MANHOLE
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- ⚡ EXISTING PEAT VALVE
- ⚡ EXISTING FIRE HYDRANT
- ⚡ EXISTING END CAP
- ⚡ PROPOSED FIRE HYDRANT
- ⚡ PROPOSED BULK METER
- W — W — W — W — PROPOSED WATER LINE
- PROPOSED COMMON SERVICE TRENCH

SCALE 1:200 (A1)
SCALE 1:400 (A3)



REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	MA	25/06/19	BK	CONSENT ISSUE
3.0	MA	28/01/20	BK	UPDATED BOUNDARIES & AREAS

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DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	ZONING

TITLE								
PROPOSED WATER SUPPLY PLAN SHEET 1 OF 2								
PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV.
30030	CIV	- 00	XX	- DRC	- 0601	- PR	3.0	
SCALE @ A1	SCALE @ A3	SHEET NUMBER				DATE		
1:200	1:400	Page 38 of 43						

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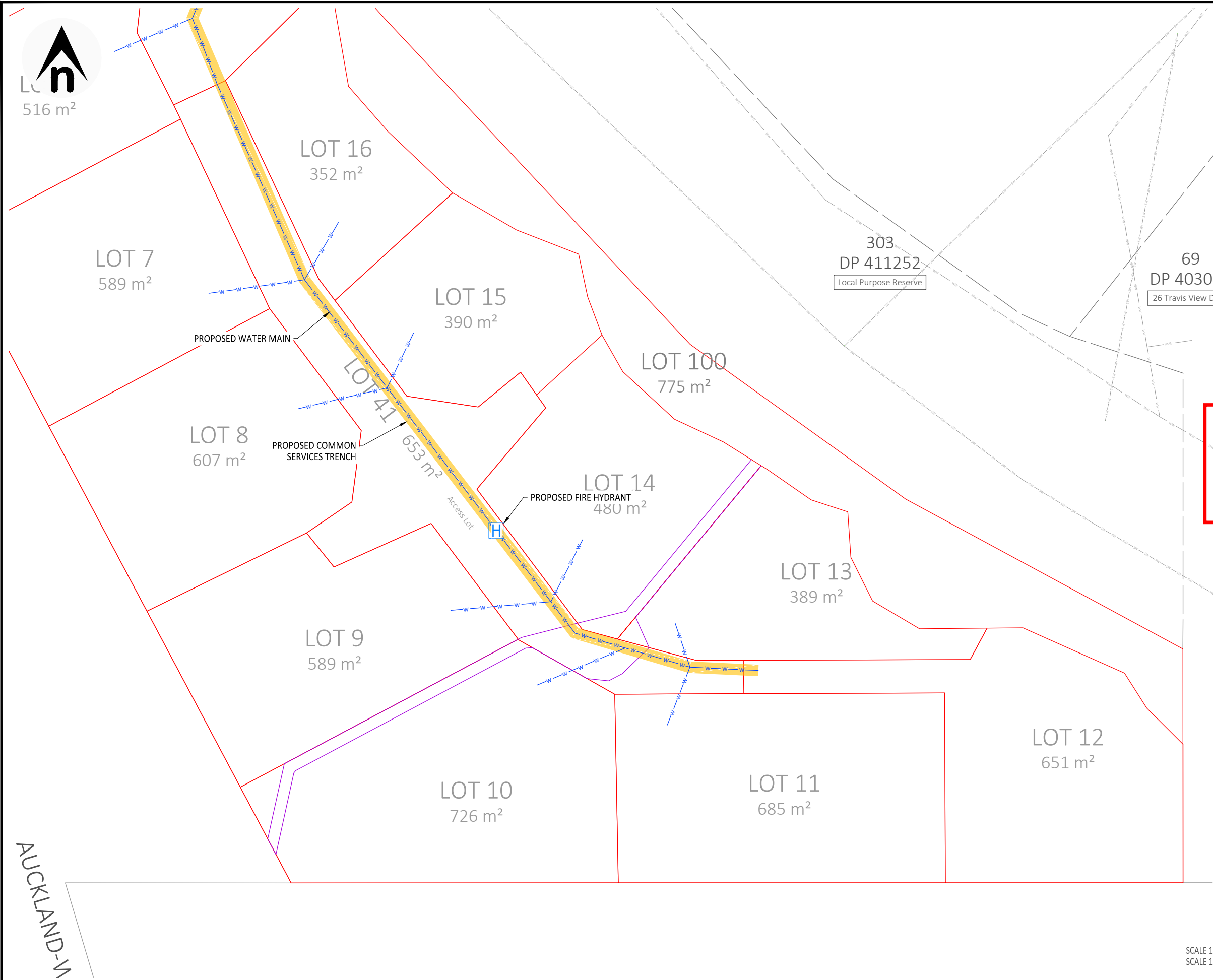
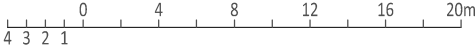
Approved Resource Consent Plan

17/07/2020

LEGEND

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- WW — WW — EXISTING PUBLIC WASTEWATER PIPE
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- ⊞ PROPOSED FIRE HYDRANT
- ⊞ PROPOSED BULK METER
- W — W — W — W — PROPOSED WATER LINE
- PROPOSED COMMON SERVICE TRENCH

SCALE 1:200 (A1)
SCALE 1:400 (A3)



REV	BY	DATE	APP'D	REVISION/ COMMENTS
1.0	JDP	17/12/18	CS	CONSENT ISSUE
1.1	MA	25/06/19	BK	CONSENT ISSUE
3.0	MA	28/01/20	BK	UPDATED BOUNDARIES & AREAS

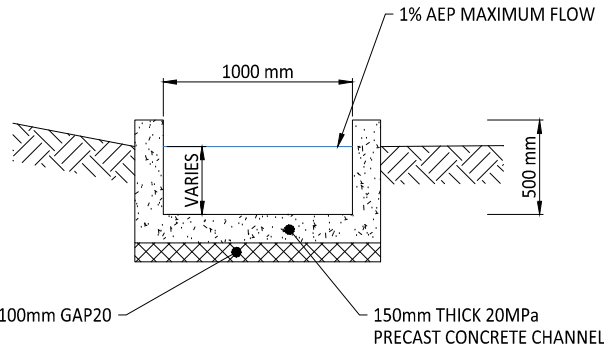
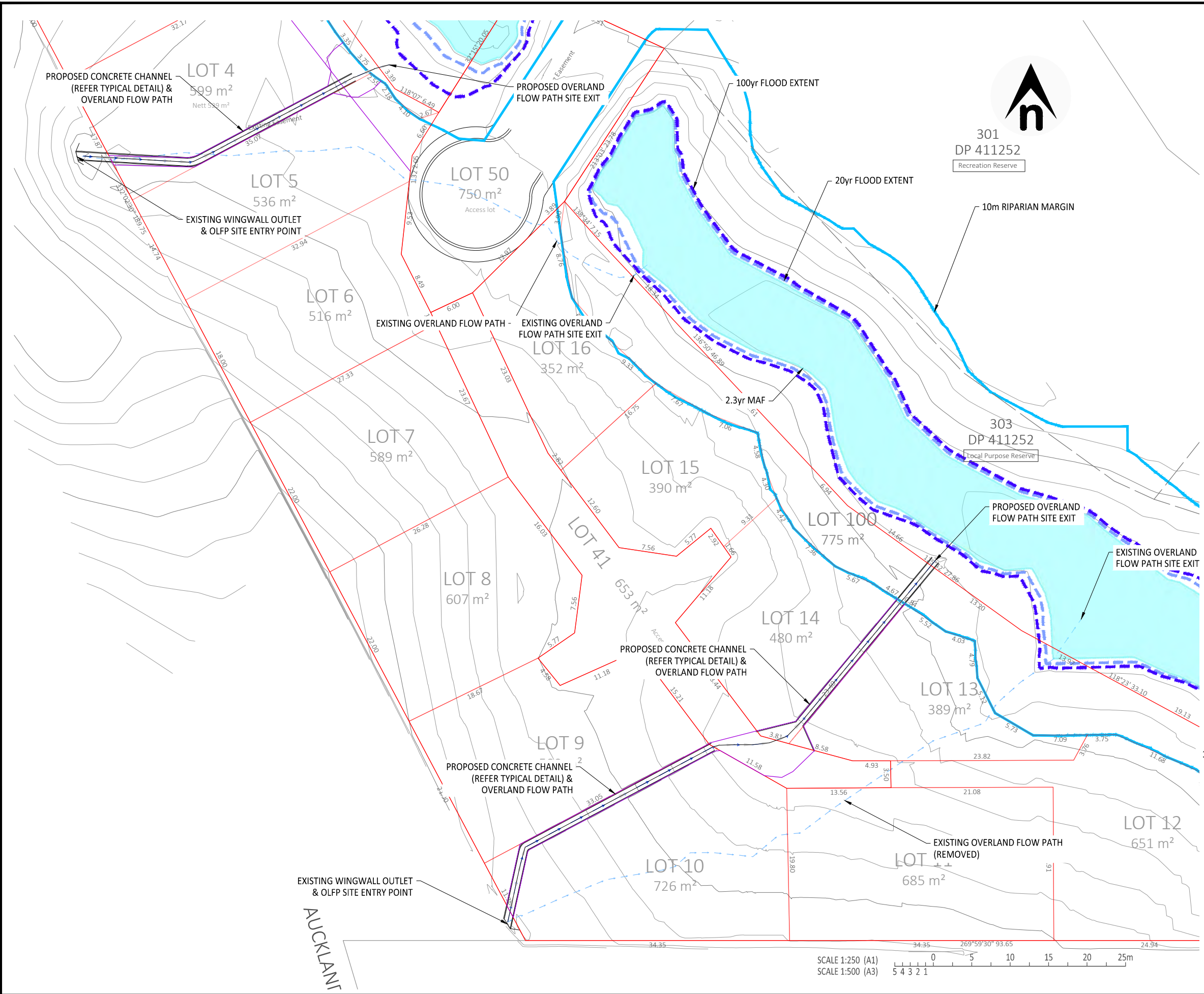
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DRAWN	DRAWING CHECK	PROJECT/LOCATION
JDP	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	ZONING

TITLE	PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV.
PROPOSED WATER SUPPLY PLAN SHEET 2 OF 2	30030 CIV - 00 XX - DRC - 0602 - PR 3.0								
SCALE @ A1 1:200	SCALE @ A3 1:400	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE



CONCRETE CHANNEL TYPICAL DETAIL
SCALE 1:20 (A1)

DATE: 11/06/2020 6:50:05 PM LOGIN NAME: TAHER TEJANI LOCATION: Enviro\1300030303 - 6 McMenamin Place, Fairview Heights\Engineering - CIV-DRC - PR - 0700 - 1.0.dwg

REV	BY	DATE	APP'D	REVISION/COMMENTS
1.0	AM	17/12/18	CS	CONSENT ISSUE
1.1	MA	24/06/19	BK	CONSENT ISSUE
3.0	MA	28/01/20	BK	UPDATED BOUNDARIES & AREAS

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AM	AB	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV
OVERLAND FLOW	30030 CIV - 00 XX - DRC - 0700 - PR								3.0
	SCALE @ A1	1:250							



BUN60332463

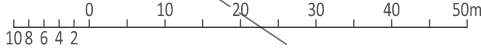
Approved Resource Consent Plan

17/07/2020

10m RIPARIAN MARGIN

2.3yr MAF

SCALE 1:500 (A1)
SCALE 1:1000 (A3)



REV	BY	DATE	APP'D	REVISION/ COMMENTS
1	AB	24/06/19	BK	CONSENT ISSUE
2	MA	28/01/20	BK	UPDATED LAYOUT

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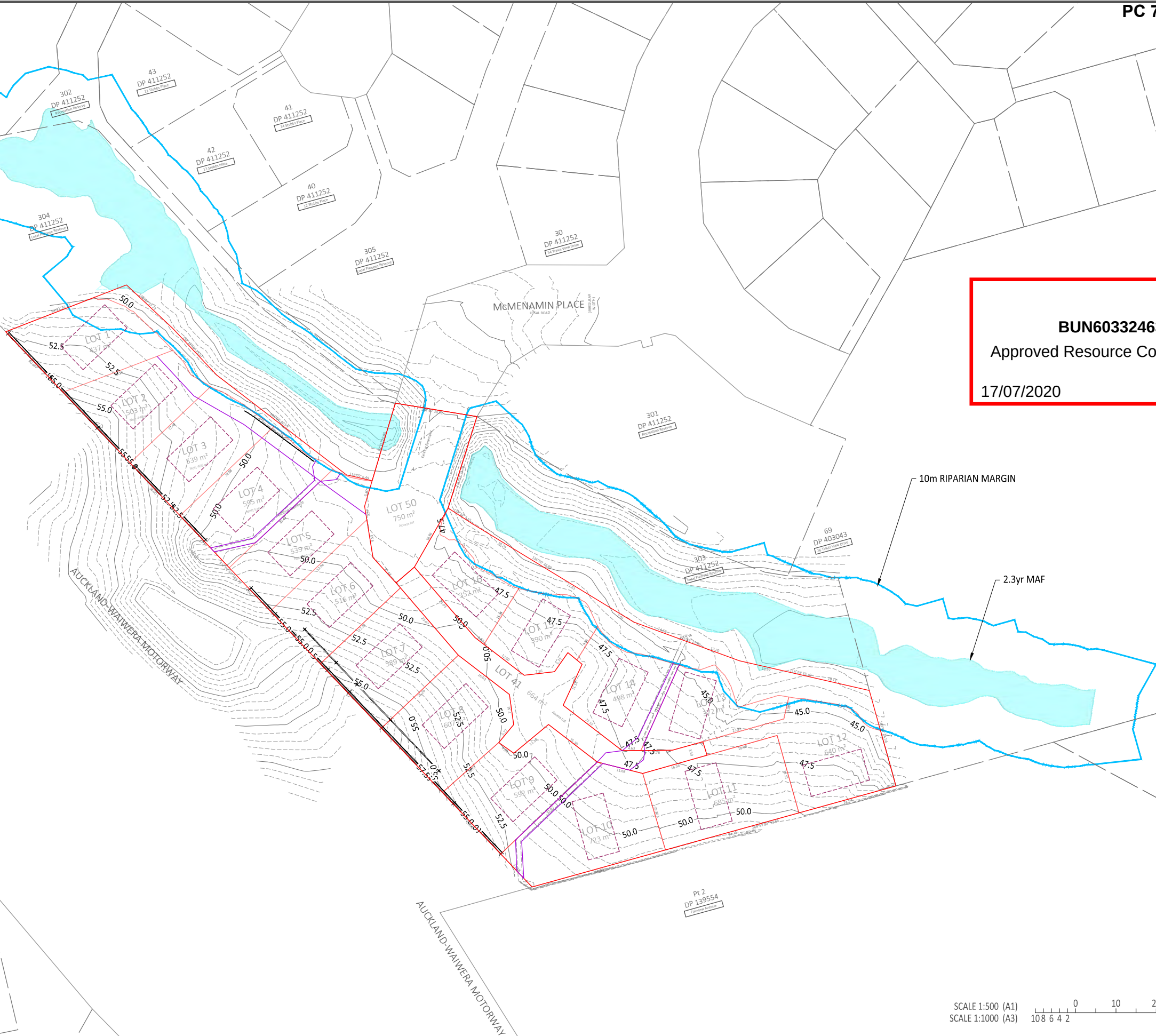
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DRAWN	DRAWING CHECK	PROJECT/LOCATION
AB	BK	6 MCMENAMIN PLACE FAIRVIEW HEIGHTS AUCKLAND
DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV
RIPARIAN MARGINS PRE DEVELOPMENT	30030 CIV - 00 XX - DRC - 0710 - PR								2
	SCALE @ A1	1:500							



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17/07/2020



SCALE 1:500 (A1)
SCALE 1:1000 (A3)

0 10 20 30 40 50m
108 6 4 2

REV	BY	DATE	APP'D	REVISION/ COMMENTS
1	AB	24/06/19	BK	CONSENT ISSUE
2	MA	28/01/20	BK	UPDATED AREAS

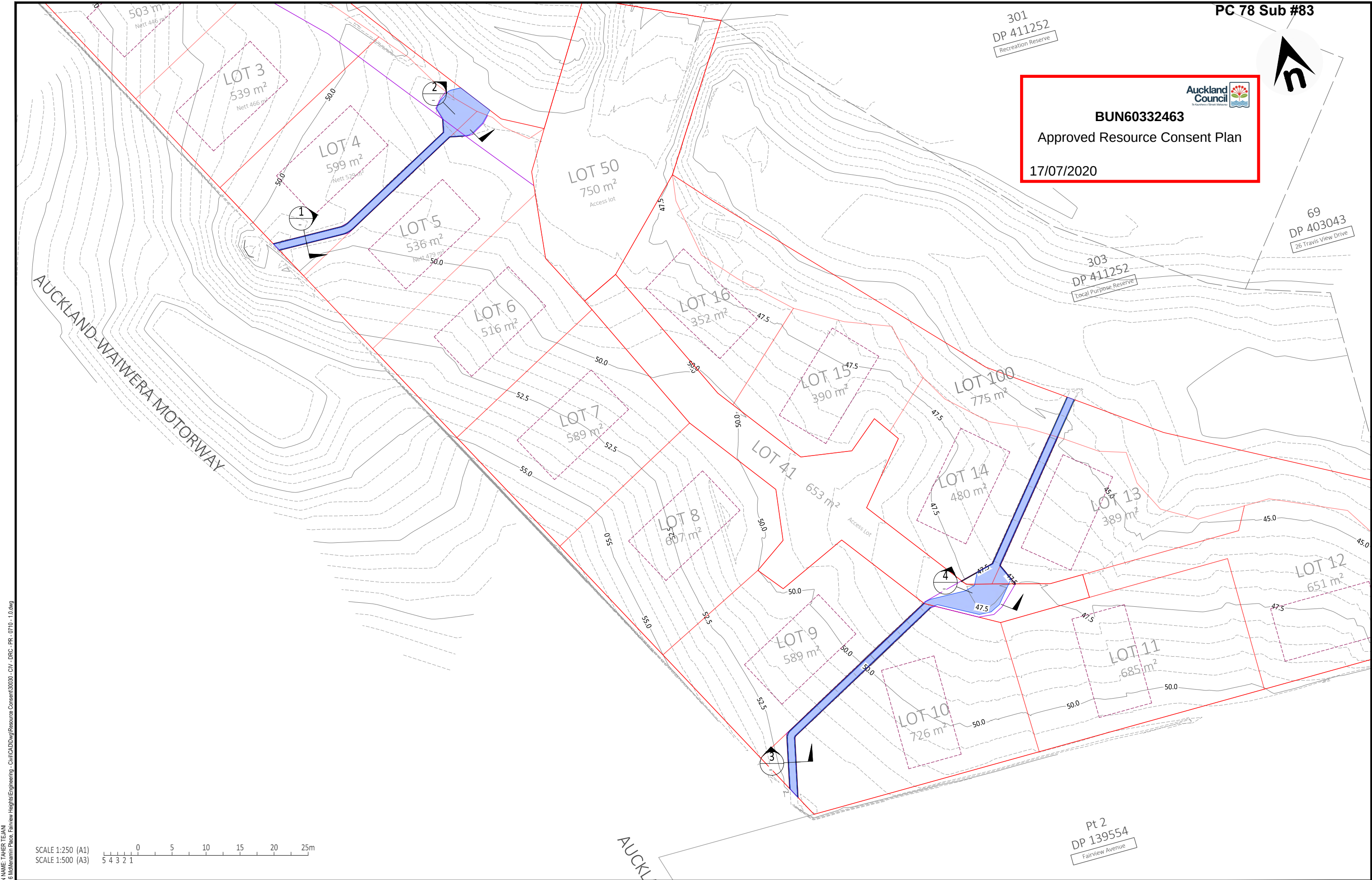
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DESIGNED	DES. REVIEW	
AM	TT	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
17/12/18	17/12/18	

TITLE	PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV
RIPARIAN MARGINS POST DEVELOPMENT	30030 CIV - 00 XX - DRC - 0711 - PR								2
	SCALE @ A3								
	1:500								



SCALE 1:250 (A1)
SCALE 1:500 (A3)

DATE: 11/06/2020 02:15:11 pm LOGIN NAME: TAHER TEJANI
LOCATION: Enviro\130030\30030 - 6 Mckinami Place, Fairview Heights\Engineering - CIV\CAD\Draw\Resourc Consent\30030 - CIV - DRC - PR - 0712 - 1.0.dwg

REV	BY	DATE	APP'D	REVISION/ COMMENTS
1	AM	10/06/20	TT	CONSENT ISSUE

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DESIGNED	DES. REVIEW	
REVIEWED	APPROVED	CLIENT
		FAIRVIEW ESTATE INVESTMENTS
DATE	DATE	CERTIFICATE OF TITLE
		ZONING

TITLE								
OVERLAND FLOW PATHS POST DEVELOPMENT								
PROJECT	ORIG.	ZONE	LOC.	TYPE	RL	DRG No.	SUIT.	REV
30030	CIV	- 00	XX	- DRC	- 0712	- PR	1	1
SCALE @ A1	SCALE @ A3	SCALE @ A4	SCALE @ A5	SCALE @ A6	SCALE @ A7	SCALE @ A8	SCALE @ A9	DATE
1:250	1:500	1:1000	1:2000	1:4000	1:8000	1:16000	1:32000	

Sarah El Karamany

From: Linda Knox <linda_knox@ymail.com>
Sent: Wednesday, 24 August 2022 4:30 pm
To: Unitary Plan
Subject: Plan Change 78

I am from 69 Matija Place, Red Beach and I would like to submit that I am in total support of the Councils Plan Change 78. | 90.1

I would also like to request that Council adds in new Qualifying Matters such as Transport please. | 90.2

Should you wish to contact me please do so via either this email or call me on 0216661111.

Regards
Linda Knox

Sent from my iPhone
Linda Knox

Sarah El Karamany

From: Grant Knox <grant.knox@me.com>
Sent: Thursday, 25 August 2022 1:13 pm
To: Unitary Plan
Subject: Plan change 78

Hello

>

> I am from 69 Matija Place, Red Beach and I would like to submit that I am in total support of the Councils Plan Change 78. | 96.1

>

> I would also like to request that Council adds in new Qualifying Matters such as Transport please. | 96.2

>

> Should you wish to contact me please do so via either this email or call me on 0210 666 116.

Regards

Grant Knox

Sarah El Karamany

From: Unitary Plan
Sent: Thursday, 25 August 2022 11:15 am
To: Unitary Plan
Subject: Unitary Plan Publicly Notified Submission - Plan Change 78 - Sarah van Winkel

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Sarah van Winkel

Organisation name:

Agent's full name: Sarah van Winkel

Email address: sarahjwells23@gmail.com

Contact phone number:

Postal address:
 5 Te Ruru Way
 Stanmore Bay
 Whangaparaoa 0932

Submission details**This is a submission to:**

Plan change number: Plan Change 78

Plan change name: PC 78: Intensification

My submission relates to

Rule or rules:

Property address: Whangaparaoa peninsula

Map or maps:

Other provisions:
 Medium density housing proposal. Intensification.

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Proposed changes to the "city's" planning rules, mean that three three-storey medium density housing would be allowed on much of the Whangaparaoa peninsula. I reject the possibility of this happening as it being highly inappropriate for this area based on the following issues/qualifying matters. First, the Whangaparaoa peninsula is not part of the city. It is a small coastal peninsula strip with its own unique environmental issues such as coastal erosion and inundation (a matter of national importance). In relation to qualifying matters, despite the future development of Penlink, it has significant transport infrastructure issues. The number of lanes decided on for Penlink is less than was originally planned, and is barely enough to cope with current housing levels, let alone the proposed changes.

99.1

99.2

Furthermore, there are other significant bottlenecks on the peninsula that will not be fixed by Penlink; for example, the one single lane in and out between Whangaparaoa town centre and Gulf Harbour. Intensification would exacerbate this issue. Importantly, Watercare has identified that the vast majority of the peninsula does not have adequate wastewater infrastructure to accommodate increased density housing, with no plans to address this deficit within the next 10 years. A quick look at the local Hibiscus Coast community Facebook page identifies that wastewater/stormwater is already a significant issue with many posts relating to raw sewage overflows in the peninsula. With this already being a problem, and no plans to address the issue, it is criminal and unethical to consider increasing housing density which will exacerbate the problem and cause an increased risk to peoples health. These transport and water infrastructure issues are outlined as “qualifying matters” in the plan, and should disqualify the peninsula from the proposed housing intensification.

99.3

Furthermore, many of the remaining areas that were not identified by Watercare as falling under the wastewater infrastructure qualifying matter (e.g. the southern coast of the peninsula) are areas that have some of the only remaining vegetated patches of bush on the peninsula. These need to be preserved for public use, and fall under the qualifying matter of “open space for public use” as areas where recreation (walking, bike riding etc) can occur. As a qualified ecologist living in the area I can comment on the ecological issues associated with the proposed intensification. This southern coastline abuts the Weiti marine reserve, a Schedule 4 Significant Ecological Area (SEA-M1), and intensification would threaten the health of this already-threatened ecosystem. This marine reserve has already been damaged (increased run-off etc.) from the Weiti-Okura bush development. Any further pressure on this area of ecological significance could see a collapse in the ecosystem here which is important for many protected native species, including the At Risk migrant wader birds such as bar-tailed godwits. Finally, much of the peninsula’s northern coastline (e.g. Stanmore Bay, Manly) lies within the flood plain zone and/or is prone to coastal inundation (a matter of national significance outlined in the qualifying matters) and is not suitable for housing intensification. Coastal inundation has been a significant problem of late, with Stanmore Bay losing much of its sand on the beach, and sand dunes at the eastern end of the beach due to tidal erosion. Furthermore, the entire Whangaparaoa peninsula and its coastline is a Schedule 4 Significant Ecological Area (SEA-M1), providing significant habitat for marine species, as well as being an important ecological linkage forming the North-West Wildlink between the Waitakere Ranges and Tititiri Matangi Island. I note that the Waitakere Ranges is also a D12 Heritage area falling under the qualifying matter of matters of national importance, and the Whangaparaoa peninsula forms an important migration corridor to maintain ecological health of the Waitakere Ranges. The SEA peninsula must therefore be protected in its current state. This SEA would be threatened by both the resulting loss of green spaces, as well as the increased strain on incompatible wastewater infrastructure outlined above. In conclusion, the issues outlined above highlight multiple qualifying matters that apply to the Whangaparaoa peninsula that should place constraints on the intensification of housing on the peninsula. It is neither suitable nor practical to increase housing density in this area, and it would cause an unacceptable burden on the transport and water infrastructure, important ecosystems, and would restrict peoples access to recreational areas and therefore, along with the wastewater issues, would cause significant risk to peoples health, both physical and mental.

99.4

99.5

99.6

I or we seek the following decision by council: Decline the plan change

Submission date: 25 August 2022

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.



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