

## Southern Cross Brightside Hospital extension 3 Brightside Road / 149 – 153 Gillies Avenue

### SPECIAL CHARACTER ASSESSMENT TO ACCOMPANY PRIVATE PLAN CHANGE APPLICATION



Prepared by Lifescapes Ltd for Southern Cross Hospitals Limited

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## KEY FINDINGS

- Southern Cross Hospitals Ltd (SCHL) seeks a private plan change (PPC) to rezone the properties at 3 Brightside Road and 149 – 153 Gillies Avenue to the AUP's Special Purpose Healthcare Facility and Hospital Zone (HFHZ). The PPC would also remove the Special Character Areas Overlay (the SCA) that applies to the three Gillies Ave sites.
- This analysis finds that the properties at 151 – 153 Gillies Ave and to a lesser extent 149 Gillies Ave have historical and physical/visual values consistent with the SCA. The period houses, historical stone walls, large setbacks, abundant trees and vegetation are all characteristics that are specifically highlighted in the SCA's statement of significance.
- The houses at 151 and 153 Gillies Ave clearly have architectural merit that illustrates the identified character values of the SCA, but their contribution to the SCA is restrained both by their visual concealment and by limited recognisability of a historical or contemporary group in the vicinity.
- The properties as a whole do, however, make a positive contribution to the collective character values of the SCA through their landscape features including large trees, hedges, gardens and basalt stone walls. It is considered that their substantial loss would adversely effect the identified character and amenity values of the area.

## CONCLUSIONS & RECOMMENDATIONS

- Given that the subject sites have demonstrable special character values that are consistent with the SCA, the Council is obliged to maintain and enhance these values in accordance with Objective B5.3.1.(2) of the Regional Policy Statement.
- The challenge of maintaining and enhancing identified special character values with the proposed removal of the SCA from the subject sites may be managed in various ways.
  - The concurrent lodgement of a resource consent application indicates that SCHL's objective is to retain these landscape features as a key component of a development plan. It is considered reasonable to assume that this well-progressed scheme would continue to be pursued should the proposed zone change occur.
  - While significant development is enabled as a Permitted activity under the HFHZ, a resource consent for a Restricted Discretionary activity would be required for any development within 10m of a public road (AUP Table H25.4.1 (A20)). There is scope to retain existing landscape features as a condition of consent as part of an assessment of effects on the adjoining streetscape under Parts H25.8.1. and 2.
  - **Other approaches** that Council may consider are also explored in this report, including changing the underlying zoning but keeping the SCA, scheduling specific items on the sites, and inserting a site-specific development plan in the HFHZ.

- Of these other approaches, it is concluded that the inclusion of a site-specific development plan in the HFHZ is the most appropriate tool available to Council to maintain and enhance the identified special character values of the sites while enabling hospital development in line with the HFHZ provisions. It is recommended that consideration be given to including such a development plan in the HFHZ as part of the plan change.
- While a notably different case, Mercy Hospital on Mountain Road is found to demonstrate useful precedence in terms of how special character can be maintained and enhanced on hospital-zoned land. In particular, it emphasises how the whole is more than the sum of its parts when considering and managing special character. It is recommended that Council's approach to maintaining and enhancing identified special character values on the subject sites focuses on collective character rather than itemised elements.
- The higher order assessment required for a plan change presents an opportunity to reflect on the sites in broader terms than simply their physical characteristics. This place has had a long relationship with community services and this is considered part of its special character. It is therefore suggested that hospital use on this site is not only beneficial from broader urban planning / regional community well-being perspectives, but also has positive outcomes in terms of maintaining the special character inherent within that use. It is recommended that this holistic character – physical elements and hospital activity – be maintained and enhanced for the future.

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## 1. INTRODUCTION

Subject properties	Three residential dwellings at 149, 151 and 153 Gillies Avenue, Epsom, with the existing Southern Cross Hospital site at 3 Brightside Road.
Commissioning Details	Commissioned by: Southern Cross Hospitals Ltd (SCHL) Courtney Bennett, National Property Manager.
Authorship	Lead: Carolyn Hill, Lifescapes Ltd. Historical research: Lisa Truttman.

### 1.1. Report outline

The purpose of this report is to provide a special character assessment of the proposal for a private plan change (PPC) to rezone the properties at 149 – 153 Gillies Avenue from Single House zone to Healthcare Facility and Hospital Zone within the Auckland Unitary Plan (the AUP). The PPC would also remove the Special Character Areas Overlay that applies to the sites, and this aspect is the focus of this assessment.

The report outlines the statutory framework that (1) currently exists and (2) would apply to the properties within the wider urban context. It provides a historical overview and then physical analysis of the subject sites in line with the SCA's key attributes as described in Part D18 of the AUP. The anticipated outcomes of the proposed PPC are then assessed in terms of the subject sites' special character and their contribution to collective character, alternative approaches Council may consider to balance the purposes of the proposed PPC with special character, and effects of the proposed rezoning / removal of the SCA on the wider area. It concludes with a general comment on the cultural landscape context of Brightside and how this could be considered in the application.

### 1.2. Site location and zones

The subject sites of the PPC are located at 149 – 153 Gillies Ave / 3 Brightside Road in Epsom. The area extends from the Brightside/Gillies corner west along Brightside Road and north along Gillies Ave.

The existing zoning of the properties under the AUP are as follows:

- 3 Brightside Road: Residential – Mixed Housing Suburban
- 149 – 153 Gillies: Residential – Single House.

The sites at 149 – 153 Gillies Ave are also covered by the Special Character Areas Overlay – Residential: Isthmus B1 (the SCA) which is the subject of this report.



Figure 1 Subject sites: 149 – 153 Gillies Ave / 3 Brightside Road, Epsom, shown outlined in red. Properties subject to the SCA are shaded blue. (Source: Auckland Council Geomaps).

### 1.3. Proposed Private Plan Change

The AEE prepared by SFH Consultants provides a comprehensive description of, and reasons for, the proposed PPC. Below is a brief summary for the purposes of this assessment.

SCHL seeks to expand its existing hospital operation at 3 Brightside Road to accommodate increasing demand. The aim is to comprehensively redevelop its three adjoining properties at 149 – 153 Gillies Ave to form a new hospital wing, connected to the existing hospital facility to the west.

This proposed use is not provided for by the Single House zone, which identifies healthcare facilities greater than 200m<sup>2</sup> GFA as a Non-Complying activity (H3.4). Hospital use is also a Discretionary activity (H4.4) under the Mixed Housing Suburban zone which applies to 3 Brightside Road. The PPC seeks to create consistency between the existing use and the underlying zone at the 3 Brightside Ave property, and to extend that use (and corresponding hospital-use zoning) across the Gillies Ave sites.

The effects of this proposed PPC on the purpose of the SCA is the focus of this special character assessment.

## 2. STATUTORY FRAMEWORK

### 2.1. Existing statutory framework

The existing hospital at 3 Brightside Road is currently in the Mixed Housing Suburban zone, while the properties at 149 – 153 Gillies Ave are zoned Residential - Single House. The properties are subject to various AUP overlays including natural heritage (notable trees, volcanic viewshafts), natural resource (aquifer management) and special character. The overlay which is the focus of this assessment is the **Historic Heritage and Special Character: Special Character Areas Overlay – Residential: Isthmus B1** (the SCA) which covers 149 – 153 Gillies Ave and surrounding areas as shown below. The property at 3 Brightside Road is not covered by the SCA.

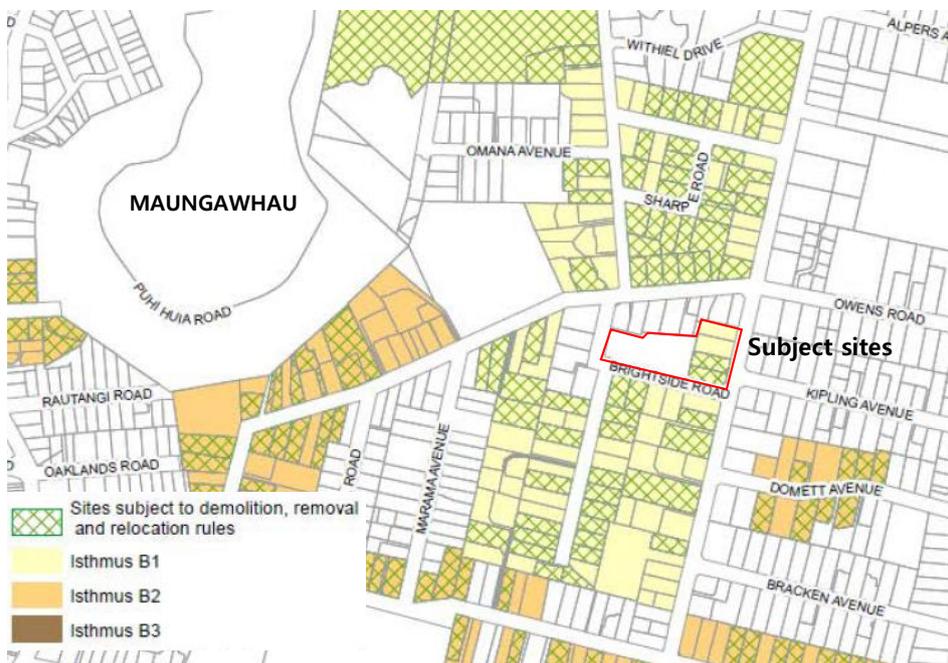


Figure 2 The SCA covering the properties at 149 – 153 Gillies Ave. The two southern properties, 151 and 153, are subject to demolition, removal and relocation rules (Source: Auckland Council AUP).

### ***Regional Policy Statement***

The Regional Policy Statement (the RPS) notes “built heritage and character”<sup>1</sup> as an issue of regional significance (Part B1.4(3)), alongside eight other issues extending from issues of significance to Mana Whenua to the environment, urban growth, infrastructure and transport. As such, character is one aspect that must be taken into account in the AUP’s lower order provisions under the RPS.<sup>2</sup> This in

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<sup>1</sup> It is noted that this issue is now called “Historic Heritage and Special Character” in Part B5 of the RPS, but it remains referred to as “built heritage and character” in Part B1 *Issues of Regional Significance*.

<sup>2</sup> RPS Part B1.2.

turn is to achieve the integrated management of the natural and physical resources of the whole region, as required by Section 59 of the Resource Management Act 1991 (the RMA).

The objective of the RPS in relation to special character (Part B5.3.1 (2))<sup>3</sup> is that

The character and amenity values of identified special character areas are maintained and enhanced.

This is to be achieved through identifying special character areas, evaluating them in terms of their physical / visual and historical qualities, and managing them through development controls.<sup>4</sup>

### ***SCA purpose***

The SCA seeks to give effect to these objectives and policies of the RPS. As described in the AUP Part D18.1, the purpose of the Special Character Areas Overlay as a whole (both residential and business) is

... to retain and manage the special character values of specific residential and business areas identified as having collective and cohesive values, importance, relevance and interest to the communities within the locality and wider Auckland region.

### ***SCA character values***

The specific SCA (Isthmus B1) that applies to 149 – 153 Gillies Ave covers various areas across the isthmus including parts of Remuera, Mt St John, One Tree Hill, Mt Eden, Epsom, Mt Albert etc. The area typifies patterns of residential development that occurred in the late 19<sup>th</sup> / early 20<sup>th</sup> century following rapid extensions of the electric tram and roading networks, creating wide roads, generous sections, bigger houses and abundant vegetation. Auckland's volcanic landscape is a prominent feature of these areas and this topography remains evident in early street positions, subdivision and development and, in the case of the Brightside Road / Gillies Ave corner, views of Maungawhau (Mt Eden) to the west.

AUP Schedule 15.1.7.3.2. sets out the special character values of the SCA. Developments proposed in the overlay area are considered against these values, the key themes of which are summarised below:

#### 15.1.7.3.2. Summary of special character values

##### Historical:

The (SCA) is of significance as it demonstrates an early period of residential development in Auckland city. It retains a number of representative areas of late 19<sup>th</sup> and early 20<sup>th</sup> century suburban residential developments. House designs and streetscape character are

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<sup>3</sup> Part B5.3.1. currently contains a first objective, being that "Historic heritage values of identified special character areas are protected from inappropriate subdivision, use and development." However, as this objective has not been upheld by the Environment Court (see Decision No: [2018] NZEnvC 186) it is not commented on here.

<sup>4</sup> RPS Part B5.3.2. *Policies*

typically that of the Edwardian villa suburb, English Cottage revival and the Garden Suburb movement.

... The SCA illustrates the pattern of residential development that occurred in response to improvements in public transport and the roading network. The suburbs within the SCA are generally those developed to provide larger sections for bigger homes... Houses are generally located on generous sections facing wide streets. Larger sections with wider road allowed for the development of private gardens and street tree planting which is a dominant aspect of these areas consistent with the Garden Suburb design ideals. The area generally demonstrates houses in a range of styles from this period.

Physical and visual qualities:

The SCA is of significance for its physical and visual qualities as it encompasses an exceptionally large grouping of mid to late 19th and early to mid-20<sup>th</sup> century houses, together with associated urban patterns of development, that collectively reflect important trends in New Zealand's residential architectural design (particularly the Garden Suburb concepts described above) and the development of suburban residential areas in the Auckland region.

The style of dwellings can be diverse and the area includes examples of Victorian and Edwardian Villas, Arts and Crafts influenced houses, Art Deco houses, English Cottage style dwellings and Californian Bungalows.

... Dwellings in the SCA are typically set well back from the road, and there is an abundance of trees and vegetation both on private and public land. The SCA areas are characterised by lower housing densities, generally combined with period housing and an abundance of planting.

It is notable that the special character values of Isthmus B particularly emphasise landscape qualities in both public and private realms – wide roads and large sites that enabled mature trees, landscaped gardens, walls and grass berms – a consistency of setting with the housing itself being varied in style and form. This is somewhat different to the Isthmus A overlay, which covers Auckland's earliest suburbs and focuses on the consistency of the Victorian and Edwardian-style housing stock and dense urban grain of these walking-orientated areas (see AUP Schedule 15.1.7.2.).

### ***SCA objectives, policies and activities***

As laid out in Part D18.2. of the AUP, the key objectives of the SCA overlay are to (1) maintain and enhance areas' special character values, (2) to retain physical attributes that create special character, and (3) to avoid, remedy and mitigate any adverse effects of development on special character.

Under the policies of Part D18.3., developments are required to regard and respond positively to the area's identified special character values and context. The removal or substantial demolition of buildings that contribute to the continuity or coherence of the special character area is discouraged. New buildings are expected to maintain character continuity and coherence; maintain streetscape qualities and cohesiveness; respond positively to existing design/patterns/forms, including relationships

between built form and open space; maintain landscape setting; recover and be compatible with existing fabric and features.

The hostel at 149 Gillies Ave is not subject to the demolition, relocation and removal rules of the SCA (see Figure 2). Its demolition is therefore a **Permitted** activity (H3.4.1(A32)) under the Single House zone in which the subject sites are located. However, these rules do apply to the houses at 151 and 153 Gillies Ave, where demolition/relocation is categorised as a **Restricted Discretionary** activity under Part 18.4.1(A3).

The construction of a new building is also a **Restricted Discretionary** activity (D18.4.1(A5)). This is complicated, however, by the proposal being for a healthcare facility greater than 200m<sup>2</sup> GFA. This is a **Non-Complying** activity in the Single House zone (H3.4).

## 2.2. Proposed Statutory Framework

The PPC proposes to rezone the four subject sites to the **Special Purpose – Healthcare Facility and Hospital Zone** (the HFHZ). The purpose of this zone, as described in the AUP Part H25.1, is to

...enable a range of healthcare related and supporting activities to cater for the diverse requirements of the users, employees and visitors to the hospitals and healthcare facilities.

As with the SCA, the objectives and policies of the HFHZ seek to give effect to the higher order provisions of the RPS (Part 2.8), which include the need to provide social facilities for community's health and safety, located to be accessible by a range of transport modes.

As described in the AEE by SFH Consultants, the HFHZ is usually applied as a "spot zone" where existing hospital facilities are not appropriately enabled through their underlying (usually residential) zoning. The zone provides for healthcare use in urban / suburban areas while controlling effects of building scale, intensity of use, noise, lighting etc. on the amenity of the surrounding environment.

### ***HFHZ objectives, policies and activities***

As laid out in Part H25.2. of the AUP, the objectives of the HFHZ are to (1) enable the efficient operation and development of hospitals and healthcare facilities to support communities' healthcare needs; (2) provide a comprehensive range of hospital and healthcare activities, buildings and infrastructure; and (3) avoid, remedy or mitigate adverse effects on adjacent areas.

The policies to achieve these objectives (Part H25.3.) combine two aspects: enabling healthcare use and minimising adverse effects. The policies therefore emphasise the need to enable a range of hospital/healthcare facilities including additional height in identified locations, while also minimising adverse effects on amenity – traffic issues, overshadowing, visual dominance etc. It is notable that consideration of the surrounding neighbourhood is not limited to mitigation requirements only: the final two policies require developments to *actively contribute* to amenity values. Policy (6) requires

new buildings... that adjoin streets and public open spaces to be designed to contribute to the maintenance and enhancement of amenity values while enabling the efficient use of the site

And Policy (7) encourages

new buildings to be designed to provide a high standard of amenity and safety.

Buildings, alterations, additions and demolition are generally **Permitted** activities under the HFHZ (H25.4.1(A18)). In situations where a new building increases the building footprint by more than 20% and is visible from and located within 10m of a public road the activity is **Restricted Discretionary** (H25.4.1(A20)).

### 3. HISTORICAL OVERVIEW

A plan and schedule of existing historical items on the subject sites can be found in **Appendix A**.

The existing Brightside hospital and the subject sites on Gillies Ave were all part of Allotment 42 of Section 6, Suburbs of Auckland, originally purchased under Crown Grant by Osborne and Owen (George Burgoyne Owen) in 1854.<sup>5</sup> When Selina Owen (wife of George) died in 1905 the property was subdivided<sup>6</sup> and Burgoyne Road (later renamed Brightside Road) was dedicated through the property.<sup>7</sup>

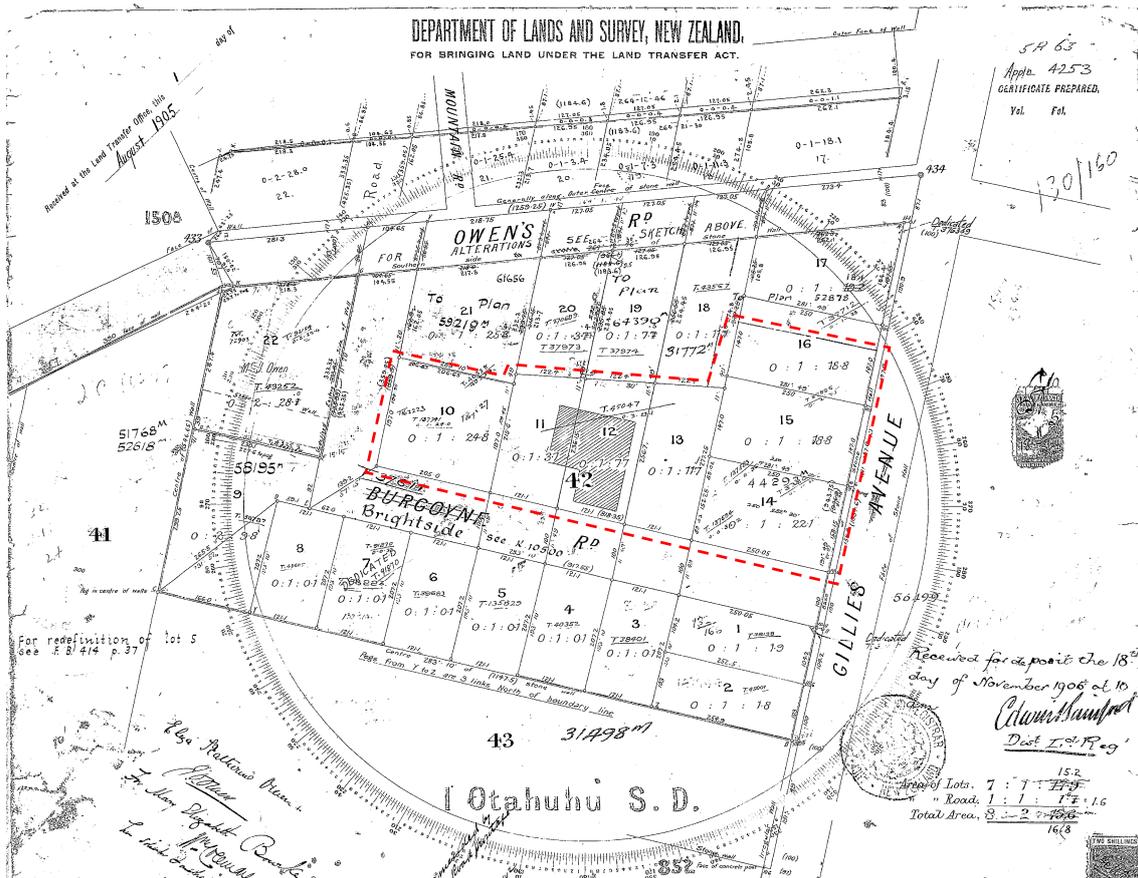


Figure 3 Subdivision plan, 1905. Southern Cross properties are highlighted. Lots 10 – 13: the existing Southern Cross hospital at 3 Brightside Road; Lot 14: 151/153 Gillies Ave; Lots 15 and 16: 149 Gillies Ave. (Source: NA 130/160, LINZ records).

#### **The first hospital**

Lots 11 to 13 of the 1905 subdivision (Figure 3), on which the Owen homestead stood, was at first leased in 1906 to merchant Robert Henry Abbott who later purchased it outright in 1908 (in his wife's

<sup>5</sup> Deeds Index 5A.63, BAJZ 23662 A1660/797a R22764178, Archives New Zealand

<sup>6</sup> NA 130/160, LINZ records

<sup>7</sup> See DP 3541, LINZ records

name.)<sup>8</sup> In 1922 the house was purchased by Nancye Hannah Rose,<sup>9</sup> who converted it to a private medical and convalescent hospital named Awanui, the same name she had given to her earlier hospital originally behind the Lyric Theatre off Symonds Street. Rose retired in 1943, selling the hospital to a group of doctors called Brightside Hospital Limited.<sup>10</sup> Southern Cross Hospital Trust purchased the site in 1980.<sup>11</sup> The Owen homestead / Awanui hospital building, along with two early 1920s houses directly to the west (lot 10 in the 1905 subdivision plan above),<sup>12</sup> was demolished in 1998 to enable the construction of the new surgical hospital complex (2000).<sup>13</sup>

### **Stone walls**

The 1905 subdivision of the Owen's land and dedication Burgoyne/Brightside Road suggest that the stone wall on the Brightside and Gillies frontages to 151 and 153 Gillies Ave was not part of the 1870s Brightside Estate and therefore dates from the 1905 subdivision at the earliest. If this is the case, then the drystone wall immediately in front of the adjoining 149 Gillies Ave may be the only remnant of the 19<sup>th</sup> century wall along Gillies Ave for the Owen's property. There is certainly a stone boundary wall visible from 1920<sup>14</sup> and a stone wall between 151 and 153 Gillies Ave is noted on a 1956 survey plan.<sup>15</sup>

It is possible, however, that the 151/153 Gillies Ave boundary walls, or parts thereof, pre-date the 1905 subdivision. A 1970 *Auckland Waikato Historical Journal* article seems to imply that a stone wall circumscribed the Owens' garden and that Burgoyne/Brightside Road followed this wall line.<sup>16</sup> While early images of the property<sup>17</sup> are not clear enough to determine this, it could explain the two sections to the basalt boundary walls which is particularly distinctive along Brightside Road. As seen in Figure 4, the lower half of the wall uses smaller rubble-like stones, whereas the upper half is formed in larger partially cut pieces.

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<sup>8</sup> NA 130/160, LINZ records

<sup>9</sup> NA 147/202, LINZ records

<sup>10</sup> Graham Bush, *The History of Epsom*, 2006, p. 192

<sup>11</sup> NA 147/202, LINZ records

<sup>12</sup> See valuation field sheets, ACC 213/20j, Auckland Council Archives, and NA 321/311, where full site was owned by contractor George Albert Jones in 1920.

<sup>13</sup> See *Central Leader* 17 August, 9 & 14 December 1994 for reports as to neighbourhood concerns during the redevelopment.

<sup>14</sup> 4-5828, Sir George Grey Special Collections, Auckland Libraries

<sup>15</sup> DP 44293, LINZ records

<sup>16</sup> Issue 16, pp.20-21

<sup>17</sup> Example, 4-328, dating from the 1880s. Sir George Grey Special Collections, Auckland Libraries



Figure 4 Clear “lower” and “upper” parts to the boundary wall along Brightside Road.

### **149 Gillies Ave**

This property is part of lots 15 and 16 of Allotment 42, Section 6 in the 1905 subdivision (Figure 3). It was likely vacant land until c.1909 when it was transferred from Miss Jessie Frater to land agent James Henry Frater.<sup>18</sup> Frater does appear to have lived there from late 1909,<sup>19</sup> so the core of the original homestead may date from that time. The original architect is not known, but valuation records indicate that the site had a substantial dwelling on it from c.1917.<sup>20</sup> Frater sold the property to Emily McGarry, the wife of land agent William Henry McGarry, in 1919, who in turn sold the site to Broadway Developments Ltd in 1930.<sup>21</sup> The house was then transferred two months later to solicitor Arthur Cecil Jacob.<sup>22</sup> With the house known then as “Norwood,”<sup>23</sup> the next owners from 1939 were Howard Parris Richmond, another solicitor, and his wife Francis Muriel Richmond. Mrs Richmond, who had been widowed the previous year, sold the property to the Baptist Union of New Zealand in 1975.<sup>24</sup>

The site was purchased by the Church for use as hostel accommodation, a service that the Baptist Church had provided in New Zealand from the 1940s. The country’s first Baptist Youth Hostel dated from 1947, when the Waitangi Hotel in Wellington was procured by the Central Baptist Church there and converted to accommodate 60 young people coming into Wellington to study and work,

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<sup>18</sup> NA 132/7, LINZ records

<sup>19</sup> Wisers Directories; Advertisement 9 October 1909, *Auckland Star*, p6(5)

<sup>20</sup> See valuation field sheets, ACC 213/55b, Auckland Council Archives

<sup>21</sup> NA 132/7, LINZ records

<sup>22</sup> NA 132/7, LINZ records

<sup>23</sup> Auction of household items notice, *NZ Herald* 5 July 1939 p. 4(2)

<sup>24</sup> NA 132/7, LINZ records

functioning as a mixed and interdenominational facility.<sup>25</sup> From around 1961 the Auckland Baptist Tabernacle regarded the setting up of a similar youth hostel in the city as a major item of business,<sup>26</sup> and in November 1962 the former Avonhyrste Private Hotel on Symonds Street was purchased for this purpose.<sup>27</sup>

It was noted in *NZ Baptist* in the mid-1960s that the youth hostels

...are not charitable institutions, but do a tremendous amount to stem the flow of what could become social problems in inner city areas. In increasing numbers young people of all denominations are coming to the cities mainly for educational purposes. Board is difficult to find. Many have little or no contact with friends. A place where they can live with young people having similar background and interests therefore mean a great deal, not least if their common denominator is their Christian faith.

Of course, not all are Baptist. Other Christian denominations are well represented and other religions. Naturally argument and debate continually enliven their friendship and fellowship. Personal testimony and prayer shared one with the other has led some to commitment and new faith in Christ.<sup>28</sup>

In 1979 the Gillies Ave property replaced the Symonds Street hostel, which had been closed in 1974. 149 Gillies Ave was converted from private residence to student hostel accommodation. The original house was altered and an additional wing to the north added to the design of architect Ray H Miller and at a total cost of \$380,000 including a \$170,000 subsidy from the Government.<sup>29</sup> Modifications were sensitively designed around existing built forms and landscape features so as to "prevent altering the environment."<sup>30</sup> This included the retention of the site's mature trees. The original house itself was extensively renovated internally but some features were kept including three fireplaces.<sup>31</sup>

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<sup>25</sup> *NZ Baptist*, December 1969, p. 24

<sup>26</sup> *NZ Baptist*, August 1961, p. 208

<sup>27</sup> *NZ Baptist*, November 1962, p. 297

<sup>28</sup> *NZ Baptist*, October 1966, p. 260

<sup>29</sup> See Permit Plan No. 29024, Auckland Council Archives. Further alterations took place designed by Miller Houston practice from 1987.

<sup>30</sup> *Central Leader*, 24 July 1979, p. 1

<sup>31</sup> *NZ Baptist*, April 1981



Figure 5: An architectural impression of the then-proposed extension, 1979. (Source: *Central Leader*, 24 July 1979, p. 1).

The intention was not to simply build another institution but “a home, with the emphasis on family spirit.”<sup>32</sup> The altered property provided accommodation for 34 residents, with bedrooms built in “clusters” around recreation areas and a central courtyard. Each of the four linked accommodation blocks were administered by a senior boarder, with house parents overseeing the whole hostel.<sup>33</sup> As with the previous hostel in Symonds Street, the Gillies Ave hostel also became part of broader community endeavours by the Baptist Church; while students were away over the summer period its rooms were made available for holiday accommodation and for overseas visitors convalescing after heart surgery at the Mater Hospital in Brisbane.<sup>34</sup>

In the 1980s, administration of the hostel passed from the Auckland Baptist Tabernacle to Baptist Action, the welfare arm of the Church.<sup>35</sup> This was reorganised in 2006 to become Iosis, a social service focused on parenting issues.<sup>36</sup> The Gillies Ave hostel was closed in the same year and the property was sold to a private company, Everdell Holdings Limited.<sup>37</sup> Minimal change was made to the buildings or site and the property continued to be used as hostel-type accommodation, this time for people needing a temporary or longer-term home while working, studying or just getting by. The site was purchased in 2017 by SCHL.<sup>38</sup>

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<sup>32</sup> *Central Leader*, 24 July 1979, p. 1

<sup>33</sup> *NZ Baptist*, April 1981

<sup>34</sup> *NZ Baptist*, March 1985, p. 7

<sup>35</sup> “Queen Street Student Apartments – Our History”, [www.qssa.nz](http://www.qssa.nz), accessed February 2018

<sup>36</sup> *NZ Herald*, 15 May 2006

<sup>37</sup> NA 132/7, LINZ records

<sup>38</sup> NA 132/7

### **151 Gillies Ave**

The houses at 151 and 153 Gillies Ave were built in the early 1920s on Lot 14, immediately east of the hospital site (see Figure 3).<sup>39</sup> Their land had been purchased by Alexander Imrie Farmer in 1905, but remained vacant until subdivided and sold in 1920, part to Alexander Cleveland McArthur (151 Gillies) and the other to McArthur's mother-in-law Margaret Goodfellow (153 Gillies).<sup>40</sup>

Alexander Cleveland McArthur (1888-1971), the owner of 151 Gillies Ave from 1920, arrived in New Zealand in 1901 from Manitoba, Canada. Before the First World War he was a merchant in Silverdale, and by 1914 had a partnership with Frank (later Sir Frank) Mappin. He served with the NZEF during the First World War, joined the Royal Flying Corps in 1916, the NZ Air Force (Territorial) in 1923, and was chairman of the Aircrew Selection Board during World War II, with the rank of Squadron Leader. In 1928, he operated a kauri gum resin extraction operation near Helensville, until the company liquidated in 1938.<sup>41</sup>

McArthur's house was designed by the architectural practice of Arnold & Abbott in 1920.<sup>42</sup> These architects in partnership also designed: Kent's Building and Excelsior Buildings, Newmarket;<sup>43</sup> main building and caretakers cottage, Auckland Grammar School;<sup>44</sup> Campbell Creche, Greys Ave;<sup>45</sup> Remuera Lawn Tennis Club pavilion;<sup>46</sup> Dunblane Buildings, Queen Street<sup>47</sup> and Kings College (1920)<sup>48</sup> amongst other commercial and residential projects.

The rear of the house was altered in 1958<sup>49</sup> and 1976,<sup>50</sup> and the property was purchased by SCHL in 2016.<sup>51</sup>

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<sup>39</sup> See valuation field sheets, ACC 213/55b, and Permit No 16638 plan (for 151 Gillies Ave), December 1920, Auckland Council Archives

<sup>40</sup> NA 131/238, LINZ records

<sup>41</sup> *Hibiscus Matters*, 14 October 2015; *Auckland Star*, 2 November 1928, p. 11; *NZ Herald*, 10 August 1938, p.24(8)

<sup>42</sup> See Permit No. 16638 plan, December 1920, Auckland Council Archives

<sup>43</sup> "Proposed Shops and Living Quarters, Khyber Pass, Newmarket for Miss D. Kent and Messrs H & A Kent," Arnold & Abbott, Architects, Plan No. 53, Auckland Council Archives

<sup>44</sup> K A Trembath, *Ad Augusta*, 1969, p. 161

<sup>45</sup> *NZ Herald*, 30 August 1910, p. 4

<sup>46</sup> *NZ Herald*, 18 November 1911, p.9

<sup>47</sup> *NZ Herald*, 10 September 1912, p. 12(3)

<sup>48</sup> *NZ Herald*, 12 July 1920, p. 6

<sup>49</sup> Permit No 15394 plan, Auckland Council Archives

<sup>50</sup> Permit No 20754 plan, Auckland Council Archives

<sup>51</sup> NA 1347/91, LINZ records

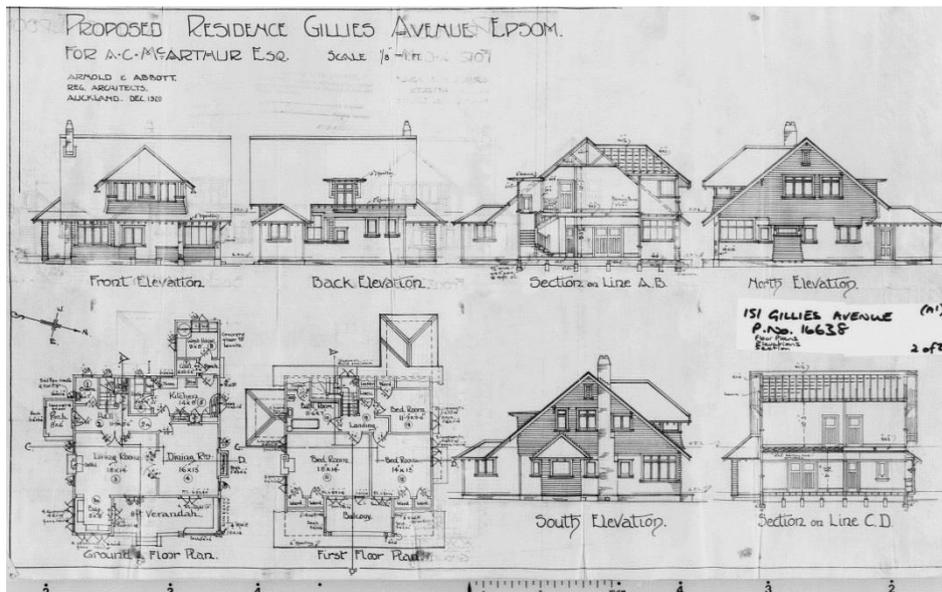


Figure 6 Arnold & Abbott's 1920 design for McArthur's house at 151 Gillies Ave (Source: Auckland Council Archives).

### ***153 Gillies Ave***

Less is known regarding Margaret Goodfellow, the owner of the property at 153 Gillies Ave from 1920, and no architectural drawings have been uncovered of the house. It is plausible that Arnold & Abbott designed 153 Gillies Ave as well as 151, given their equivalence in age and the fact that Goodfellow and McArthur were related, with McArthur going on to inherit Goodfellow's property in 1951.<sup>52</sup> However this has not been confirmed by research to date, and while their designs have similarities their form and detailing are somewhat different as described below.

153 Gillies Ave was purchased by SCHL in early 2015.<sup>53</sup>

<sup>52</sup> NA 319/344, LINZ records

<sup>53</sup> NA 1347/92, LINZ records



Figure 7 1940 aerial showing the Awanui Hospital (blue arrow) with surrounding houses.

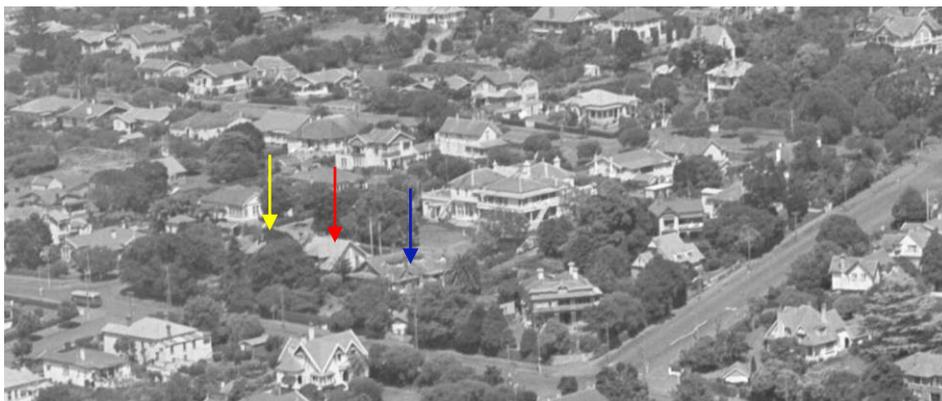


Figure 8 c.1945-47. The subject properties' houses are indicated with arrows – 149 (blue), 151 (red), 153 (yellow). Note the significant trees along Gillies Ave that obscure the houses, particularly 151 and 153, from view.

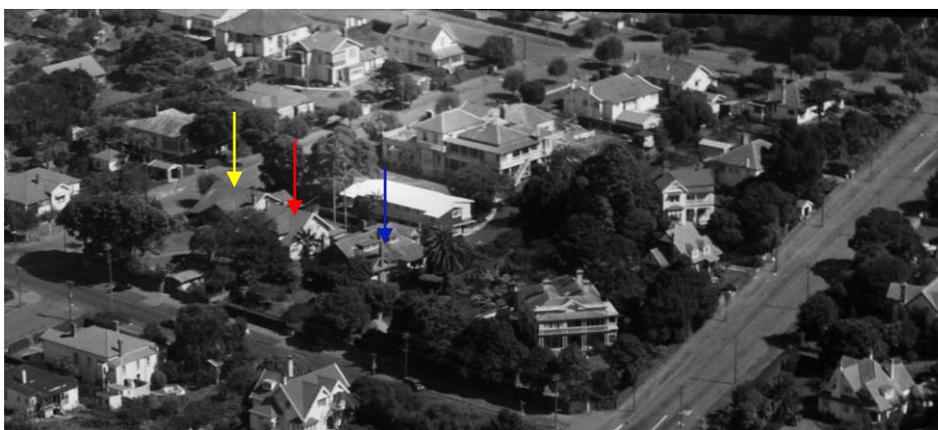


Figure 9 1957. Again, the trees are a prominent feature. Note the various additions to the Awanui hospital site to accommodate its growing needs.



Figure 10 1964. An extension is visible to the rear of the house at 151 Gillies Ave.



Figure 11 1966. Flats have been built on either side of the historic house at the corner of Gillies Ave and Owens Road.



Figure 12 1968. The street trees are starting to mature along Brightside Road. Little appears to have changed within the subject sites.



Figure 13 2001. Note further changes to the rear of 151 Gillies Ave. The major transformation of 149 Gillies Ave to create a Baptist hostel has also occurred by this time. The pōhutukawa and jacaranda within the hospital grounds remain prominent features, as do the mature trees to Gillies Ave.

## 4. PHYSICAL ANALYSIS

### 4.1. The Mount Eden / Epsom SCA: Overview

The particular SCA overlay that includes the subject sites covers a large area of approximately four kilometres from the northern end of Almorah Place in Epsom to the intersection of St Andrews Road with Quentin Ave in Mt Eden. Maungawhau (northwest) and Maungakiekie (southeast) are visual landmarks, the topography of which historically determined the layout of streets and subdivisions, a pattern which remain evident in the area. The subject sites are located towards the northern end of the SCA.

While the SCA covers some blocks and larger subdivision areas in a wholesale way (see for example the largely continuous coverage from the base of Maungawhau to Gillies Ave in Figure 14), other parts of the overlay are much smaller clusters of properties. The subject sites are one such example. While the blocks to the north, west and south are entirely or predominantly covered by the SCA, the block bounded by Gillies Ave / Brightside Road / Owens Road is largely excluded from the overlay with the exception of the three subject sites on Gillies Ave. The mixed housing zone of the surrounding sites is reflected on the east side of Gillies Ave and shows the progressive development of land along this main arterial particularly towards Newmarket.

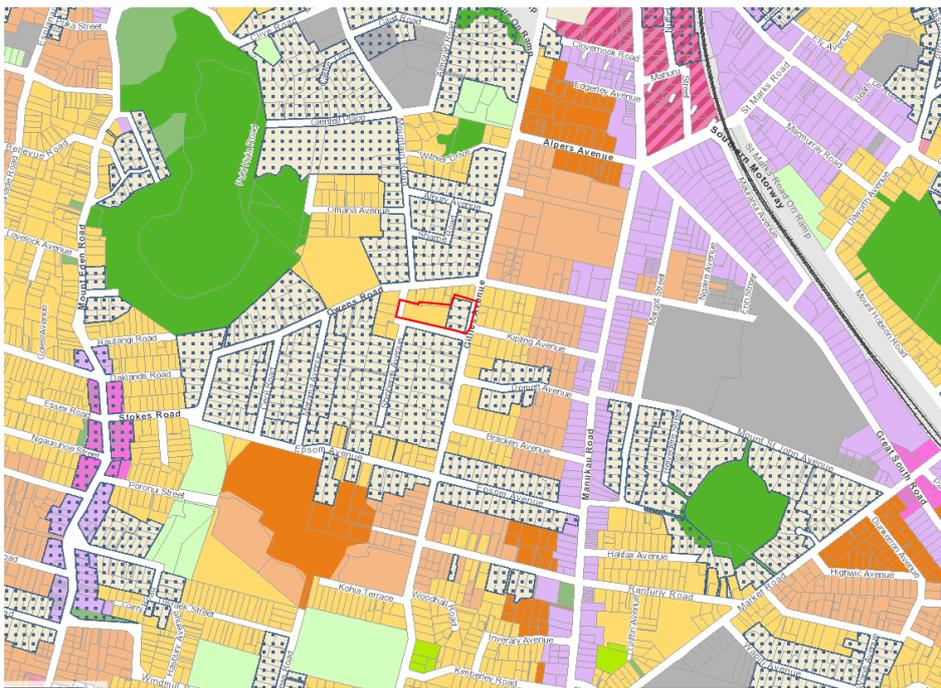


Figure 14 The wider context of the SCA with the Southern Cross sites outlined red. SCA properties are generally zoned Single House, while the surrounds to the subject sites (and including 3 Brightside Road) are zoned Mixed Housing Suburban. (Source: Auckland Council AUP).

Key attributes of the area's special character are described in AUP Schedule 15.1.7.3. These are briefly summarised below in terms of the Mount Eden / Epsom SCA as a whole and then are specifically applied to the properties at 149 – 153 Gillies Ave.

## 4.2. Physical and visual qualities

Key characteristics of the Mount Eden / Epsom SCA:

- Late 19<sup>th</sup> century to 1940 genesis.
- Detached one or two-storey houses ranging from substantial to small, with a variety of architectural form and character, setback sizes and boundary fencing
- Generally moderate to large lots, with a range of subdivision densities depending on when a particular area was subdivided.
- Variation in visual coherence – in some parts there is consistency in lot size, density, setbacks, rhythm of house position, housing form etc. In other parts there is less visual coherence with varying lot sizes and development over time.

### *Period and scale of development*

The development of the subject sites in the early 1920s is in the middle of the period of SCA coverage. As was common in the era, the subject residences are detached houses on generous lots. No. 153 is single storey while 151 and 149 are two storeyed.

### *Form and relationship to the street*

The houses at 151 and 153 Gillies Ave are set well back from the street edge with large landscaped front gardens that feature trees, hedging, lawns, low walls and paving. Their very deep front yards of over 15 metres combined with large mature trees and basalt walls mean that there is very limited visibility of both houses and their gardens from the street.

The original house at 149 Gillies Ave was similarly set back and had a very extensive garden as seen in the historical aerials above. However, its overall form and relationship to the street was greatly altered by its conversion into a student hostel in 1979 as described in Section 3. In contrast to the houses at 151 and 153 Gillies Ave, this property's built form is easily visible due to its front car parking and fewer trees.

### *Density / pattern of development*

Lot sizes in the block bounded Brightside/Owens/Gillies Ave are uneven. This is partly due to the 1905 subdivision creating a skewed-shaped block and uneven lot sizes to accommodate pre-existing structures, and also due to later subdivisions from the 1920s onwards. While the lots are generally large a 1940 aerial shows houses at varying setbacks with little clear rhythm to their collective positioning, and this heterogeneity continues in the area with a wide range of building forms, densities and site positions.

Clearer articulation is evident in the 1940 aerial in the lots to the east along Owens Road and Kipling Ave, and also to the south down Shipherds Ave, but these streets have transformed over time to similarly accommodate different developments as the area has intensified.



Figure 15 1940 aerial showing heterogeneous patterns of density and development in the Owen/Brightside/Gillies block, and more homogeneity in smaller sections to the east and south. (Source: Auckland Council Geomaps).



Figure 16 The same area in 2016. (Source: Auckland Council Geomaps).

### *Types*

The SCA as a whole reflects a range of residential types from the late 19th century through to the 1930s and 1940s, predominantly in the form of detached houses and moderate to large lots. These historically large lot sizes have been able to accommodate significant intensification over time such that there is rich diversity in building types from timber villas to multi-unit flats, collectively contributing to an evolved and living cultural landscape.

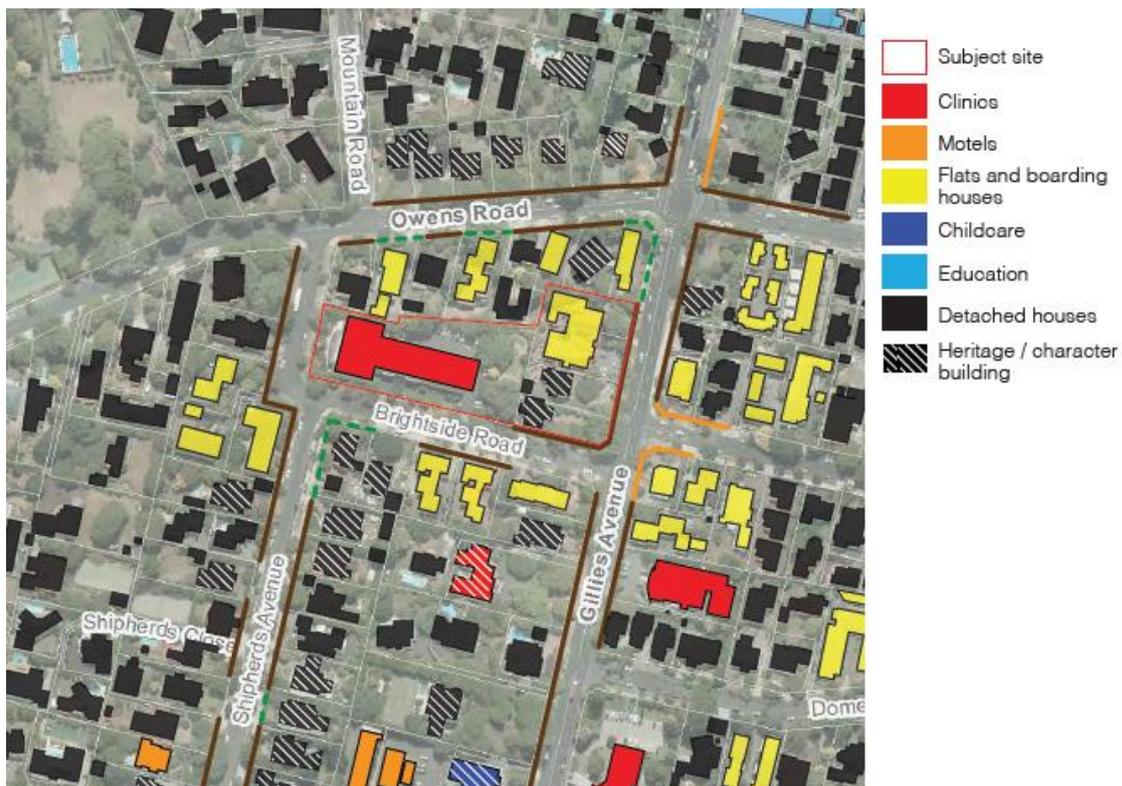


Figure 17 The variety of building types and streetscape elements in the vicinity. (Source: Motu Design).

**Visual coherence**

The area’s visual coherence comes less from its building stock and more from its urban landscaping. In particular, street trees and trees in private properties make a significant contribution to the cohesivity and visual amenity of the area. Stone walls are also a prominent and interconnecting feature as indicated in Figure 17. The historical stone walls bounding Brightside Road and Gillies Ave, the hedge behind and above the wall along Brightside Road and the mature trees to the Gillies Ave frontage contribute significantly to this visual coherence, particularly due to their corner location. The houses at 151 and 153 Gillies Ave are visually obscured by these elements.

**4.3. Architectural values**

Key characteristics of the Mount Eden / Epsom SCA:

- Range of architectural styles from Victorian and Edwardian villas to Art Deco and State housing. The greatest consistency occurs where whole subdivisions were built very quickly, whereas other parts developed over a longer time period and therefore demonstrate evolving architectural trends
- Dominant construction material is timber, with brick and other materials also used.

**Style**

As described above, there is a wide range of building types and styles in the immediate vicinity. The subject sites are clearly influenced by the English Garden Suburb movement that shaped the

development of Auckland's suburban areas in the early decades of the 20<sup>th</sup> century. Eschewing the small lots and higher densities of Victorian and Edwardian periods, the movement promoted space, sun and vegetation and came with a new architectural style, the bungalow. While these features have been largely lost at 149 Gillies Ave, they are clearly evident at both 151 and 153 Gillies Ave with their deep setbacks, carefully landscaped gardens and architecture.

The architecture of the houses combines influences from Californian bungalow and English cottage styles. This has been heavily modified in the case of 149 Gillies Ave but remains largely intact at 151 and 153 Gillies Ave.

A collection of contemporary images of the subject sites is included in **Appendix B**.



Figure 18 Aerial of 149 Gillies Ave, showing original form (blue dash) and 1979 extension (red dash).

### 149 Gillies Ave: style



Figure 19 149 Gillies Ave – front (east) elevation.



Figure 20 The historical architectural form and detailing is still evident at the rear of the site.

The extent of the 1979 modifications to this site's original house is clearly evident in a contemporary aerial view (Figure 18). While the extension aimed to be sensitive to, and to a certain extent emulate, the existing architecture, its stylistic qualities reflect its period and the utilitarian nature of its purpose. While the earlier dwelling's pre-1940s character is evident at the rear of the site (Figure 20), it is no longer the predominant architectural expression to the street. It is presumably for this reason that the building is not subject to the demolition, removal and relocation rules of the SCA.

### **151 Gillies Ave: style**



Figure 21 151 Gillies Ave – front (east) elevation.

This house has a relatively steep roof form, with an attic-style second storey accommodated in a projecting hip. While the original cladding has been replaced with corrugated steel, its copper gutters and downpipes have been retained, albeit painted, and the bungalow-style exposed rafters (east and west) and projecting brackets (north and south) remain evident in the eaves. A timber louvered ventilator, a typical bungalow feature, is included in both gable end walls.

The overall design is a simple square, with a timber structure set on timber and concrete piles with an exposed red brick perimeter base. The predominant cladding material is horizontal rusticated weatherboards with boarded corners. An offset and stepped exposed brick chimney dominates the southern elevation and provides a characteristic English cottage-style asymmetry to the form. This is counter-balanced by an inset porch in the north-eastern front corner which features substantial brick columns. As is typical of the bungalow style, the house's main entrance is on its side (south) via an enclosed porch and into a hall. A second entrance is located on the house's frontage, via brick steps leading to simple wooden swing gates onto a verandah. The site's natural gradient to the east means that the floor level is approximately one metre off the ground on this side.

The house features large and numerous windows particularly to the east and north, set out in an asymmetrical pattern. Some northern windows have projecting sun shades with exposed rafters. Joinery is painted timber and windows are casement-style with fanlights above that are often filled with coloured and patterned leadlight glass in a geometric Art Nouveau design.

Internally, the house features the typical planning of the bungalow style, including a central entrance hall that leads directly into adjacent rooms which then give access to the rest of the house. The design featured the latest conveniences of the time in terms of electrical power and indoor bathroom facilities, reflecting Auckland-wide developments in the 1920s. In the dining room, the built-in sideboard projects from the northern wall to form a shallow recessed 'nook' with multi-paned lead lights above and to either side. Ceilings are lower than earlier villas which enable the design's overall shallow form, and are panelled with simple timber battens. As is common in English cottage-style designs, the stair is a prominent design feature with carved balustrading and newel posts.

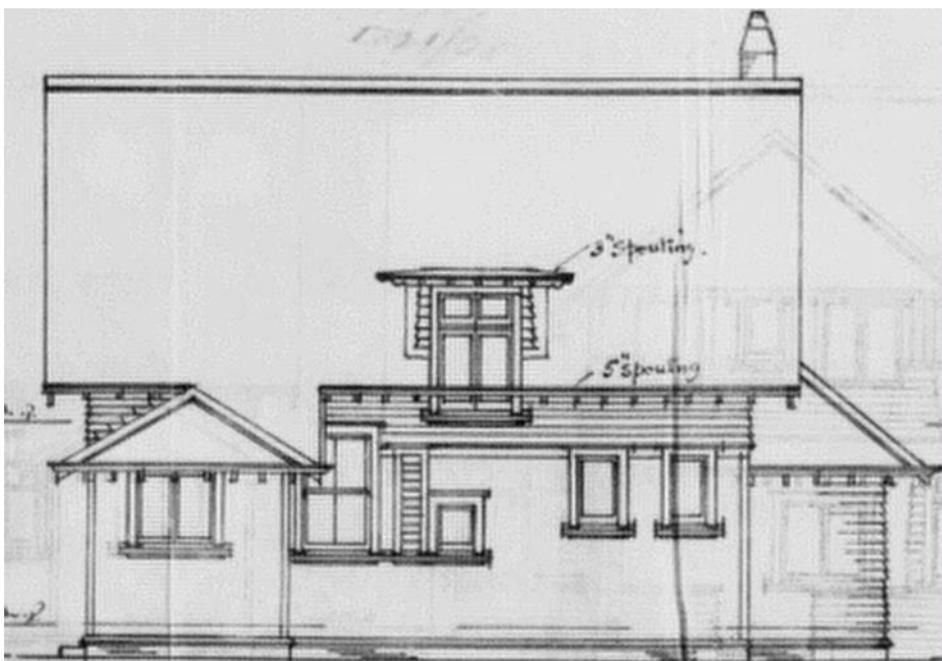


Figure 22 Rear (west) elevation, Arnold & Abbott, 1920. (Source: Auckland Council Archives).



Figure 23 The rear has been altered but several design features remain intact.

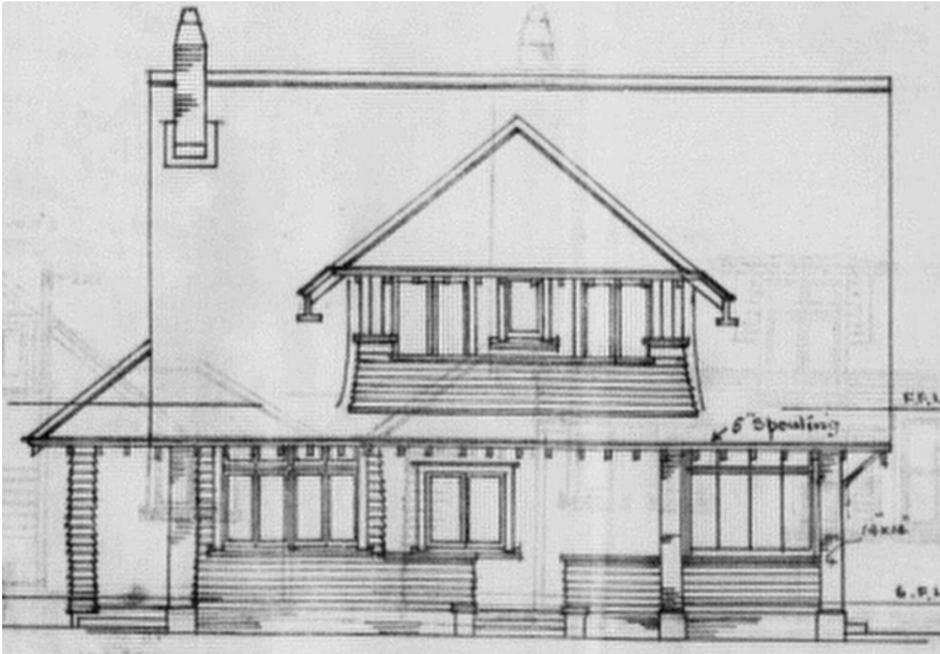


Figure 24 Front (east) elevation, Arnold & Abbott, 1920. (Source: Auckland Council Archives).



Figure 25 The upper storey balcony has been enclosed to create another upper room.

As is evident when comparing the original design (Figure 22) with the contemporary building (Figure 23) and as discussed in the historical overview above, the rear of the house has been modified. While these changes have somewhat compromised the original design intent, the overall form and materiality and key features such as the partially-inset dormer window and coping line at window heads have been retained. The front elevation has also been modified with the enclosure of the upper story balcony (see Figure 24 and Figure 25). This has resulted in the loss of some bungalow-esque detailing in the paired corner columns and central step-down but is generally sympathetic to the

design. These alterations are reflected in the interior with a completely remodelled kitchen, modified bathrooms and third bedroom, but overall the building's original architectural form, layout, detailing and materiality are largely intact.

**153 Gillies Ave: style**



Figure 26 153 Gillies Ave – front (east) elevation.

153 Gillies Ave has similarities to 151 Gillies Ave. However, it is architecturally more conservative with a design that generally reflects the bungalow style rather than English cottage. It has a low roof pitch and shallow, wide form, with an off-centre recessed entrance porch on the front (east) face covered by a wider secondary gable with central timber louvre. To the rear there is a lower hipped roof which intersects with the main gable. The eaves have exposed rafters (east and west) and projecting brackets (north and south) and the gables also feature decoratively-ended barge boards as is typical of the bungalow style. While the house has been reroofed it retains copper gutters and downpipes (unpainted).

As with no. 151, the overall design is a square plan constructed in timber with timber and concrete piles and an exposed red brick perimeter base. The predominant cladding material is horizontal rusticated weatherboards with boarded corners; its detailing includes a flared 'skirt' directly above the brick base and individually-cut weatherboard sections vertically set to cover joints. The north elevation includes an offset and stepped exposed brick chimney with decoratively outset brickwork in a double diamond pattern. The front porch, which has been re-tiled, has a timber lattice screen to its north-eastern edge and is accessed via three brick steps enclosed by two low side walls.

The house's painted timber windows are variously constructed as large sashes (usually clear or patterned glass) or smaller casements (often multi-paned and lead-lighted in a geometric Art Nouveau

design). Some northern and southern windows have projecting sun shades with exposed rafters, while two large sash windows to the rear have fixed latticed screens either side.

Similar to no. 151 and characteristic of bungalows, the house at 153 Gillies Ave has a less formal interior plan than that of preceding villas. The wide entrance hall, which still features unpainted panelled wood linings and panelled and lead-lighted doors, leads onto living spaces and from there into the rear of the house. The interior retains many of its original features including built-in cabinetry and closets and their bronzed hardware, timber floorboards and panelled ceilings. The living room on the eastern wall includes a prominent brick fireplace with recessed shelving either side; the carefully detailed and patterned brickwork was likely originally exposed but has since been painted over. This room also features a recessed window seat that forms the north-eastern front of the house.

While the bathroom has been fully renovated and the wall removed between the toilet and bathroom both doors have been retained, giving legibility to the original design. The kitchen and dining room areas have also been modified, including a new angled entranceway at the rear, but various original details remain apparent. Overall the building appears largely intact to its original design and retains its stylistic character.

### ***Materials and construction***

As described above, both houses at 151 and 153 Gillies Ave are predominantly constructed in timber with brick chimneys and perimeter foundations. Their materiality and construction are typical of the SCA period. Both houses are in good condition and have been well maintained, with minimal evidence of moisture ingress or fabric deterioration. Views of the subfloor area indicate the foundational structure is sound. See **Appendix B** for images.

149 Gillies Ave is constructed in a range of materials including the original timber and brick, and in this case a very substantial basalt stone perimeter foundation. Its large extension is also built in timber and clad in weatherboards, although with aluminium rather than timber joinery, and its roof is clad with Marseilles tiles with projecting eaves rafters below.

## **4.4. Urban structure**

Key characteristics of the Mount Eden / Epsom SCA:

- Subdivision pattern determined by the underlying volcanic topography and by progressive suburban development following tram services.
- Road patterns based on an orthogonal layout determined by the layout of main roads. Some streets have generous berms with street trees.
- A well-vegetated character is evident, with mature trees and a variety of vegetation both on private and public land.

### ***Subdivision***

As described above, the wider area that the subject sites are part of encompasses various large and small-scale subdivisions that have occurred over time. While many of the lots have not changed since

the 1940s, they have intensified with multiple units built using cross-lease or body corporate title arrangements. The house to site ratio of the subject sites is therefore now less common in the area.

### ***Road pattern***

As is typical of the SCA, the subject sites' surrounding road pattern originated in the early 20<sup>th</sup> century as an orthogonal layout with new roads set perpendicular to Gillies Ave and shaped by preceding large allotments such as the Owen's land and the area's topography. The Owen/Brightside/Gillies intersections are consistent with the 1905 subdivision and appear unchanged since the taking of the 1940 aerial.

### ***Streetscape, vegetation and landscape characteristics***

A key feature of the subject sites' surrounding streetscape is mature trees and grassed berms. Rows of public street trees are extant along Brightside Road and Kipling Ave to the east, while Gillies Ave itself relies more on large trees on adjacent private land, although some street trees remain. As mentioned above, the area's vegetated and basalt stone wall-lined streetscape contribute to its amenity. They also make arguably the most coherent reference back to the area's early history both as a volcanic landscape and as a cultural landscape shaped by Garden Suburb ideals.



Figure 27 Brightside Road, looking west. 153 Gillies Ave is on the right.



Figure 28 149 – 153 Gillies Ave viewed from the north.

## 5. ASSESSMENT

Anticipated outcomes of the PPC is the removal of the existing houses at 149 – 153 Gillies Ave and the construction of a new hospital wing connected to the existing facility at 3 Brightside Road. This assessment examines these outcomes in terms of the subject sites' special character and their contribution to the collective values of the SCA. It then examines constraints to proposed developments, along with possible alternative approaches to achieving the purposes of the PPC. Finally, it examines the effects of rezoning (and consequent development) on the special character values of the wider area.

### 5.1. The properties' special character values

It is considered that the properties at 151 and 153 Gillies Ave, and to a lesser extent 149 Gillies Ave, have historical and physical/visual values consistent with the SCA.

- They clearly demonstrate the early 20th century Garden Suburb movement and its emphasis on space, sunlight and vegetation through their generous sections with landscaped gardens and mature trees. The period houses, low site density with large setbacks and abundant trees and vegetation are all characteristics of the area's early development specifically highlighted in the SCA's statement of significance.<sup>54</sup>
- The architectural design and site relationship of the two southern houses reflect trends in Auckland's residential architectural design, as they demonstrate influences from the Californian bungalow and English cottage styles. Certainly no. 151, and possibly 153, was designed by Arnold & Abbott, a notable and prolific architectural firm of the period. While not exemplars, the houses are clear examples of the architecture, construction and materiality of upper-middle class residential development in the 1920s. Both houses have high architectural integrity and are in good condition. It is anticipated that it would be relatively practicable to comply with relevant Building Act requirements and that the houses could continue to offer more than reasonable amenity for any residential occupants. The hostel at 149 Gillies Ave is somewhat different in terms of its architectural quality, having been significantly altered and enlarged in the 1970s, and its condition, which appears generally sound but poor.<sup>55</sup>
- The properties at 151 and 153 Gillies Ave are visually defined by their mature trees, gardens and basalt stone walls, which together illustrate the concepts of space, sun and vegetation which were central themes in the Garden Suburb movement. The stone boundary walls physically manifest the area's story both as a volcanic and cultural landscape as they mark out

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<sup>54</sup> Summarised in Section 2.1. of this report.

<sup>55</sup> This is recognised in the property's different status within the SCA. While 151 and 153 Gillies Ave are subject to the SCA's demolition, removal and relocation rules (see Figure 2), no. 149 is excluded from those controls, meaning that demolition is a permitted activity under the current AUP rules.

the earliest boundary lines as the area was subdivided. Landscape qualities extend to 149 Gillies Ave, where mature trees, open space and historical stone walls are also prevalent site characteristics.

Given the sites' alignment with the identified special character values of the SCA, a plan change that seeks to remove the SCA may be considered inconsistent with Objective B5.3.1.(2) of the RPS, which seeks to maintain and enhance the character and amenity values of identified special character areas.

The above objective needs to be balanced with other objectives of the RPS to achieve integrated management of the region's resources as required by the RMA. These wider considerations are covered in detail in the AEE prepared by SFH Consultants. One aspect of this balance is an assessment of the contribution of the subject sites to the collective values of the SCA as a whole. This is now explored.

## **5.2. Contribution to the collective values of the SCA**

While the three Gillies Ave properties are found to have special character values consistent with those identified in the SCA, a key aspect of the SCA is the area's *collective* coherence – how the area collectively reflects historical periods, urban patterns, streetscape qualities and other special character values. This is an important aspect to consider when assessing the contribution of the subject sites to the SCA beyond their individual amenity such that issues of character erosion<sup>56</sup> and disruption of cohesiveness<sup>57</sup> are well understood and managed.

### ***Erosion of special character values***

It is notable from physical analysis (see Sections 4.2 and 4.4) that there is limited visibility of both houses at no. 151 and 153 from the public realm, either on Brightside Road or Gillies Ave. With the exception of controlled egress through gates, the properties have minimal interaction with the street. It appears that privacy was very much part of the original design intention, likely due to the development of Gillies Ave as a significant thoroughfare. Both houses are set well back from the street with walled boundaries, extensive vegetation and large trees.

This is somewhat different from the building at 149 Gillies Ave which is less concealed following its conversion from a house to a youth hostel in the 1970s. It also differs from the more visually accessible properties along the quieter roads of Kipling Ave to the east and Shipherds Ave to the south, also constructed in the early 20<sup>th</sup> century.

Appreciation of the historical and physical/visual character values of the dwellings at 151 and 153 Gillies Ave is limited to on-site experience – the houses are (deliberately) concealed from the public realm. The hostel at no. 149 has little architectural merit due to alterations and is not subject to the SCA's demolition controls. As such, while the loss of these three buildings would have some erosive

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<sup>56</sup> Policy D18.3(4)(a)

<sup>57</sup> Policy D18.3(4)(b)

effect on the SCA's identified special character values due to the intrinsic value of the (southern houses) architecture, it is considered that this loss is minimal in terms of contribution to the public experience of the area.

***Disruption of streetscape / wider area cohesiveness***

While the houses at 151 and 153 Gillies Ave are good examples of their architectural type, they have limited ability to be appreciated as part of an SCA "group" due to the SCA's intrinsic diversity of style, their location on the unevenly subdivided/developed Gillies Ave, and their own visual concealment.

They do not form part of a coherent or cohesive streetscape collection, evidenced by the disparity in subdivision pattern, lot sizes and building types in the vicinity. It is important to note that this disparity is not only due to more recent development and intensification, although these factors have amplified it. Development along Gillies Ave was heterogeneous from its outset as subdivision clusters were shaped by topography and existing structures along this corridor in the early 20<sup>th</sup> century. Development within the block bounded by Brightside/Owens/Gillies Ave was also characterised by diversity rather than consistency from its infancy and this has continued to be a theme into the 21<sup>st</sup> century (Figure 17).

The houses therefore do not represent a "remnant" of an historical cohesive streetscape nor do they contribute to a modern cohesive streetscape. Rather, they have a limited relationship with the eclectic assortment of architectural styles and building types around them. The strong sectioning effect of Gillies Ave means that there is little relationship of the subject houses to properties across the road (which in any case do not form part of the SCA). While there is a scheduled historic heritage place at 57 Owens Road<sup>58</sup> there is no visual or known historical links from the subject sites to this or any other scheduled historic heritage places.

As such, while 151 and 153, and to a lesser extent 149 Gillies Ave have some relationship with each other due to their similar age, architecture and landscape qualities, they have little relationship with adjacent buildings or the broader streetscape, both visually and in terms of their historical development and architectural language. It is therefore considered that the loss of these houses would not precipitate a cumulative erosive effect on an identified character group.

***Landscape features***

This is not to say however that the properties as a whole do not make a positive contribution to the collective character values of the SCA. As discussed in Section 4, it is considered that in the case of these sites it is their landscape features, as much or perhaps more than their built forms, that make significant contribution to the special character of the area. This is in line with the SCA's (Isthmus B1) emphasis on landscape qualities – wide roads, large sites, trees, gardens, walls – a consistency of setting with the housing stock itself being more disparate.

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<sup>58</sup> AUP Schedule 14.1., place ID 01780.

The properties' mature trees, historical basalt stone walls and hedges contribute to the cohesivity and visual amenity of the area, as it is these landscape elements that have been most consistently retained in the wider area through successive developmental change. This character contribution extends to the existing hospital site at 3 Brightside Road, where several very large trees were retained as part of the 1990s design along with a large garden area and new boundary trees. On the Gillies Ave sites, the trees, hedges and stone walls at the Gillies/Brightside corner are particularly significant in defining the on-street experience of the sites, both for pedestrians and road users, and providing tangible links to the geology and history that underpin the area. It is the properties' abundant vegetation and basalt stone walls that provide a legible link between the larger SCA blocks to the north and south and thereby connect the subject sites to a broader collective character.

It is considered that substantial loss of these landscape features, particularly to the properties' boundaries, would adversely effect the identified character and amenity values of the area. This issue is considered the most challenging in terms of managing special character in relation to the proposed PPC.

### 5.3. Proposed Development and Constraints

Substantial loss of landscape features is somewhat constrained by several factors.

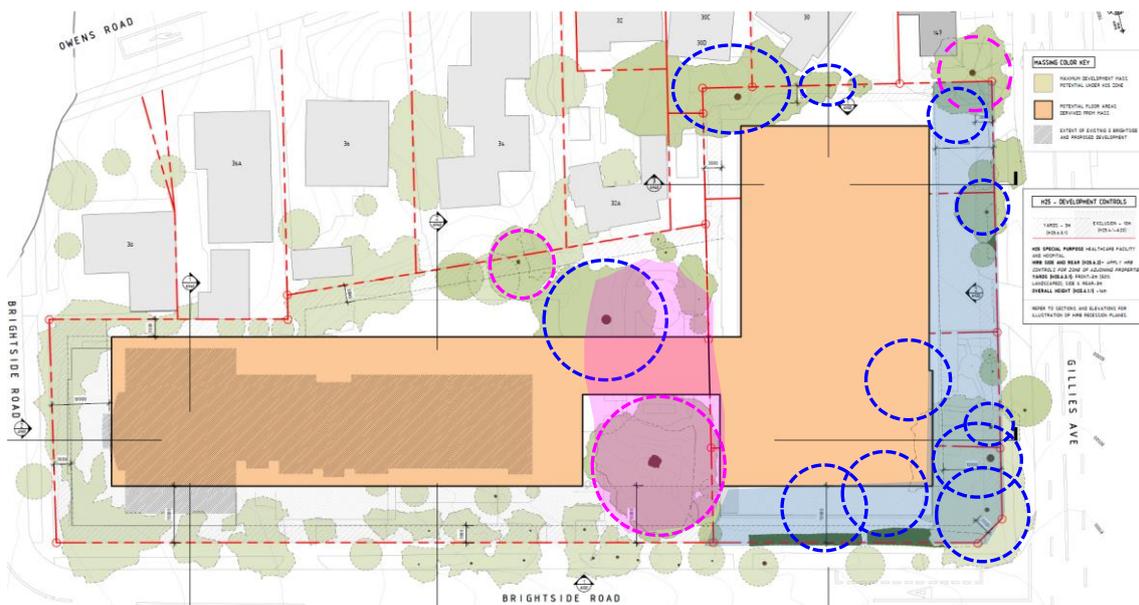


Figure 29 Massing reference plan showing extent of building footprint achievable as a Permitted activity under HFHZ. Mature trees are circled blue, with scheduled trees and the associated memorial garden pink. The 10m setback from both roads is shaded blue. (Source: Archimedia).

- Two trees on the Brightside Road site, being a pōhutukawa and an Australian frangipani, are formally scheduled as Notable Trees in the AUP. As such, they are to be “retained and protected from inappropriate subdivision, use and development” under AUP objective D13.2. Substantial trimming or works within their protected root zones are Restricted Discretionary activities and removal is a Discretionary Activity. Their location beside/within the hospital's

existing memorial garden would necessarily put constraints on development in that area as a whole.

- In addition to the two scheduled trees, other trees on the 3 Brightside Road property were noted for retention and ongoing maintenance under conditions of the 1997 Environment Court decision relating to the construction of the existing hospital building.<sup>59</sup> The conditions' were particularly aimed at maintaining boundary screening. This adds another layer of tree protection to the existing hospital site.
- As summarised in Section 2.2 of this report, the objectives, policies, standards and assessment criteria of the proposed HFHZ highlight the need for developments to not only minimise adverse effects on the surrounding environment but actively contribute to the maintenance and enhancement of amenity values. In particular, setbacks from street boundaries are required to be a minimum of 10m for an activity to be Permitted. This in itself would go some way to alleviating development pressure on the sites' landscape features as they contribute to the streetscape. Should a development breach the 10m setback or any of the other standards of the HFHZ a resource consent would be required as a Restricted Discretionary activity, with a key assessment criterion being the extent to which landscaping can soften perceived visual effects. The extent of retention of existing trees, boundary walls, and hedging would be a key consideration in any such assessment.

It is also worth noting that while the provisions of the SCA emphasise the importance of landscape context, its objective remains one of "maintaining and enhancing" special character qualities, not "protecting" them.<sup>60</sup> As such, while effects on established landscape and vegetation is part of the SCA assessment criteria, the SCA coverage does not guarantee the retention of individual or collective elements.

It is pertinent that SCHL is lodging a resource consent application for a proposed development on the subject sites concurrent with this PPC application. The proposal is subject to the existing provisions of the AUP zoning and overlays and has been designed accordingly. Its built form and landscape strategy is structured by existing built and natural site features that continue to be defining elements of the properties. Stone walls and hedging, mature trees and garden layouts are retained and incorporated into the overall spatial planning such that they can be appreciated from the interior, experienced in the grounds, and viewed from the public realm. A full special character assessment has been undertaken by Lifescapes as part of that application. That assessment finds that the approach taken in that application is critical for the maintenance and enhancement of the area's special character values

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<sup>59</sup> See the Environment Court Decision No: [1997] NZEnvC 54.

<sup>60</sup> The Environment Court Decision No: [2018] NZEnvC 186 reaffirms the distinction between "historic heritage," which falls under s 6(f) of the RMA as a matter of national importance, and "special character" which is considered as other matters under s 7(c) and (f).

<sup>60</sup> RPS Part B5.3.2. *Policies*

and for retaining the properties' physical attributes that create special character as required by the SCA objectives.

SCHL (or any future owner) would not be obliged to progress with this design under the proposed PPC, nor would any future successive development be constrained by the existing provisions of the SCA. However, the resource consent application provides a strong indicator of the intention of the current owner in seeking to extend the existing Brightside hospital.

#### 5.4. Alternative Approaches

There are several other approaches that Council may consider in seeking to provide more substantive recognition of the subject sites' special character values and to continue to maintain and enhance these values. These include the options below.

##### *Change the underlying zoning but keep the SCA*

This approach would result in the subject properties being zoned HFHZ while also retaining the SCA over 149 – 153 Gillies Ave. Any substantial development would require a Restricted Discretionary resource consent under the provisions of Part D18, with the requirement to maintain and enhance special character values being a key part of assessment.

This approach is not without precedent. The Mercy hospital site at 98 Mountain Road is similarly zoned HFHZ and has the northern portion of the site covered by the SCA. The case is somewhat different in that the early 20<sup>th</sup> century houses on this land have been able to be retained as part of the functioning of the hospital which would not be feasible in the Brightside hospital situation. Another difference is that the houses are highly visible from the street and are clearly the dominant aspect of character rather than landscape qualities of Brightside. Nonetheless this precedent does indicate that the objectives of the HFHZ and SCA can be considered in an integrated manner.

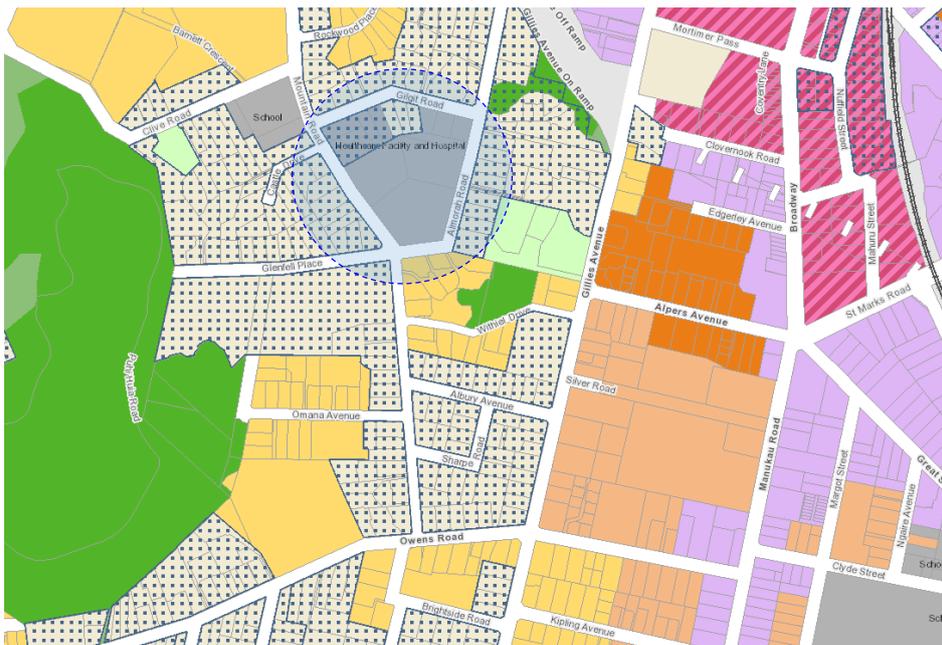


Figure 30 Mercy Hospital to the north of the subject sites. (Source: Auckland Council AUP).

While this approach would be considered beneficial from a special character values perspective, it may create uncertainty in terms of inconsistencies between the HFHZ development potential and the SCA development potential (building heights, building coverage, yards, landscaped area etc.).

It is also notable that while landscape qualities are included in a holistic manner in the SCA's statement of significance (Schedule 15.1.7.3.2.) the overall emphasis of the policies and assessment criteria of Part D18 is on built form. In this case, it is considered that the sites' landscape features, as much or perhaps more than their buildings, make significant contribution to the area's collective special character. Applying assessment criteria that centre on retaining existing built forms may not only create issues re the enabling of hospital use as required by the HFHZ objectives but may misemphasise what aspects of the subject sites actively contribute to collective character.

#### ***Schedule specific items on the sites***

This approach would schedule individual items on the subject sites as historic heritage or notable trees. This could be applied to historical stone boundary walls and mature tree specimens, and would require research and evaluation of each item in terms of the relevant criteria (B5.2.2.(1) – built form, B4.5.2.(1) – trees). Any items that were seen to meet the criteria could be proposed for scheduling through a plan change process, with the items then having statutory protection under the provisions of Parts D13 (trees) and D17 (historic heritage).

While such an evaluation is beyond the scope of this report, some aspects can be commented on. The sites can be seen to have historic heritage values through their historical associations – with the Owen family, Nancye Rose, the Baptist Church, long-standing use as a private hospital etc. It is possible that on further research and assessment some individual elements may meet the criteria for scheduling. It is considered unlikely that any of the four sites, or the property collectively, would warrant scheduling as a whole (i.e. as a historic heritage place/places), given progressive site developments and the need to remove the existing buildings from 149 – 151 Gillies Ave.

It is considered that the significance of the trees, gardens and walls of the subject sites is greater collectively than individually <sup>61</sup> and sits more appropriately in a special character overlay-type management framework than in itemised scheduling. The use of grouped scheduling, i.e. establishing a notable tree group or wall collection, may avoid a piecemeal approach if scheduling was to be pursued. Further research and analysis would be required to explore this option more fully.

#### ***Include a development plan in the HFHZ***

This approach would result in a development plan closely based on the submitted resource consent application design being included as a site-specific addition to the HFHZ provisions under Part H25.6. The plan could match or be very closely based on the Archimedia design submitted for resource

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<sup>61</sup> See also discussion in Section 6.

consent, including retention of trees, stone walls and gardens, or it could simply indicate an agreed building footprint and site features to be retained.

There are several issues to this approach from a broader planning perspective. First, it could set up management issues long term as the site's use and elements evolve over time but are "locked into" a unitary plan-level structure. It would also create a precedent for a level of site-specific detail in the AUP zoning that would more appropriately be considered on a case by case basis under a resource consent process.

However, from a special character perspective this approach would provide clarity regarding the extent and scale of development and special character features that would be retained. While the above issues are challenging it is considered that they are not insurmountable with careful mapping and language in the development plan specifically targeted to define the particularities of this case and methods of management. Given the unusual confluence of hospital use / special character values on this site, this option may provide an effective resource management outcome in practical terms.

### 5.5. Effects of the Rezoning on the Wider Area

The purpose of the plan change is to align the subject sites' underlying zoning with hospital use to facilitate the expansion of the existing Brightside hospital. The HFHZ manages this by enabling substantial development in terms of building height, height in relation to boundary and yard standards. It also includes provisions to minimise adverse effects on amenity values of adjoining residential land which moderate the above standards.

The resultant building footprint and massing achievable as a Permitted activity under AUP Part H25 is shown in Figure 31 and Figure 32. Development permitted under the H25 provisions would significantly change the visual experience of the properties from low-level highly-vegetated residences to a property characterised by large-scale built form.

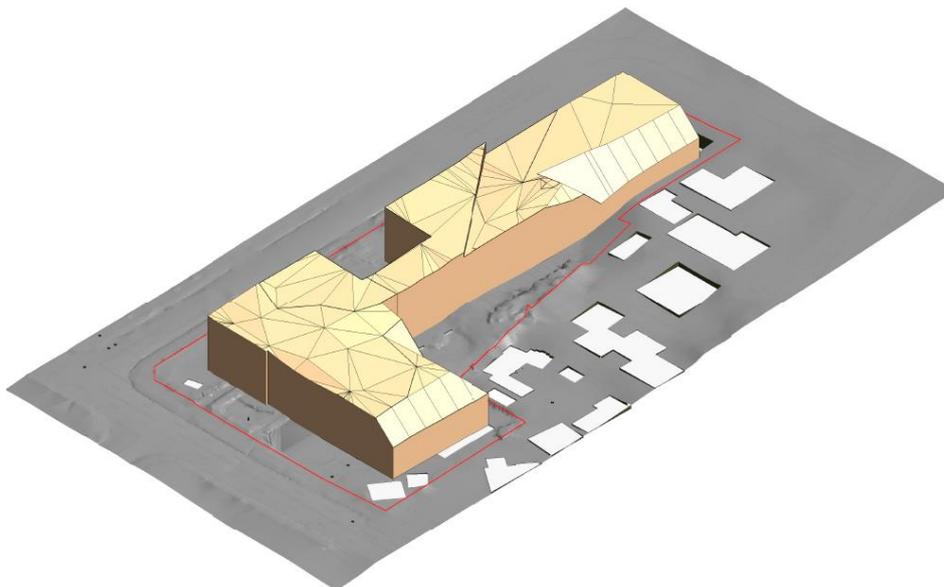


Figure 31 Northeast view along Gillies Ave. (Source: Archimedia).

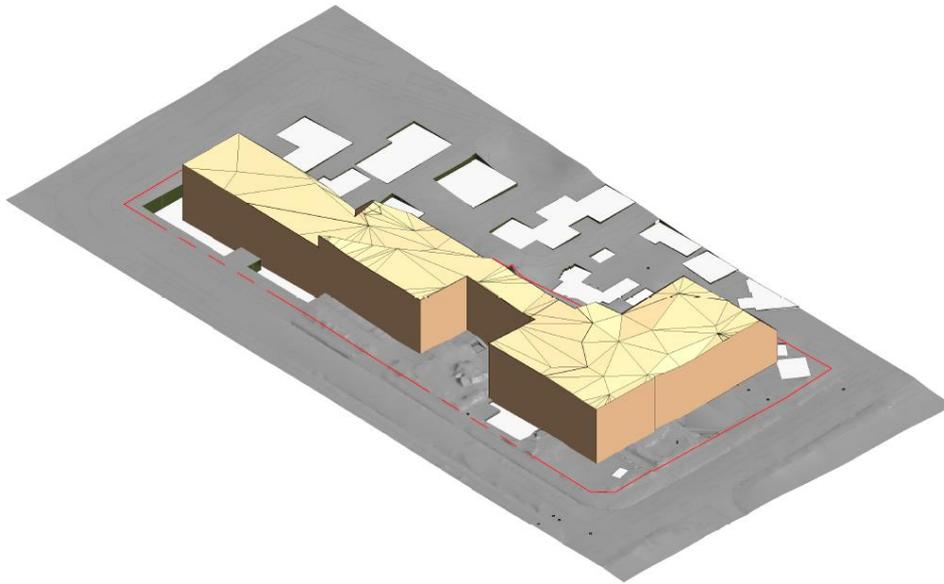


Figure 32 Southeast view at the corner of Brightside Road and Gillies Ave. (Source: Archimedia).

The extent of potential bulk and mass on the subject sites has various effects on the key attributes of the area's special character as described in AUP Schedule 15.1.7.3. The following assessment summaries physical analysis from Section 4 of this report and comments on them in relation to potential effects on the broader SCA of rezoning in this location.

- *Period and scale of development.* While diverse in form and type and with many individual exceptions, the properties covered by the SCA are collectively characterised by one or two storey residences with a genesis in the late 19<sup>th</sup> – mid-20<sup>th</sup> century.

Locating a non-residential building of up to four storeys high in the area may be considered to adversely effect this special character. It is considered compatible however with the specific location of the subject sites on the major arterial of Gillies Ave. This road features buildings from a wide range of periods at a variety of scales and it is this broader character that the subject sites physically address.

- *Form and relationship to the street.* Gabled and hipped roof forms on a variety of late 19<sup>th</sup> – mid-20<sup>th</sup> century house types are typical in the SCA. Setbacks vary but generally range from four to 12m and often feature generously vegetated front yards.

While any new architecture would necessarily be of a contemporary and commercial form, the 10m setbacks anticipated by the HFHZ would accord with historical relationships to the street in the SCA. The critical issue affecting identified character attributes would be how this setback area is then used (concrete and car parking / mature trees and landscaping / a combination of utility and amenity, etc.).

- *Density / pattern of development.* There is a range of densities and subdivision patterns in the SCA but subdivisions were historically based on residential proportions and are therefore relatively fine grain.

Effectively merging the three Gillies Ave properties and over-building their distinct boundary lines may be considered to adversely effect the SCA's general pattern of subdivision. A proposed development's design has the potential to address this both architecturally and in terms of landscaping by referencing the early subdivision pattern and retaining features and using new forms to articulate it.<sup>62</sup> However, while such an approach would align with the assessment criteria of the HFHZ (Part H25.8.2.(2)(a)) there would be no requirement for this under the Permitted activity provisions of the HFHZ.

- *Types.* The SCA is characterised by residential building types from the late 19<sup>th</sup> – mid-20<sup>th</sup> century, predominantly detached dwellings on moderate to generous lots.

While this typology may still be prevalent in the SCA generally and particularly in its more cohesive blocks situated on smaller local streets, it is not a strong characteristic in the vicinity of the subject sites. This is evidenced in Figure 17 which shows the range of residential and non-residential building types in the area. It is also important to recognise that hospital use has been a key feature of the Brightside block since the establishment of the Awanui hospital by Nancye Rose in 1922, contemporaneously with much of the area's construction. As such, it is considered that the hospital typology has a legitimate grounding in the character of the SCA.

- *Visual coherence.* There is variation in the degree of visual coherence across the SCA. In some parts, coherence comes less from building stock and more from landscape features, particularly mature trees and basalt stone walls.

As discussed in Section 5.2, the effects of rezoning in terms of its potential impact on the identified landscape features of the subject sites is considered detrimental to the collective special character of the SCA and to the immediate streetscape experience. It is notable that the existing development standards of the HFHZ create potential for meaningful retention of landscape features particularly to street boundaries. This is considered an important aspect in balancing the needs of hospital use with the objectives for retaining and enhancing special character in the provisions of the AUP.

In summary, the effects of the proposed rezoning on the identified special character values of the wider area are difficult to assess with certainty due to the key role of architectural and landscape design in creating positive effects or generating adverse ones. Aspects such as architectural form, quality and materiality and the retention or otherwise of existing landscape features are a central part of assessment under the SCA overlay. Development proposals (whether large or small scale) can positively or negatively contribute the special character of the area depending on these factors.

Positive amenity outcomes do form part of the HFHZ policies. H25.5.3.(6) requires new buildings to contribute to the maintenance and enhancement of amenity values and H25.5.3.(7) "encourages" new buildings to be designed to a high standard of amenity. The term "amenity" is one that is also used in

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<sup>62</sup> An approach that would directly align with the assessment criteria of the HFHZ – see AUP Part H25.8.2.(2)(a).

the SCA provisions and is linked with “streetscape character.” While the purposes of the SCA and HFHZ are different, the overarching theme of regarding / maintaining / enhancing amenity is present in both and is pivotal to how any proposed development on the subject sites will effect the wider SCA.

### ***The immediate surrounds***

The immediate neighbouring properties within the block are zoned Mixed Housing Suburban (and are not part of the SCA). While in the same block, these properties have minimal visual relationship with 149 -153 Gillies Ave. The height in relation to boundary height on these boundaries is set at the Mixed Housing Suburban zone level (i.e. set at a 45° angle 2.5m above ground level) to maintain sunlight access and minimise visual dominance to these neighbours.

It is anticipated that development permitted under the HFHZ would have minimal effect on the properties to the east and south of the subject sites in terms of sunlight access and visual dominance due to the width of the carriageways plus the 10m setback requirement. It is considered that the loss of trees, hedges and stone walls (should this occur) would have an adverse effect on the visual amenity from these residences and in streetscape experience. This would be somewhat lessened for the Brightside Road properties (which are covered by the SCA) due to the line of alder and birch street trees on the hospital side. The architectural quality of any new building would also be a determining factor as to whether effects on the immediate surrounds were positive or negative.

It is notable that the existing Brightside hospital is absorbed into the fabric of the streetscape, despite being significantly larger in footprint and height than the surrounding housing stock. This is enabled in large part by its large trees, both historical and planted.

### ***The wider SCA***

As analysed in Section 4 and discussed above, the Mount Eden / Epsom SCA is characterised by diversity rather than homogeneity in building types and uses. This is even more the case on the Gillies Ave corridor as attested to by the variety of zones along its length. Rezoning and consequent development of the subject sites for hospital use would not in itself be misaligned with the eclectic character of the surrounding area. The issue would rather be how identified special character features of the subject sites that contribute to the SCA’s collective character would be maintained and enhanced in any such development.

## **5.6. Effects of the Removal of the SCA on the Wider Area**

Removal of the SCA from the properties at 149 – 153 Gillies Ave would mean that the provisions of the AUP Part D18 would no longer apply, and assessment of any proposed development would be based on underlying zoning provisions only. While the Single House zone and the HFHZ are necessarily very different, they both include policies that seek to maintain existing amenity values and avoid significant adverse effects. As such, the provisions of both zones *allow for*, but do not *require*, the maintenance and enhancement of special character values as under the provisions of the SCA.

As with the proposed rezoning, the effects of the removal of the SCA from these sites on the wider area are difficult to quantify due to the myriad possibilities of development and the potential for positive or negative character outcomes as enabled by the underlying zoning. However, this

assessment finds that the subject sites positively contribute to the collective special character of the SCA and to the immediate streetscape experience. Removal of the SCA from the sites (and the consequent opportunities for major change) has the potential to detrimentally effect the SCA both in terms of the immediate vicinity and as a whole.

### ***The immediate surrounds***

It is considered that wholesale, or even substantial, loss of the historical trees, gardens and stone walls that could occur following removal of the SCA from these properties would have a detrimental effect on the immediate surrounds. This would be both from a physical amenity perspective – the way these elements contribute to the built materiality, vegetation and experiential amenity of the area – and from a historical perspective, as these elements collectively contribute to the area’s historical legibility. Potential effects are somewhat mitigated by the lack of consistency (of walls, trees, housing stock) in the immediate vicinity, although this diversity is specifically noted as a characteristic of the SCA.<sup>63</sup>

### ***The wider SCA***

While it is considered that loss of the sites’ houses would have limited erosive effect both on the immediate surrounds and on the wider SCA, the sites’ landscape elements create links to the highly vegetated and stone-edged properties to the north, east and south. They provide key historical references to the early subdivision and development of the Epsom area, and make a contribution to their legibility along an increasingly modernised and intensified Gillies Ave. It is considered that removal of the SCA here therefore has some potential to have an erosive effect on these qualities and on understandings of the broader area as a cultural landscape.

This adverse effect should not be overstated however due to the intrinsic diversity of the SCA as a whole, to the eclectic nature of Gillies Ave itself, and to the fact that the SCA does not extend to the eastern side of Gillies Ave.

## **5.7. Comparative Examples**

HFHZ areas are generally not adjacent to properties covered by an SCA. Surrounding sites are typically a combination of higher density residential zones and sometimes mixed use business, as is the case at all the major public hospitals. This may be both reflective of progressive development in the vicinity of key centres and due to the need to enable greater densities in areas of high social amenity. Greenlane Clinical Centre directly west of Cornwall Park faces four SCA properties across Claude Road. The visual disconnection between the two is alleviated by the sloping topography which elevates the SCA sites, and by the very wide setback plus carriageway width between them.

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<sup>63</sup> The AUP Part 15.1.7.3.



Figure 33 Greenlane’s relationship with SCA properties at Claude Road, Green Lane. (Source: Google Maps).

Several private hospitals are on zones other than the HFHZ, including mixed use residential or business, local centre and light industry zones. They are generally two or three storeys and are reflective of the surrounding streetscape in terms of form and massing. Examples include the Southern Cross Auckland Surgical Centre in Remuera and the North Harbour hospital in Wairau Valley.

The Mercy Hospital at 98 Mountain Road in Epsom is considered the most appropriate comparative example to the proposal at Brightside. This hospital site is more comprehensively surrounded by SCA properties than the Brightside case and as discussed in Section 5.4 is itself covered by the SCA in its north western corner (Gilgit / Mountain Roads intersection).

The Mercy Hospital site includes the hospital buildings itself and an eclectic assortment of ancillary buildings from a range of eras. The area covered by the SCA overlay continues to feature merchant houses from the early 20<sup>th</sup> century which are currently occupied by a range of healthcare services. The retention of historical buildings on the site has been enabled by a generous land area that is presumably currently able to absorb its evolving healthcare purposes in ways that are not possible at 3 Brightside Ave. It also takes up the full block whereas the Brightside case shares boundaries with neighbours to the north. While the two cases therefore have notable differences, the Mercy example has some features that are useful to consider for this application.

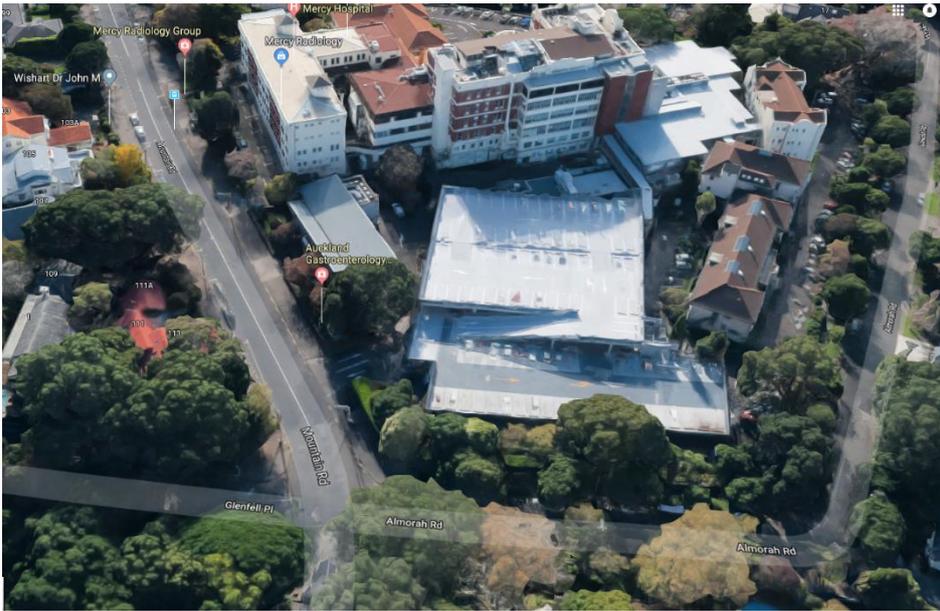


Figure 34 Mercy Hospital, Epsom. (Source: Google Maps).

- Buildings are massed to minimise visual dominance in the surrounding streetscape. The tallest building (which is present in the 1940 aerial) is located at the centre of the site. The built form maintains a four storey presence on the main thoroughfare of Mountain Road but steps down to the quieter and residential-scale Almorah Road where it is heavily screened by planting.
- The main building facing Mountain Road is visually prominent and appears to have been carefully considered accordingly. The road width, generous setback and boundary planting ensure that it does not visually dominate or overshadow the houses across the road. The architecture, while reflective of its era, appears to have been designed with some sensitivity in terms of articulation and materiality that references its surrounds.
- The site has retained basalt stone walling to its entire perimeter. The walls themselves vary in height, construction and age and at the main building on Mountain Road it is little more than a garden edge, but the continuity of this element makes the historical origins of the site legible and embeds it into this special character context. They also contribute to collective character as similar walls feature on properties lining the opposite sides of the bounding roads.
- Similarly, mature trees and substantial planting including hedges and the like have been retained on the site particularly to boundaries and along access ways. These landscape elements soften the built form, and provide much visual amenity and streetscape coherence.

The concept of the whole being more than the sum of its parts is evident here, as no one element is character-defining in and of itself, but when experienced as a collective whole they comprehensively shape the site's character and its effects on its surrounds. Taken together, it is considered that these aspects ensure that the hospital purpose not only does not detract from the collective special character values of the area but makes positive contributions to it.

Development of the subject sites has similar potential for sensitive architectural form and retention of key landscape elements. The intention to achieve this potential is evident in the resource consent documentation to be lodged with Council for a hospital extension. How this may be carried through into the provisions of the HFHZ and how collective character is maintained into the future are issues that need to be regarded in considering this application.

## 6. CONCLUDING COMMENT

There is a final point to be made here. The higher order assessment required for a plan change presents an opportunity to extend beyond discrete analysis of physical characteristics and consider the context as a cultural landscape, with interlinked physical, social, economic and cultural associations and needs that evolve and change. It is in this context that the objectives of the SCA and the HFHZ need to be balanced.

As touched upon in Section 5.5, the place of Brightside has been one of community service for as long as there have been individual dwellings here. Even as the houses at 149 – 153 Gillies Ave were being built in the 1920s, Nancye Rose was converting the 19<sup>th</sup> century Owen homestead into a hospital, Awanui, that was to become the Brightside hospital. The house at 149 Gillies Ave also was to evolve from a private residence to a place of social and spiritual support as a Baptist youth hostel, then later to become accommodation for people experiencing the realities of housing need.

It is suggested that the multiple lines of history that make this place should not be limited to tangible forms or incorrectly sidelined as an anomaly in a Single House zone. They also should not be categorised as issues of “historic heritage” and therefore outside the terms of reference for special character. Instead, consideration should be given to how these long-serving functions and social memory can be recognised as part of this place’s special character, a living entity that changes with the community context it sits within.

It is considered that this aspect provides a bridge between issues of special character and hospital use in that it recognises the special character inherent within that use. It is recommended that this aspect be considered in seeking to “enable growth and development and protecting the things people and communities value” in the Auckland region in accordance with the first key role of the AUP.<sup>64</sup>

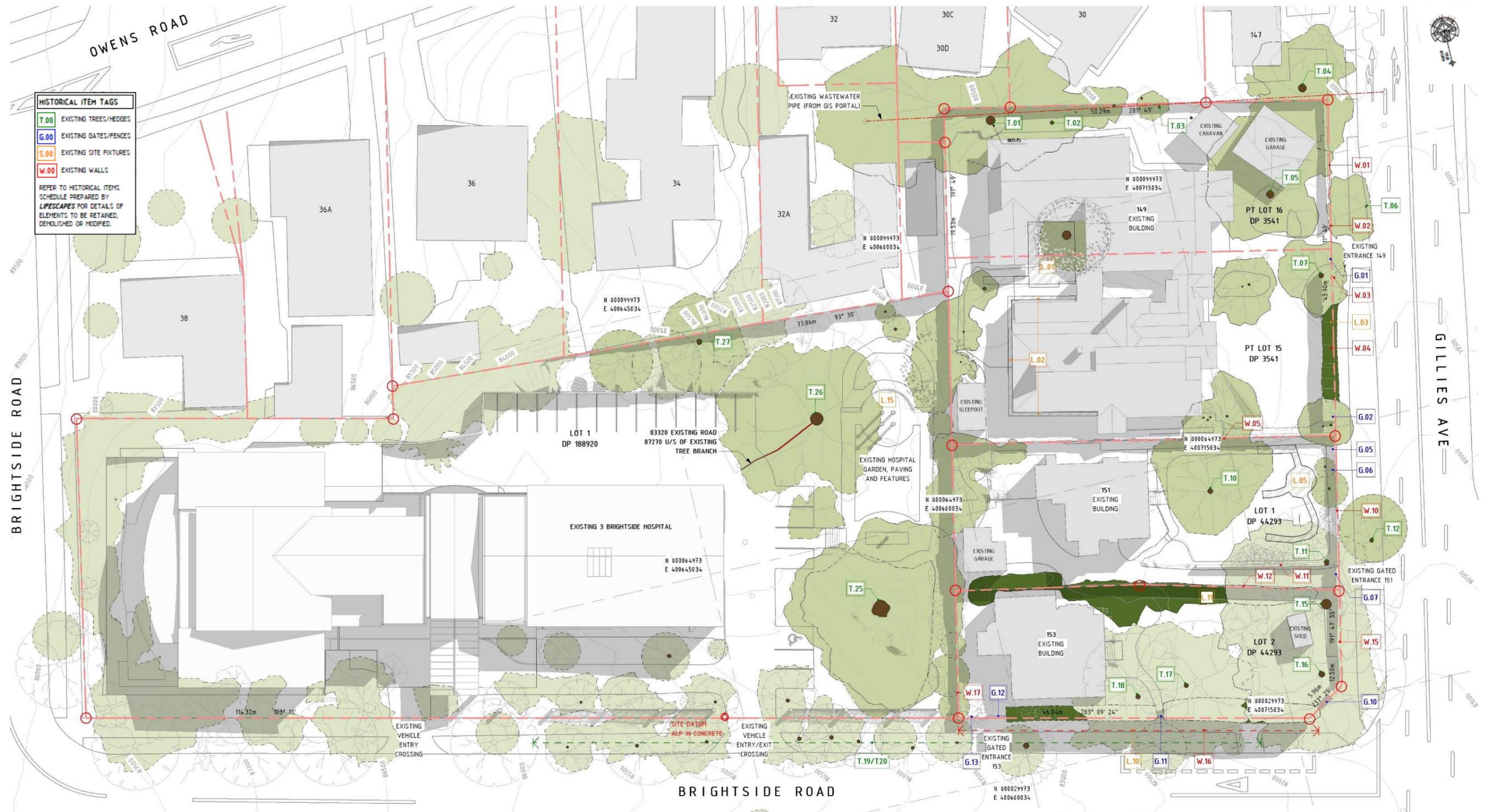
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<sup>64</sup> AUP Part A1.1.

## APPENDIX A

### 149 – 153 Gillies Avenue and 3 Brightside Road: Historical Items Plan and Schedule

Note: This schedule is not a comprehensive list of all existing elements on the sites, but rather captures key historical and/or significant landscape elements, built and natural.



EXISTING SITE PLAN WITH HISTORICAL ITEMS INDICATED.

Base image Archimedia drawing A101.

<i>Element</i>		<i>Description</i>
<b>WALLS</b>		
W.01	149 Gillies	East boundary wall (north end)
W.02	149 Gillies	North stone pier to existing driveway
W.03	149 Gillies	South stone pier to existing driveway
W.04	149 Gillies	East boundary wall
W.05	149 Gillies	South boundary wall (stone portion)
W.06 - W.09 not used		
W.10	151 Gillies	East boundary wall
W.11	151 Gillies	Driveway wall (north side of drive)
W.12	151 Gillies	South boundary wall (stone portion)
W.13 - W.14 not used		
W.15	153 Gillies	East boundary wall
W.16	153 Gillies	South boundary wall
W.17	153 Gillies	South boundary wall - short return at western end
<b>GATES</b>		
G.01	149 Gillies	Existing vehicle crossing and site entrance
G.02 - G.04 not used		
G.05	151 Gillies	Opening in east boundary wall (meter box penetration)
G.06	151 Gillies	Opening in east boundary wall (step-down with metal railing)
G.07	151 Gillies	Driveway / gate
G.08 - G.09 not used		
G.10	153 Gillies	Rendered brick piers with timber gate, north-eastern corner
G.11	153 Gillies	Gate in wall (middle)
G.12	153 Gillies	Gates (driveway) in wall (east end)
G.13	153 Gillies	Gate in wall (far east end)
<b>TREES</b>		
T.01	149 Gillies	Tree (copper beech) on north-western boundary
T.02	149 Gillies	Tree (Australian frangipani) on north-western boundary
T.03	149 Gillies	Fern (native king fern) on northern boundary
T.04	149 Gillies	Tree (Australian firewheel) NEIGHBOURING PROPERTY 147 GILLIES AVE. Note – this is a <b>scheduled tree</b> , Council ref no. 214
T.05	149 Gillies	Tree (lillypilly - waterhousea floribunda) behind northern pier, directly to south of garage front corner
T.06	149 Gillies	Tree (flowering cherry) STREET TREE - GILLIES AVE
T.07	149 Gillies	Tree (pōhutukawa) behind southern pier
T.08 – T.09 not used		

<i>Element</i>		<i>Description</i>
T.10	151 Gillies	Tree (Chinese elm), centre of lawn
T.11	151 Gillies	Tree (dawn redwood), north of southern driveway wall
T.12	151 Gillies	Tree (flowering cherry) STREET TREE - GILLIES AVE
T.13 - T.14 not used		
T.15	153 Gillies	Tree (tulip) behind east boundary wall
T.16	153 Gillies	Tree (puriri) behind east boundary wall
T.17	153 Gillies	Tree (honey locust), centre-south of lawn
T.18	153 Gillies	Tree (copper beach) to immediate east of house front
T.19	153 Gillies	8 x trees (2 x alder, 6 x birch) ROW OF STREET TREES - BRIGHTSIDE ROAD
T.20 - T.24 not used		
T.25	3 Brightside	Tree (pōhutukawa). Note – this is a <b>scheduled tree</b> , Council ref no. 213
T.26	3 Brightside	Tree (jacaranda)
T.27	3 Brightside	Tree (Australian frangipani) Note – this is a <b>scheduled tree</b> , Council ref no. 213
<b>LANDSCAPE FEATURES</b>		
L.01	149 Gillies	Rear courtyard garden - meandering stone/brick walls and level changes between the two existing accommodation blocks
L.02	149 Gillies	Stone perimeter wall / substructure of historical house foundations
L.03	149 Gillies	Hedge (tecoma) on/above east boundary wall
L.04 not used		
L.05	151 Gillies	Contemplative garden (front – east of house): crazed paving / steps / stone retaining walls / garden edging / sundial centrepiece
L.06 - L.09 not used		
L.10	153 Gillies	Hedge (acmena or monkey apple) behind southern wall
L.11	153 Gillies	Hedged trees behind northern wall
L.15	3 Brightside	Formal memorial garden

## APPENDIX B

### 149 – 153 Gillies Avenue and 3 Brightside Road: Contemporary images

#### 1. Street views



Figure 1: Junction between the existing hospital site at 3 Brightside Road and the property at 153 Gillies Ave.



Figure 2: Brightside Road from its intersection with Gillies Ave, June 2017. The volcanic peak of Maungawhau is clear in the west.

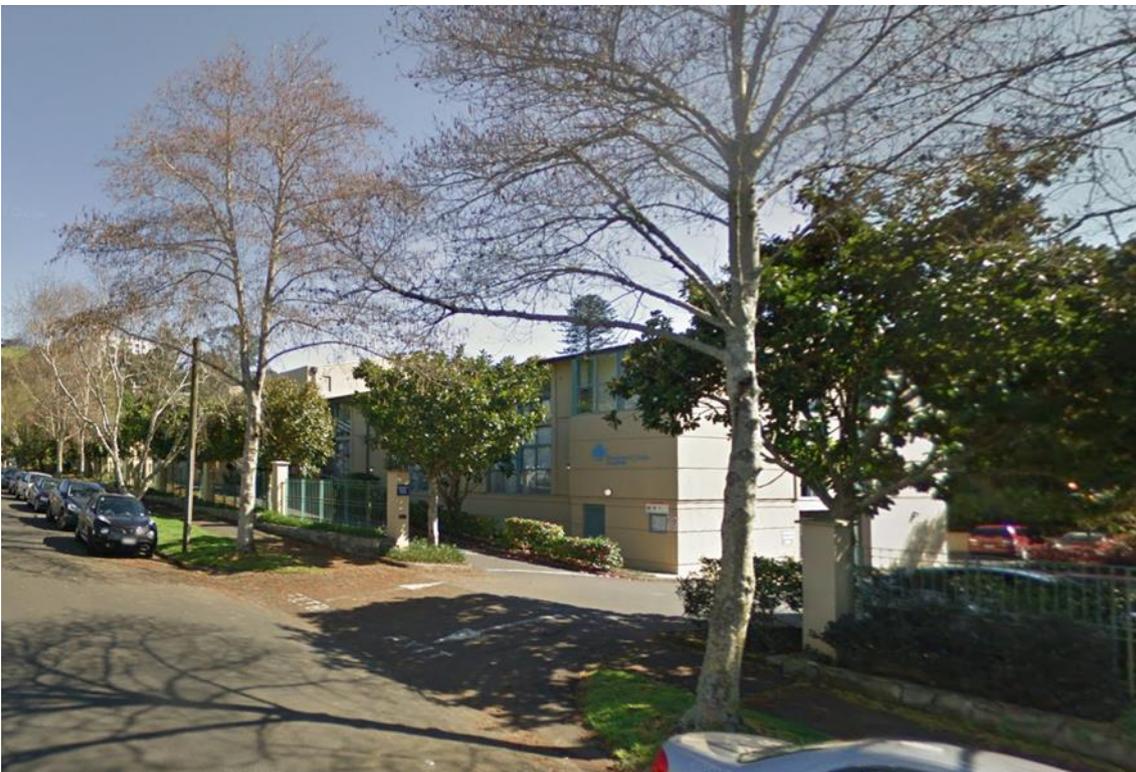


Figure 3: The existing hospital at 3 Brightside Road.



Figure 4: Gillies Ave, June 2017. 153 Gillies Ave is indicated.



Figure 5: 153 Gillies Ave, at the corner of Gillies Ave and Brightside Road. June 2017. The property's large puriri and tulip trees dominate this corner.



Figure 6: 153 Gillies Ave, February 2018. The continuous historical basalt stone walls are a notable feature to the street edge.



Figure 7: Gate to driveway of 151 Gillies Ave. 153 Gillies Ave to the left. June 2017.



Figure 8: 151 Gillies Ave and looking to 149 Gillies Ave, from Kipling Ave. February 2018.



Figure 9: 153 / 149 Gillies Ave, February 2018.



Figure 10: 149 Gillies Ave, February 2018. Unlike the houses at 151 and 153 Gillies Ave, this residence is clearly visible from the public realm.



Figure 11: 149 Gillies Ave from the north. Trees and stone walls continue to be a key characteristic of the street edge experience.



Figure 12: View towards 149 Gillies Ave from the north. The entrance is indicated.



Figure 13: View from the north, February 2018. Sites' extent indicated.



Figure 14: 149 – 153 Gillies Ave viewed from the north. Note the dominance of mature trees and stone walls.

## 2. Street details

### 2.1. 149 Gillies Avenue



Figure 15: Stone wall and northern entrance pier to 149 Gillies Ave.



Figure 16: 149 Gillies Ave stone wall. Note decorative capping stones.



Figure 17: Stones are rubble volcanic material gathered from the sites themselves. There are some loose stones but the wall appears generally stable in this location.



Figure 18: Southern entrance pier – plastered and painted.



Figure 19: The stone wall continues underneath the boundary hedge.



Figure 20: The wall is partially collapsed at the south-eastern corner of 149 Gillies Ave.

## 2.2. 151 Gillies Avenue



Figure 21: Historical opening with meter box in 151 Gillies Ave boundary wall. The wall steps up at the boundary between 149 and 151 Gillies Ave.



Figure 22: Step-down in wall with decorative metal railing. Note vegetation growing over the top of the wall.



Figure 23: Historical stone pier and modern steel gate to the driveway of 151 Gillies Ave. The stone wall continues into the property along the driveway – note the severe cracking in the wall and heaving in the asphalt caused by the large dawn redwood tree (indicated) behind.

### 2.3. 153 Gillies Avenue



Figure 24: Stone wall to 153 Gillies Ave. This wall has settled, heaved and been variously repaired over time, resulting in a very undulating surface.



Figure 25: Severe cracking at the south-eastern corner, likely due to the large puriri and ivy behind.



Figure 26: Disused gate to 153 Gillies Ave. The rendered brick piers have also experienced significant movement due to vegetation growth.



Figure 27: 153 Gillies Ave boundary wall along Brightside Road (south elevation). Note the two distinct layers to this wall, with smaller rubble stones in the lower half and larger cut stones in the upper half – indicating a later height increase.



Figure 28: Modern gates to 153 Gillies Ave on its Brightside Road (south) elevation. The planted junction to the existing hospital site is on the left.

### 3. Property images – 149 Gillies Avenue



Figure 29: Modified frontage.



Figure 30: Paved car parking area in the front yard. The street boundary hedge conceals a rubble basalt stone wall, and a basalt wall also runs along the southern boundary to 151 Gillies Ave, below the trellis fence.



Figure 31: Front yard parking.



Figure 32: 1979 extension wing to the north of the original house.



Figure 33: Boundary wall, north-east.



Figure 34: The 1979 conversion to a Christian student residence was designed to wrap around a rear courtyard.



Figure 35: Rubble stones repurposed c. 1979 to form terraced garden areas and paved spaces in the rear courtyard.



Figure 36: The original building retains its very substantial basalt foundational perimeter wall and subfloor support.



Figure 37: The modified historical building viewed from the upper floor of the neighbouring house at 151 Gillies Ave.



Figure 38 (left): Rear (west) elevation.



Figure 39 (right): Historical outbuilding in the back yard.



Figure 40: The north-western corner of the site, with the western boundary marked by a high concrete block wall. The trunk of the site's large copper beach tree is indicated.



Figure 41: A rare native king fern on the northern boundary. Neighbouring flats at 147 Gillies Ave are visible in the background.



Figure 42: The interior was completely renovated in the 1979 Baptist church hostel conversion.



Figure 43: This fireplace is one of a very limited number of original features.

#### 4. Property images – 151 Gillies Avenue



Figure 44: Asphalt driveway with stepped stone wall edge.



Figure 45 (left): Dawn redwood directly behind the driveway wall.

Figure 46 (right): Curved path to the front entrance off the driveway.



Figure 47: House frontage with lawn.



Figure 48: Crazed paving path with rubble basalt stone edging down towards the contemplative garden at the eastern end of the front garden.



Figure 49: Contemplative garden behind the Gillies Ave stone boundary wall.



Figure 50: Sundial at the centre of the contemplative garden and crazed paving pathway surrounding it.



Figure 51: View west to the house. Note the curved and terraced landscaping and off-centre Chinese elm in the upper lawn.



Figure 52: Detailing of the house's front façade. The building is generally in good condition although the gutters need frequent cleaning.



Figure 53: Details of the architecture. A balanced asymmetry is typical of the English cottage style, as is the use of brick contrasted with timberwork.



Figure 54: The front garden is characterised by curving rubble stone edging and informal planting.



Figure 55: The rear of the house has been modified although it retains original features on the right.



Figure 56: The rear garden has also been modernised in a more linear format, using brick and tiles as its dominant materiality.



Figure 57 (left): North elevation.

Figure 58 (right): South-eastern corner.



Figure 59: The interior retains many of its original features and is typical of the style and era.



Figure 60: Timber staircase to the upper floor.



Figure 61 (left): A bathroom has been retrofitted on the first floor.

Figure 62 (right): Early or original wall paper is retained within the hot water cupboard.



Figure 63: The kitchen / family area has been fully modernised as part of the rear extension.

## 5. Property images – 153 Gillies Avenue



Figure 64: House frontage with lawn, honey locust tree (red) and copper beech tree (blue).



Figure 65: View to the Gillies Ave boundary (east), with garden shed, tulip tree (red) and puriri tree (blue).



Figure 66 (left): Tulip tree.

Figure 67 (right): Puriri tree with ivy to tree and stone wall behind.



Figure 68: Disused gate at south-eastern corner of the property with ivy over rendered brick piers.



Figure 69: Acmena hedge behind stone wall along Brightside Road (south) boundary.



Figure 70: Stone wall behind hedge.



Figure 71: Crazed paving path with basalt stone edging to front entrance.



Figure 72 (left): Honey locust tree in the foreground.



Figure 73 (right): Copper beech tree.



Figure 74 (left): Front entrance detailing.

Figure 75 (right): Decorative brickwork to northern chimney.



Figure 76 (left): A basalt stone wall remains extant behind planting and beneath a modern timber fence along the northern boundary.



Figure 77 (right): Tendrils and roots of ivy have become entwined with the stones of walls.



Figure 78: Roofline with chimney, viewed from the neighbouring house at 151 Gillies Ave.



Figure 79 (left): The rear of the house is plainer than its frontage.

Figure 80 (right): North elevation.



Figure 81: Modified rear entrance.



Figure 82: The substructure of the house appears in good condition.



Figure 83: The interior retains its original planning and many of its original detailing, albeit with surface finishes removed / painted out.



Figure 84: The entrance vestibule retains its clear-finished timber panelling.



Figure 85: Original fireplaces and built-in joinery remain but have been painted.



Figure 86: Timber-panelled ceilings are typical of the style and period.

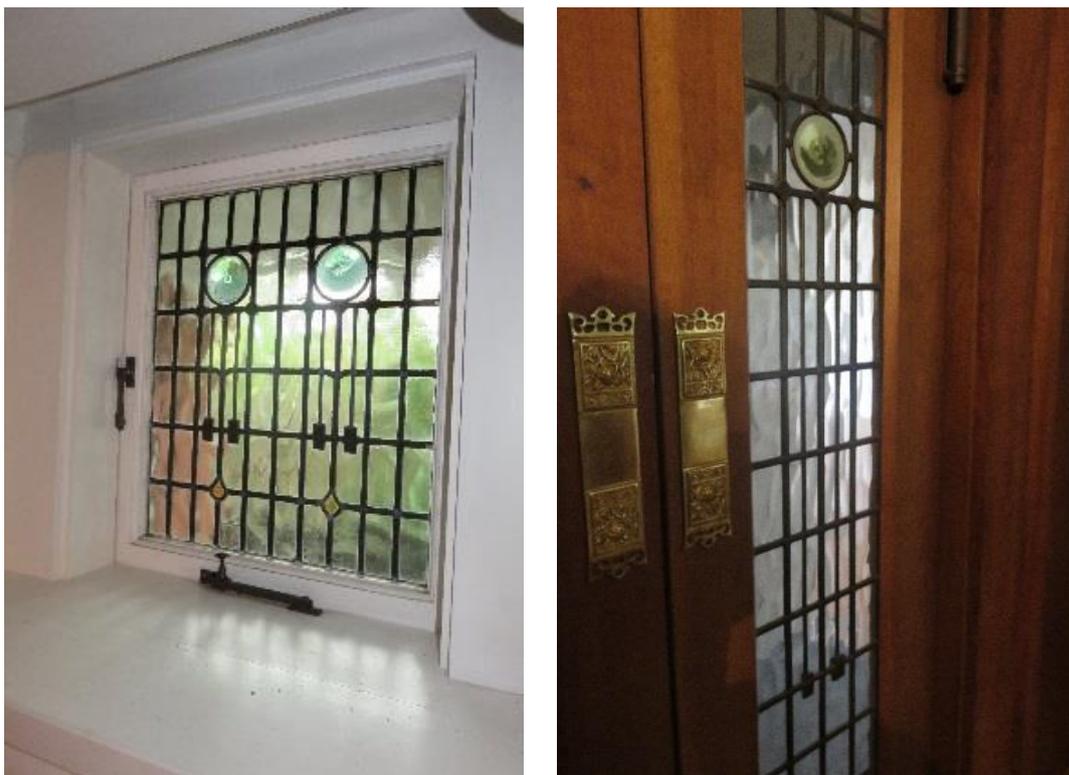


Figure 87: Art Nouveau-inspired lead lighting is a prominent feature of the house.



Figure 88: The kitchen and family area at the rear of the house has been modernised.



Figure 89 (left): Modernised bathroom.  
Figure 90 (right): Built-in corner joinery.

## 6. Property images – 3 Brightside Road



Figure 91: Southern Cross hospital entrance at 3 Brightside Road. The site's large jacaranda tree is indicated.



Figure 92: Large trees and garden areas are a feature of the existing hospital site.



Figure 93: View east from the hospital's Brightside Road entrance. The site's large pōhutukawa is indicated.



Figure 94: Frangipani tree on the site's north-east.



Figure 95: The hospital's formal memorial garden which sits on its eastern side and adjacent to the rear of 151 / 153 Gillies Ave.



Figure 96: Memorial garden, looking south. The four ionic columns are purportedly salvaged from the former Awanui hospital / Owen homestead.



Figure 97 (left): Historical column purported to be from the original Owen homestead – see below.  
Figure 98 (right): Base of the pōhutukawa tree.



Figure 99: Plaque on column.