

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Donna Schofield
Date: Friday, 2 February 2024 9:15:20 am

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Donna Schofield

Organisation name:

Agent's full name:

Email address: donnaandco@gmail.com

Contact phone number:

Postal address:
29 Alexis Avenue
Mt Albert
Auckland 1025

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Density of buildings too much, height of buildings too high, open space not enough, a school needs to be part of this large development.

Property address: Unitec Site, Carrington Road

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we support the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

The Unitec land should not be approved for higher density over what was originally planned. It will have a negative impact on the surrounding areas and infrastructure. It also needs a much larger open green space for the thousands of people that will be living there, and it will also need a school that caters for ages 5 to 18. The surrounding schools will not cope. I would like to see the Sanctuary gardens remain as a community garden, it was supposed to remain on the original plan, the gardens should not be built on or removed. Please remain with the original plan, it will be sufficient and provide enough housing - but an onsite school is absolutely essential and more open green spaces!

| 101.1
| 101.2
| 101.3
| 101.4

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Haidee Stairmand
Date: Friday, 2 February 2024 9:45:25 am

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Haidee Stairmand

Organisation name:

Agent's full name:

Email address: haideestar@me.com

Contact phone number:

Postal address:

Auckland 1026

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Property address: Carrington road

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

The mature trees on the old carrington and unitec site need protection- especially the numerous and very mature natives. These need to be saved and incorporated into the design

102.1

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: Tree protection on site in design

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Alice van der Wende
Date: Friday, 2 February 2024 9:45:26 am

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Alice van der Wende
Organisation name:
Agent's full name:
Email address: alicevanderwende@gmail.com
Contact phone number:
Postal address:
32 Maryland Street
Point Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Property address:
Map or maps:
Other provisions:
Density: Increase of 6000 homes
Building Height: up to 25 stories
Open Space:
Education facilities:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
That increase number of homes and resulting population increase with no additional resources like requirements for shops, education, amenities, open space, parking, widened roading is extremely poor town planning by the council. It will just become a slum area and completely run down like Point Chevalier has now become.

103.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Trevor Keith CROSBY
Date: Friday, 2 February 2024 10:15:25 am
Attachments: [Sanctuary Mahi Whenua space as of 31 January 2024.pdf](#)
[SMW Submission on Plan Change 94.pdf](#)

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Trevor Keith CROSBY

Organisation name: Sanctuary Community Organic Garden Mahi Whenua Inc.

Agent's full name:

Email address: trevorcrosby@actrix.co.nz

Contact phone number: 0276989962

Postal address:
40 Monaghan Avenue
Auckland
Auckland 1025

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Property address: 1-139 Carrington Road

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Sanctuary Community Organic Garden Mahi Whenua Inc. (the Society)
Submission on Plan Change 94 – Wairaka Precinct I334
Submitted on behalf of the Society by Trevor Crosby, treasurer

Thank you for the opportunity to submit on proposed Plan Change 94 for the Wairaka Precinct (I334). Our Society has maintained the 0.7 ha community garden and food forest, located at 119B Carrington Road, since 2011 as an open green space.

Up to March 2018, the land was owned by the Unitec Institute of Technology. The land was sold to the Crown in March 2018. In the sale and purchase agreement between Unitec and the Crown, clause 25.4 of the “Agreement varying agreement of sale and purchase for Wairaka Precinct” specifically preserved the Sanctuary gardens and food forest as open green space.

1. Change of name of Precinct. The applicant proposes to change the name of the precinct from

“Wairaka” to “Te Auaunga”. The Society opposes this proposed name change.

No information is provided by the applicant on why the proposed change of name is required for the precinct, or to justify a change of name.

It is important to keep a focus on things within the precinct that are valued. If protection of the stream, landscape or open space is de-prioritised during the development process, it will be easier to insist these elements be given more attention if they carry the name of precinct. For example, if the stream has the same name as the development precinct, its importance is highlighted. We could then say, “you have to take care of these things – it’s actually in the name of your development”. The name ‘Wairaka’ has historically important connections to this site, particularly to Māori but also to Pākehā. Wairaka was a female ancestor, with links to numerous iwi who lived here. She is commemorated in the naming of the stream that flows through the precinct, and in the puna or springs that contribute to the awa. The name Wairaka should be retained for the development because of its historical and cultural significance and because it is a meaningful feature of the site. A large part of the water flow in the Wairaka stream is contributed by sizeable springs, located in the area near the Sanctuary Mahi Whenua community gardens. Yet these springs have not been identified in any of the documentation regarding the site development or assessments of environmental effects. They were confirmed to exist and revealed during ‘daylighting’ work on the Wairaka Stream project. In the 1940 map on Auckland Council’s GeoMaps website, before the Wairaka Stream was channelled, it can be seen flowing alongside the road in a southerly direction from the Pumhouse until taking a sudden turn to the west and then following the channel that was uncovered during the daylighting. It seems that the Wairaka Stream changed direction suddenly at this point because it met the flow of the spring that was subsequently culverted and its existence no longer recognised.

These springs are assumed to have been an important source of fresh water for Māori who lived nearby, for both daily living and for horticultural production, as is evidenced by finds of pre-European cultivation implements in the community gardens. Their importance is also founded in legend, describing how Wairaka, when living here, stamped her foot in anger and caused drinking water to flow from the ground. These springs were certainly also important for Pākehā as the source of water for early settlement before they and groundwater became contaminated. On 13 April 1922 the Auckland Medical Officer of Health closed the Pumhouse because of the typhoid outbreak affecting Mt Albert.

The proposed name of Te-Auaunga is not appropriate for this precinct as this is the original name of Oakley Creek which is some distance away to the west and is a waterway that flows from Hillsborough, through Mt Roskill and Waterview to the Waitemata by the Western motorway causeway, near Pollen Island. It is not within the boundaries of land in question, whereas the Wairaka stream is, for almost its entire length.

The Te Auaunga name is generally understood to translate as a reference to ‘swirling waters’, a name perhaps with less meaning than the reference to an important forebear. It is also found in the name of Ngā Ringa o te Auaunga/ Friends of Oakley Creek, an organisation that has worked tirelessly for many years to protect and enhance Te Auaunga along its whole length. The Society believes this organisation, as the prior bearer of the name, would be better served by retaining the distinction from the current development so that its crucial work is not confused in the mind of the public.

2. Increased height of buildings. The Society supports an increase in height of buildings, provided it results in more usable open green space in the precinct for the community.

The Society notes that the applicant states that under Plan Change 78 it is proposed that the eastern side of Carrington Road will change from Residential-Mixed Urban Housing, allowing up to 3 stories, to Terraced and Apartment buildings from 5-7 stories: therefore, the increased height sought by the applicant would fit the proposed PC 78 for the east of Carrington Road.

However, according to Auckland Council’s map of proposed zones, the increased height only applies south of Fifth Avenue and in the north the small section from Sutherland Road to the Northwestern motorway. Most of the east of Carrington Road remains Residential-Mixed Urban Housing under PC 78. The Society considers that it is extremely unlikely that the land on which Gladstone School is based will become part of the intensified housing on the east of Carrington Road. The net result is that most of the zoning east of Carrington Road will not change.

3. Masterplan: The Society notes that Auckland Council states that in the application there is no masterplan for the precinct. The Society is also concerned that there is no masterplan with details as outlined by Auckland Council.

A masterplan would indicate the probable footprints of buildings, retail areas, and open space areas

104.2

for recreation or passive use. It would indicate areas of private open green space as well as those proposed to be vested as public open spaces.

The applicant considers that masterplans have already been prepared for the precinct, and refer to the 2019 document "A Reference Masterplan & Strategic Framework" which was agreed between Mana Whenua and the Crown (<https://www.hud.govt.nz/assets/Uploads/Documents/A-Reference-Masterplan-Strategic-Framework-1.pdf> cover date 4 February 2019, pdf released 9 October 2020). This document sets out the high level linkages for infrastructure such as transport and communication corridors, and likely number of dwellings and open space. The applicant states that development proposals have also been informed from plans for the precinct prepared by Unitec's former land company, the Wairaka Land Company. The applicant states that details about buildings and such-like will come when each iwi group submits for consent.

The Cabinet Business Meeting of 29 June 2022, released 20 October 2022, noted Page 1, para 5: "Over the second half of 2018, Auckland iwi/ hapū and the Crown jointly prepared a high-level masterplan (Reference Plan) to guide development of the Site." Noted on page 2, paragraph 9, that with Unitec opposing the release of this Reference Plan, that it had delayed several key steps including "detailed master-planning". <https://www.hud.govt.nz/assets/Uploads/Documents/Cabinet-material-Acquisition-of-additional-land-from-Unitec-for-housing.pdf>.

A concern of the Society is that if the current approach is approved, then a "first in, best dressed" may follow – for example, the first in build as much as they can and leave it to other iwi to find the required open green space or service facilities that Auckland Council requires for the precinct.

4. Open space: Zone changes are supported by the Society. However, the Society has concerns about the application with regards to open space. | 104.3

Open space in connection with Sanctuary Mahi Whenua community gardens. According to the March 2018 sale and purchase agreement between Unitec and the Crown, clause 25.4 of the "Agreement varying agreement of sale and purchase for Wairaka Precinct", the Sanctuary Mahi Whenua gardens and food forest should have been specifically identified by the applicant as open green space. This 0.7 ha space was to be preserved as open green space according to the sale and purchase agreement.

Unitec Interim CEO Alastair Carruthers spoke about clause 25.4 at a "Saving the Sanctuary" celebration on 29 April 2018, when planting a persimmon tree to mark the occasion. This is a 4-minute video on YouTube videoed by Rebecca Swan (<https://www.youtube.com/watch?v=5wL7qp0I5f4>).

The applicant has not stated anywhere in the application that the 0.7 ha Sanctuary gardens and food forest is to be preserved according to the sale and purchase agreement between Unitec and the Crown. | 104.4

At the 23 February 2023 information session about the proposed plan change, Trevor Crosby attended for the Society. He asked about the Sanctuary Mahi Whenua with regards to the proposed plan change. There was no information available or offered.

In the 2019 Reference Plan, page 104, the developable area (lots) in Wairaka Precinct is given as 122,955 m². However, the Society notes that when adding up the developable lot sizes for the 7 precincts they come to 116,183 m², a 6772 m² difference.

Precinct 7 in which the Sanctuary Mahi Whenua is located (119B Carrington Road) is 21,229 m² in area. The developable lot size of Precinct 7, Te Auaunga North, is 11,000 m² in the Reference Plan (the only Precinct which a rounded number was used for developable lot size; all 6 other Precincts showed the developable lot size to 1 square metre). As well 3,246 m² of Precinct 7 is for the open space that gives access from the central Spine Road to Te Auaunga walkway. The remaining area in Precinct 7 in the Reference Plan, approximately 7000 m², is for the Sanctuary Mahi Whenua acknowledging that clause 25.4 of the sale and purchase agreement between Unitec and the Crown was to preserve this area of Precinct 7.

Open space in the Wairaka Precinct. In the 2019 document "A Reference Masterplan & Strategic Framework" which was agreed between Mana Whenua and the Crown the open space was given as 7.72 ha of the 26.6 ha they had purchased, with an additional 3.56 ha coming from road reserve (page 12); effectively around 42% open space of varying uses and qualities. The document did not divide the open space into the proportions of what would be public open space and private open space.

Subsequently a further 10.67 ha was purchased in the precinct by the Crown. This second tranche of purchase makes up the bulk of the proposed zoning change to business mixed use from educational. These zone changes can be supported by the Society as this land is no longer used for its main purpose of education.

in the application only 5.1 ha has been identified as public open space (i.e., vested to Auckland Council, if they accept it), which is less than the 7.72 ha open space stated in the Reference Plan. The applicant now adds the contiguous Unitec-owned open green space to increase the apparent open space in the precinct. The Unitec-owned open green space was not part of the calculations for the 7.72 ha stated in the Reference Plan, and furthermore there has been no increase in public open space proposed with the further purchase of 10.67 ha.

Nothing in the plan change application has been indicated about the quantum of private open space (i.e., open space not vested to Auckland Council) available or where it will be located except in very generalised terms. The Society notes that currently the open space in the precinct is considered “private open space” as it is not vested to Auckland Council, and has been looked after by Unitec and, more recently, the Crown.

Plan Change 94 information now indicates there will be 4000-4500+ dwellings for the precinct, up from around 2500+ at the time of the 2019 document. Note, however, that the ground infrastructure being put in place now has the capacity to service approximately 6,000 dwellings (page 58, in the file pc94-attachment-01-planning-report-and-s32-analysis-final.pdf). In just the Marutūāhu Rōpū 10 ha area of the precinct (named Maungārongo), about 3000 residences in 40 buildings are currently planned to be built in that area (<https://www.ockham.co.nz/toi/faq/>). If this is the case, the Society would like to know what is the expected percent of open space (public and private) available in the precinct when there will be around 4000 dwellings, and then when up to 6000 dwellings may be in the precinct? The applicant only gives information on the expected ratio of public open space that will be available from the 5.1 ha.

Auckland Council notes that recreational space is being removed from the precinct (playing fields, Unitec Sports Centre, and eventually Squash Centre.) The applicant states that there will be a couple of areas 30 x 30 m available for kicking around balls (not sports fields), and furthermore states that recreational areas are a regional (Auckland Council) issue and not one that needs addressing for the precinct. The area they identify as a 30 x 30 m space by Building 1 is unrealistic, as there are formal gardens and features in the area that the applicant has indicated will be retained.

Trevor Crosby, 40 Monaghan Ave, Mt Albert, Auckland 1025
 trevorcrosby@actrix.co.nz
 0276989962

Website: www.sanctuaryunitec.garden

For daily posts on activities, people, and plants at the Sanctuary Mahi Whenua see:

Facebook: @SanctuaryCommunityOrganicGarden

Instagram: @SanctuaryMahiWhenua

The Society supports submissions made by:

Ngā Ringa o Te Auaunga - Friends of Oakley Creek

The Tree Council

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private).

104.5

Submission date: 2 February 2024

Supporting documents

Sanctuary Mahi Whenua space as of 31 January 2024.pdf

SMW Submission on Plan Change 94.pdf

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?

Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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Timeline for Sanctuary Mahi Whenua space, as of January 2024

Trevor Crosby

Summary:

- The 0.7 ha space of the Sanctuary Mahi Whenua gardens and food forest is to be preserved under clause 25.4 of the sale and purchase agreement between Unitec and the Crown, announced on 25 March 2018. There are supporting public documents.
- The 2019 Reference Masterplan (issued 9 October 2020), and a 15 June 2020 booklet derived from the 2019 document, showed buildings on the Sanctuary Mahi Whenua. Matt Fraser (HUD) was contacted 16 June 2020, and he responded that it was not a masterplan to scale.
- 1 July 2020. Sanctuary steering group first meeting with the Crown (Matt Fraser and Hannah McGregor).
- 9 November 2021 (last day of Level 3.1 COVID lockdown restrictions). First meeting of 3 steering group members, plus 2 Sanctuary members, with mana whenua representatives of Tāmaki – Waiohua rōpū (Ngāti Te Ata not present). No earlier communications to Sanctuary to meet with mana whenua representatives.
- 8 September 2023. First Sanctuary steering group hui with Ngāti Te Ata arranged by Hannah McGregor; with Ash Rainsford and Roimata Minnhinick (by phone). No earlier communications between the Sanctuary and Ngāti Te Ata to discuss plans for the area they had been allocated. We were told the Sanctuary was going to be built on.
- 16 October 2023. Second Sanctuary steering group hui with Ngāti Te Ata arranged by Hannah McGregor; with Ash Rainsford and Roimata Minnhinick. Confirmed that the Sanctuary was to be built over, and they would lodge resource consent documents for this development with the Environmental Protection Agency (EPA) by early January 2024. Proposed developments shown on 16 November 2024 open day at Unitec marae.
- 30 November 2023. Sanctuary President submitted an Official Information Act request to Ministry of Housing and Urban Development to discover why more housing was being permitted in the area than stated in the 2019 Reference Plan, by not complying with clause 25.4 of the sale and purchase agreement.
- 19 January 2024. Request to extend OIA response a further 10 days to 2 February 2024, the closing date of proposed Plan Change 94 of the Wairaka Precinct.

Timeline of significant dates regarding the Sanctuary Mahi Whenua

5 March 2018: Cabinet Minute of Decision (CAB-18-MIN-0077) “1 **noted** that the Crown has conditional agreement to acquire 29.3 hectares of land in Mt Albert, Auckland from Unitec Institute of Technology for State housing purposes” at a cost of \$134 million. <https://www.hud.govt.nz/assets/Uploads/Documents/Cab-Minute-Acquisition-of-Unitec-Land-for-Housing-Development.pdf> (document made available 29 September 2020).

25 March 2018: Crown purchase of 29.3 ha from Unitec announced. Note: 2.8 ha was required to be transferred to the Mason Clinic, leaving 26.5 ha for the proposed housing development.

25 March 2018: email to staff by Unitec Interim CEO Alastair Carruthers, paragraph 5, stated that the Sanctuary gardens would be preserved.

“Ownership of the Community Gardens (in lot 4 on the map) will transfer to the Government as part of the sale, and the purchase agreement acknowledges the cultural and historical significance of the gardens, which will be preserved and maintained into the future.”

25 March 2018: N.Z. Herald report <https://www.nzherald.co.nz/nz/the-end-of-the-beginning-nt-albert-housing-development-will-help-address-aucklands-housing-crisis/TGTFOOJD4E5VRCUEJRODTY7QZM/>

“The Mahi Whenua Sanctuary Gardens, a traditional Māori garden which provides food for dozens of members and their families, had been advised the land on which the Sanctuary sits is to be sold.

“According to a petition started by the team at Mahi Whenua Sanctuary Garden on change.org the Wairaka Land Company, a subsidiary of Unitec, had initially advised the Sanctuary had to be vacated by May 1.

“The petition had attracted almost 6,500 signatures.

“However, speaking to the Herald from Cambodia where he was currently travelling, committee member Trevor Crosby said the team had been assured on Sunday that the Sanctuary Mahi Whenua gardens and food forest would remain in any future development.

"The continuance of the Sanctuary Mahi Whenua has been as a result of fruitful discussions between Unitec and the Sanctuary Mahi Whenua," Crosby said.”

25 March 2018: Email from Jeff Valenzuela (Wairaka Land Company) to Trevor Crosby (for Society), stating that need to vacant the land by 1 May 2018 no longer applicable given the new ownership arrangement. “Moving forward, the new owners will be responsible for ongoing correspondence and dialogue concerning the gardens, as well as the continued presence of the Sanctuary Community Organic Garden Mahi Whenua. In the coming weeks, we will endeavour to facilitate an introduction to the appropriate contacts.”

16 April 2018. Signing of finalised sale and purchase agreement between Unitec and the Crown (HUD). Clause 25.4 of the “Agreement varying agreement for sale and purchase of Wairaka Precinct” between Unitec and the Crown was to preserve approximately 7000 square metres containing the Sanctuary gardens. Will Smith, then CE of the Wairaka Land Company, signed for Unitec. Matt Fraser negotiated on behalf of the Crown with Alastair Carruthers (Unitec).

25.4 Community gardens

- (a) *The purchaser acknowledges the cultural and historical significance of the gardens and fruit forest (occupying up to 7000 square metres) (Community Gardens) currently situated on part of what will become Lot 4 following the Subdivision and agrees to consult with Unitec, Iwi and Kaumatua in agreeing and documenting an arrangement for the ongoing use and preservation of those gardens.*
- (b) *To assist the purchaser in respect of the matters set out in clause 25.4(a), following the date that this agreement is unconditional:*
- (i) *the vendor will provide written notice to the Sanctuary Community Gardens Mahi Whenua Incorporated (Society) (being the current occupiers of the Community Gardens) that*

HAR9980.17.132

Ac B

Agreement varying agreement for sale and purchase of Wairaka Precinct

Page 3

the vendor will transfer ownership of the property including the Community Gardens on Lot 4 to the purchaser on the settlement date; and

- (ii) *the purchaser and vendor will work collaboratively with other interested groups (including Iwi and Kaumatua) in relation to the proposed arrangements for the Community Gardens in order to:*
- (A) *have formal documentation finalised before settlement; and*
- (B) *agree plans to preserve the Community Gardens and demonstrate the cultural links with other sites within the Vendor's Adjacent Land and wider environs that commemorate early occupation by Maori (notably the spring Te Puna, the Marae on the Vendor's Adjacent Land, and the landing site of the waka Mataatua).*
- (c) *the purchaser recognises that the gardens to be preserved may serve multiple purposes, such as enjoyment of students, visitors, residents and the wider community; provision of food to residents; source of future archaeological study; and possible use as an education resource by the vendor."*

Copy of Clause 25.4 provided to Trevor Crosby on 24 February 2020 by Luis Trullols, Unitec Development Manager | Property, and former Development Manager of the Wairaka Land Company.

29 April 2018: <https://www.youtube.com/watch?v=5wL7qp015f4>

Unitec Interim CEO Alastair Carruthers spoke about clause 25.4 at a “Saving the Sanctuary” celebration, when planting a persimmon tree to mark the occasion. This is a 4-minute video on YouTube videoed by Rebecca Swan.

31 May 2018. Unitec's 2017 Annual Report, page 2

<https://www.unitec.ac.nz/sites/default/files/public/unitec-annual-report-2017.pdf>

"A conditional agreement for the sale of 29 hectares was entered into with the Crown on 13 February 2018. The agreement became unconditional and the transaction settled on 16 April 2018. The sale and purchase agreement includes provisions which allow Unitec to maintain use of the teaching spaces sold until 2021, limiting disruption to our students and staff. **The agreement also preserves an established garden space adjacent to Oakley Creek, ensuring it will remain for the future enjoyment of students, staff and residents.**[emphasis added]"

9 August 2018: Trevor Crosby emailed Matt Fraser to try to establish contact between the Crown and the Sanctuary Mahi Whenua (email address provided through Unitec matt.fraser@mbie.govt.nz). “We would appreciate discussions with the Crown about the Sanctuary Mahi Whenua area and services required to maintain a successful community garden.” No response was received to this email.

March 2019: Cabinet considered a highlevel masterplan (Reference Plan) to guide development of the Site jointly prepared over the second half of 2018 by Auckland iwi/ hapū and the Crown. Cabinet agreed to the public release of the Reference Plan, subject to engagement with stakeholders including Unitec. Cabinet Economic Development Committee, Minute of Decision DEV-19-MIN-0041:

(<https://www.hud.govt.nz/assets/Uploads/Documents/Cab-Minute-Unitec-Site-Development-Reference-Plan.pdf> date 27 March 2019; publicly available 9 December 2020)

"A Reference Masterplan & Strategic Framework"

(<https://www.hud.govt.nz/assets/Uploads/Documents/A-Reference-Masterplan-Strategic-Framework-1.pdf> cover date 4 February 2019; pdf date 7 October 2020)

19 April 2019 (Good Friday): Trevor Crosby to Barbara Ward, Mt Albert Electorate Office.

“I would not write today or during this holiday break, or as frankly, unless I had grave concerns about the future of the Sanctuary Mahi Whenua, and the Kiwibuild project at Unitec campus.

“Yesterday afternoon I was phoned by Merran Davis, Unitec's Interim Chief Executive. Unitec were told a couple of days ago, to their surprise, that a release of the draft plan for the Kiwibuild project at Unitec was going to be held in Building 1 on Wednesday [24 April] (about a 120 page document). Housing was shown on land that Unitec still had ownership -- to both their dismay and outrage **As well, housing was shown on the Sanctuary Mahi Whenua!**

“I understand from Merran that the release of this draft is now not taking place, after various exchanges with the Housing Minister's office and your Mt Albert electorate office.

“We have tried over the last few months to make contact with those dealing with the Kiwibuild project, but to no avail (Unitec has had a similar experience over the last year).

“To make sense of this shambles, Kiwibuild planners need to talk with Unitec and us, plus other stakeholders. We are not anti-development for the area, as we have demonstrated previously. Unless talks start soon this could become an embarrassing mess that will be difficult to clean-up.”

14 February 2020: Submission by Trevor Crosby to Environment Committee on the Urban Development Bill.

“1. I support the submission of the Albert-Eden Local Board, which is an attachment to the Auckland Council submission. I have read the Albert-Eden submission as it is Agenda Item 17, Attachment B for the Albert-Eden Local Board meeting being held 18 February 2020.

“2. I support their point 15 regarding open space. I consider that Kainga Ora should not be able to determine if there are adequate reserves in the area or that open space provision is impractical. It is the role of local authorities in Auckland to make these determinations.

“3. In particular, I am concerned that Kainga Ora could override a previous sale agreement in which open space is specified as being protected and maintained for future generations. In the Wairaka Precinct, as an agreed and condition of sale of land from Unitec to the Crown, announced in March 2018, an area was to be maintained as open space for future generations for many reasons (the Sanctuary Mahi Whenua). I am concerned that this agreed condition to the sale of land to the Crown could be overridden by Kainga Ora and used for a development.”

22 May 2020: Email letter from Matt Fraser (matt.fraser@hud.govt.nz) to Trevor Crosby, to arrange a meeting. “I am aware that it is some time since the Crown has been in contact, and wanted to provide you with an update on our progress on the proposed housing development at Unitec.” Meeting scheduled for Wednesday 1 July 2020.

16 June 2020: On 15 June 2020 an 8-page document on the “Unitec Reference Plan & Strategic Framework” was released.

https://www.hud.govt.nz/assets/Uploads/Documents/Unitec_Plan_and_strategic_framework_June_2020-1.pdf (pdf date 15 June 2020).

Trevor Crosby was contacted by members of the public who saw the document through the Greater Auckland website and queried him why on page 2 buildings were shown on the Sanctuary Mahi Whenua. [This document proved to be derived from the 4 February 2019 document that was not released until 9 October 2020]. Trevor let Unitec executive members know this document had been released: Unitec were not aware of its release and had not been forewarned.

Trevor Crosby emailed Matt Fraser (HUD) that morning. He queried the placement of buildings on the Sanctuary Mahi Whenua, and sent Matt (also Hannah McGregor; HUD, and Barbara Ward, Prime Minister and Mt Albert electorate organiser) a copy of clause 25.4 of the sale and purchase agreement between Unitec and the Crown.

Matt replied within 30 minutes on 16 June “The key thing to understand with the Unitec Reference Masterplan & Strategic Framework is that it is not to survey, and does not

represent development master-planning where you might expect accurate locations for the footprints of buildings, roads and other infrastructure. . . The Plan does not set out any master planning for the Sanctuary Mahi Whenua Gardens.”

1 July 2020: Matt Fraser and Hannah McGregor met with some Sanctuary Mahi Whenua steering group members and a few other Sanctuary members for about an hour. Hannah was introduced as the main contact person.

9 October 2020: “A Reference Masterplan & Strategic Framework”, Ngā Mana Whenua o Tāmaki Makaurua & Crown, was made available on the HUD website:

<https://www.hud.govt.nz/assets/Uploads/Documents/A-Reference-Masterplan-Strategic-Framework-1.pdf> (pdf date 7 October 2020).

On page 98 the area containing the 0.7 ha Sanctuary Mahi Whenua was identified as Precinct 7, Te Auaunga North. The lot size for the precinct was stated to be 11,000 square metres (1.1 ha). Although buildings were shown on the Sanctuary area, the lot size indicated that the area containing the Sanctuary was to be preserved, as required under clause 25.4 of the sale and purchase agreement between Unitec and the Crown.

8 December 2020: At the Mt Albert Residents Association meeting on the Carrington Development, Brett and Hannah (HUD) drew attention to the Reference Masterplan & Strategic Framework document. We were told that this document had been put together by an Australian firm Grimshaw as lead masterplanner, with Boffa Miskell as consulting masterplanner.

1 November 2021: Email from Jason Wong to Trevor Crosby. “Hannah McGregor from HUD has provided your email details so that the Waiohua-Tamaki Ropu can engage with you on Sanctuary Gardens as we begin master planning what the redevelopment looks like in partnership with the Crown.”

“We are keen to meet with you now that we are beginning to engage with groups such as the Sanctuary Gardens and are planning to make a site visit on the 9th of November 2021 and wondered if you were available to met with us on this date.”

9 November 2021 (last day of Level 3.1 COVID lockdown restrictions). First meeting of 3 steering group members, plus 2 Sanctuary members, with mana whenua representatives of Tāmaki – Waiohua rōpū (Ngāti Te Ata not present). No earlier communications to Sanctuary to meet with mana whenua representatives.

29 June 2022: Cabinet Minute from Hon. Dr Megan Wood to Cabinet Business Committee on “Acquisition of additional land from Unitec for housing”:

<https://www.hud.govt.nz/assets/Uploads/Documents/Cabinet-material-Acquisition-of-additional-land-from-Unitec-for-housing.pdf> (pdf date 20 October 2022).

Footnote 4, page 2 states: “4 Unitec’s other significant issue is the illustrations which show the community gardens moving to allow development. HUD and mana whenua have made no decisions on the community gardens and there is no intention of allowing development on any culturally significant sites, as will be reflected in the detailed master-planning.”

6 August 2023. Email from Hannah McGregor, HUD to Trevor. “I’ve been asked if I can facilitate a meeting between the Sanctuary Gardens and Waiohua-Tamaki representation, including Ngāti Te Ata.

“Do you have some days and times that might suit sometime from 15th August onwards?”

8 September 2023: First hui of steering group with Ngāti Te Ata. In a verbal response to a question about the future of Sanctuary and the protection it had, Ashley Rainsford, project manager, stated that the Sanctuary area was part of the area allocated to Ngāti Te Ata and would be built on. Roimata Minhinnick spoke by phone about the opportunity for Ngāti Te Ata.

16 October 2023. Second hui with steering group. Verbal account on the opportunity for Ngāti Te Ata by Roimata Minhinnick. During the hui geotechnical drilling took place in the Sanctuary entrance area. We were told that they would be making an application to the Environmental Protection Agency for resource consent by early January 2024, to meet the requirements of the COVID-19 Fast-Track legislation.

18 October 2023. Email from Roimata Minhinnick thanking Sanctuary steering group for meeting. “As also relayed at our meeting, the 475-apartment, terraced and walk-up units will bring needed housing development into Tamaki Makaurau. And significantly for Ngāti Te Ata, empower our people by providing the opportunity for our kaumatua and elders to have a place of comfort to reside as part of our social housing commitment, our whanau to potentially own their home through our various affordable housing options, to partner with the Unitech to provide upskilling, further educational opportunities, potential apprenticeships and jobs for our people, Maori and local community.

“I understand you will take the time to reflect on discussions which makes perfect sense. Please let me know when you are ready to meet. Please let me know if you have any further queries regarding the development in the meantime, which we would be happy to provide.

“Hopefully we are able to meet sometime soon given our application is being processed through the fast-track approach.”

23 October 2023. Jen Ward and Trevor Crosby attended a meeting of the Albert-Eden Local Board. We told them that the Sanctuary Mahi Whenua, on the area allocated to Ngāti Te Ata, was be built on.

14 November 2023. Trevor Crosby attended the Mt Albert Residents Association meeting and said that we had been told that the Sanctuary Mahi Whenua was to be built on by Ngāti Te Ata.

16 November 2023: Te Whenua Ha Ora, Housing Development Open Day at Unitech marae. Proposed masterplan for site shown by Tattico team, with Sanctuary Mahi Whenua area built over.

30 November 2023: Jen Ward, as President, submitted an Official Information Act request to the Ministry of Housing and Urban Development, querying the status of clause 25.4 and process. This OIA request was because the Sanctuary Mahi Whenua steering group had not received any verbal or written communications from the current owner of the land, the Crown (HUD), stating that rights established under clause 25.4 had been extinguished.

15 December 2023: Trevor met with Helen White, MP for Mt Albert, at the Sanctuary.

19 January 2024: OIA request asked for a further 10 days to respond, by 2 February 2024. This date coincided with the closing date for Auckland Council's submissions on proposed Plan Change 94 for the Wairaka Precinct. When informed of this fact, they said they would attempt to provide a response earlier. Response received 31 January 2024, stating that HUD does not hold information to respond to the 7 questions.

Communications from Ministry of Housing and Urban Development to Sanctuary Mahi Whenua about clause 25.4 of the sale and purchase agreement between Unitec and the Crown: summary

1. No written communications to Sanctuary Mahi Whenua steering group to say that clause 25.4 had been removed / rights extinguished.
2. No verbal communications to Sanctuary Mahi Whenua steering group to say that clause 25.4 has been removed / rights extinguished. Hannah McGregor (HUD iwi / stakeholder liaison) did not confirm clause 25.4 had been removed / rights extinguished when at our 2 hui with Ngāti Te Ata.



Sanctuary Community Organic Garden Mahi Whenua Inc. (the Society)

Submission on Plan Change 94 – Wairaka Precinct I334

Submitted on behalf of the Society by Trevor Crosby, treasurer

Thank you for the opportunity to submit on proposed Plan Change 94 for the Wairaka Precinct (I334). Our Society has maintained the 0.7 ha community garden and food forest, located at 119B Carrington Road, since 2011 as an open green space.

Up to March 2018, the land was owned by the Unitec Institute of Technology. The land was sold to the Crown in March 2018. In the sale and purchase agreement between Unitec and the Crown, clause 25.4 of the “Agreement varying agreement of sale and purchase for Wairaka Precinct” specifically preserved the Sanctuary gardens and food forest as open green space.

1. **Change of name of Precinct.** The applicant proposes to change the name of the precinct from “Wairaka” to “Te Auaunga”. The Society **opposes** this proposed name change.

No information is provided by the applicant on why the proposed change of name is required for the precinct, or to justify a change of name.

It is important to keep a focus on things within the precinct that are valued. If protection of the stream, landscape or open space is de-prioritised during the development process, it will be easier to insist these elements be given more attention if they carry the name of precinct. For example, if the stream has the same name as the development precinct, its importance is highlighted. We could then say, “you have to take care of these things – it’s actually in the name of your development”.

The name ‘Wairaka’ has historically important connections to this site, particularly to Māori but also to Pākehā. Wairaka was a female ancestor, with links to numerous iwi who lived here. She is commemorated in the naming of the stream that flows through the precinct, and in the puna or springs that contribute to the awa. The name Wairaka should be retained for the development because of its historical and cultural significance and because it is a meaningful feature of the site.

A large part of the water flow in the Wairaka stream is contributed by sizeable springs, located in the area near the Sanctuary Mahi Whenua community gardens. Yet these springs have not been identified in any of the documentation regarding the site development or assessments of environmental effects. They were confirmed to exist and revealed during ‘daylighting’ work on the Wairaka Stream project. In the 1940 map on Auckland Council’s GeoMaps website, before the Wairaka Stream was channelled, it can be seen flowing alongside the road in a southerly direction from the Pumphouse until taking a sudden turn to the west and then following the channel that was uncovered during the daylighting. It seems that the Wairaka Stream

changed direction suddenly at this point because it met the flow of the spring that was subsequently culverted and its existence no longer recognised.

These springs are assumed to have been an important source of fresh water for Māori who lived nearby, for both daily living and for horticultural production, as is evidenced by finds of pre-European cultivation implements in the community gardens. Their importance is also founded in legend, describing how Wairaka, when living here, stamped her foot in anger and caused drinking water to flow from the ground. These springs were certainly also important for Pākehā as the source of water for early settlement before they and groundwater became contaminated. On 13 April 1922 the Auckland Medical Officer of Health closed the Pumphouse because of the typhoid outbreak affecting Mt Albert.

The proposed name of Te-Auaunga is not appropriate for this precinct as this is the original name of Oakley Creek which is some distance away to the west and is a waterway that flows from Hillsborough, through Mt Roskill and Waterview to the Waitemata by the Western motorway causeway, near Pollen Island. It is not within the boundaries of land in question, whereas the Wairaka stream is, for almost its entire length.

The Te Auaunga name is generally understood to translate as a reference to 'swirling waters', a name perhaps with less meaning than the reference to an important forebear. It is also found in the name of Ngā Ringa o te Auaunga/ Friends of Oakley Creek, an organisation that has worked tirelessly for many years to protect and enhance Te Auaunga along its whole length. The Society believes this organisation, as the prior bearer of the name, would be better served by retaining the distinction from the current development so that its crucial work is not confused in the mind of the public.

2. Increased height of buildings. The Society **supports** an increase in height of buildings, provided it results in more usable open green space in the precinct for the community.

The Society notes that the applicant states that under Plan Change 78 it is proposed that the eastern side of Carrington Road will change from Residential-Mixed Urban Housing, allowing up to 3 stories, to Terraced and Apartment buildings from 5-7 stories: therefore, the increased height sought by the applicant would fit the proposed PC 78 for the east of Carrington Road.

However, according to Auckland Council's map of proposed zones, the increased height only applies south of Fifth Avenue and in the north the small section from Sutherland Road to the Northwestern motorway. Most of the east of Carrington Road remains Residential-Mixed Urban Housing under PC 78. The Society considers that it is extremely unlikely that the land on which Gladstone School is based will become part of the intensified housing on the east of Carrington Road. The net result is that most of the zoning east of Carrington Road will not change.

3. Masterplan: The Society notes that Auckland Council states that in the application there is no masterplan for the precinct. The Society is also concerned that there is no masterplan with details as outlined by Auckland Council.

A masterplan would indicate the probable footprints of buildings, retail areas, and open space areas for recreation or passive use. It would indicate areas of private open green space as well as those proposed to be vested as public open spaces.

The applicant considers that masterplans have already been prepared for the precinct, and refer to the 2019 document "A Reference Masterplan & Strategic Framework" which was agreed between Mana Whenua and the Crown (<https://www.hud.govt.nz/assets/Uploads/Documents/A-Reference-Masterplan-Strategic->

[Framework-1.pdf](#) cover date 4 February 2019, pdf released 9 October 2020). This document sets out the high level linkages for infrastructure such as transport and communication corridors, and likely number of dwellings and open space. The applicant states that development proposals have also been informed from plans for the precinct prepared by Unitec's former land company, the Wairaka Land Company. The applicant states that details about buildings and such-like will come when each iwi group submits for consent.

The Cabinet Business Meeting of 29 June 2022, released 20 October 2022, noted Page 1, para 5: "Over the second half of 2018, Auckland iwi/ hapū and the Crown jointly prepared a high-level masterplan (Reference Plan) to guide development of the Site." Noted on page 2, paragraph 9, that with Unitec opposing the release of this Reference Plan, that it had delayed several key steps including "detailed master-planning".

<https://www.hud.govt.nz/assets/Uploads/Documents/Cabinet-material-Acquisition-of-additional-land-from-Unitec-for-housing.pdf>.

A concern of the Society is that if the current approach is approved, then a "first in, best dressed" may follow – for example, the first in build as much as they can and leave it to other iwi to find the required open green space or service facilities that Auckland Council requires for the precinct.

4. **Open space:** Zone changes are **supported** by the Society. However, the Society has concerns about the application with regards to open space.

Open space in connection with Sanctuary Mahi Whenua community gardens. According to the March 2018 sale and purchase agreement between Unitec and the Crown, clause 25.4 of the "Agreement varying agreement of sale and purchase for Wairaka Precinct", the Sanctuary Mahi Whenua gardens and food forest should have been specifically identified by the applicant as open green space. This 0.7 ha space was to be preserved as open green space according to the sale and purchase agreement.

25.4 Community gardens

- (a) *The purchaser acknowledges the cultural and historical significance of the gardens and fruit forest (occupying up to 7000 square metres) (**Community Gardens**) currently situated on part of what will become Lot 4 following the Subdivision and agrees to consult with Unitec, Iwi and Kaumatua in agreeing and documenting an arrangement for the ongoing use and preservation of those gardens.*
- (b) *To assist the purchaser in respect of the matters set out in clause 25.4(a), following the date that this agreement is unconditional:*
- (i) *the vendor will provide written notice to the Sanctuary Community Gardens Mahi Whenua Incorporated (Society) (being the current occupiers of the Community Gardens) that*

HAR9380.17.132

Ac B

Agreement varying agreement for sale and purchase of Wairaka Precinct

Page 3

- the vendor will transfer ownership of the property including the Community Gardens on Lot 4 to the purchaser on the settlement date; and*
- (ii) *the purchaser and vendor will work collaboratively with other interested groups (including Iwi and Kaumatua) in relation to the proposed arrangements for the Community Gardens in order to:*
- (A) *have formal documentation finalised before settlement; and*
- (B) *agree plans to preserve the Community Gardens and demonstrate the cultural links with other sites within the Vendor's Adjacent Land and wider environs that commemorate early occupation by Maori (notably the spring Te Puna, the Marae on the Vendor's Adjacent Land, and the landing site of the waka Mataatua).*
- (c) *the purchaser recognises that the gardens to be preserved may serve multiple purposes, such as enjoyment of students, visitors, residents and the wider community; provision of food to residents; source of future archaeological study; and possible use as an education resource by the vendor."*

Unitec Interim CEO Alastair Carruthers spoke about clause 25.4 at a "Saving the Sanctuary" celebration on 29 April 2018, when planting a persimmon tree to mark the occasion. This is a 4-minute video on YouTube videoed by Rebecca Swan (<https://www.youtube.com/watch?v=5wL7qp0I5f4>).

The applicant has not stated anywhere in the application that the 0.7 ha Sanctuary gardens and food forest is to be preserved according to the sale and purchase agreement between Unitec and the Crown.

At the 23 February 2023 information session about the proposed plan change, Trevor Crosby attended for the Society. He asked about the Sanctuary Mahi Whenua with regards to the proposed plan change. There was no information available or offered.

In the 2019 Reference Plan, page 104, the **developable area** (lots) in Wairaka Precinct is given as **122,955 m²**. **However, the Society notes that when adding up the developable lot sizes for the 7 precincts they come to 116,183 m², a 6772 m² difference.**

Precinct 7 in which the Sanctuary Mahi Whenua is located (119B Carrington Road) is 21,229 m² in area. The developable lot size of Precinct 7, Te Auaunga North, is 11,000 m² in the Reference Plan (the only Precinct which a rounded number was used for developable lot size; all 6 other Precincts showed the developable lot size to 1 square metre). As well 3,246 m² of Precinct 7 is for the open space that gives access from the central Spine Road to Te Auaunga walkway. The remaining area in Precinct 7 in the Reference Plan, approximately 7000 m², is for the Sanctuary Mahi Whenua acknowledging that clause 25.4 of the sale and purchase agreement between Unitec and the Crown was to preserve this area of Precinct 7.

Open space in the Wairaka Precinct. In the 2019 document "A Reference Masterplan & Strategic Framework" which was agreed between Mana Whenua and the Crown the open space was given as 7.72 ha of the 26.6 ha they had purchased, with an additional 3.56 ha coming from road reserve (page 12); effectively around 42% open space of varying uses and qualities. The document did not divide the open space into the proportions of what would be public open space and private open space.

Subsequently a further 10.67 ha was purchased in the precinct by the Crown. This second tranche of purchase makes up the bulk of the proposed zoning change to business mixed use from educational. These zone changes can be **supported** by the Society as this land is no longer used for its main purpose of education.

in the application only 5.1 ha has been identified as public open space (i.e., vested to Auckland Council, if they accept it), which is less than the 7.72 ha open space stated in the Reference Plan. The applicant now adds the contiguous Unitec-owned open green space to increase the apparent open space in the precinct. The Unitec-owned open green space was not part of the calculations for the 7.72 ha stated in the Reference Plan, and furthermore there has been no increase in public open space proposed with the further purchase of 10.67 ha.

Nothing in the plan change application has been indicated about the quantum of private open space (i.e., open space not vested to Auckland Council) available or where it will be located except in very generalised terms. The Society notes that currently the open space in the precinct is considered "private open space" as it is not vested to Auckland Council, and has been looked after by Unitec and, more recently, the Crown.

Plan Change 94 information now indicates there will be 4000-4500+ dwellings for the precinct, up from around 2500+ at the time of the 2019 document. Note, however, that the **ground infrastructure being put in place now has the capacity to service approximately 6,000 dwellings** (page 58, in the file pc94-attachment-01-planning-report-and-s32-analysis-final.pdf). In just the Marutūāhu Rōpū 10 ha area of the precinct (named Maungārongo), about 3000 residences in 40 buildings are currently planned to be built in that area (<https://www.ockham.co.nz/toi/faq/>). If this is the case, the Society would like to know what is the expected percent of open space (public and private) available in the precinct when there will be around 4000 dwellings, and then when up to 6000 dwellings may be in the precinct? The applicant only gives information on the expected ratio of public open space that will be available from the 5.1 ha.

Auckland Council notes that recreational space is being removed from the precinct (playing fields, Unitec Sports Centre, and eventually Squash Centre.) The applicant states that there will be a couple of areas 30 x

30 m available for kicking around balls (not sports fields), and furthermore states that recreational areas are a regional (Auckland Council) issue and not one that needs addressing for the precinct. The area they identify as a 30 x 30 m space by Building 1 is unrealistic, as there are formal gardens and features in the area that the applicant has indicated will be retained.

Trevor Crosby, 40 Monaghan Ave, Mt Albert, Auckland 1025

trevorcrosby@actrix.co.nz

0276989962

Website: www.sanctuaryunitec.garden

For daily posts on activities, people, and plants at the Sanctuary Mahi Whenua see:

Facebook: @SanctuaryCommunityOrganicGarden

Instagram: @SanctuaryMahiWhenua

The Society supports submissions made by:

Ngā Ringa o Te Auaunga - Friends of Oakley Creek

The Tree Council

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Ngati Whatua Orakei Whai Rawa Limited
Date: Friday, 2 February 2024 10:30:21 am
Attachments: [Requested Changes.pdf](#)

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Ngati Whatua Orakei Whai Rawa Limited

Organisation name:

Agent's full name: Neil Donnelly

Email address: neild@ngatiwhatuaorakei.com

Contact phone number: +6421781787

Postal address:
PO Box 106-649
Auckland City
Auckland 1143

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Property address:

Map or maps: Map 1 - Zoning, Precinct Plans 1, 2 and 3

Other provisions:
Table I334.6.7.1 - Identified Trees

Do you support or oppose the provisions you have specified? I or we support the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Rezoning the small area of land identified to Business Mixed Use (and subsequent amendments to Precinct Plan 1 by removing the land from Sub-Precinct C and Precinct Plan 3 by including the land in Height Area 4) will enable the purpose and principles of the Resource Management Act to be given effect by, in particular, identifying an area of land that can accommodate additional height with adverse effect.

105.1

Removing Trees 39, 40 and 41 from the schedule and Precinct Plan 2 reflects reality where the trees have been removed via a previously granted resource consent, having considered the Precinct provisions in total and with appropriate mitigation measures being put in place. The Plan Change seeks to make "amendments to the precinct provisions to promote Māori economic development as a key objective for the precinct". Retaining these trees within the statutory regime will result in planning blight on the affected land without commensurate environmental or planning benefit given the previous consideration given in allowing their removal.

105.2

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: As detailed within the attached documents and changes to Precinct Plan 1 to remove the land area from sub-precinct c and Precinct Plan 3 to include the land in Height Area 4

Submission date: 2 February 2024

Supporting documents
Requested Changes.pdf

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

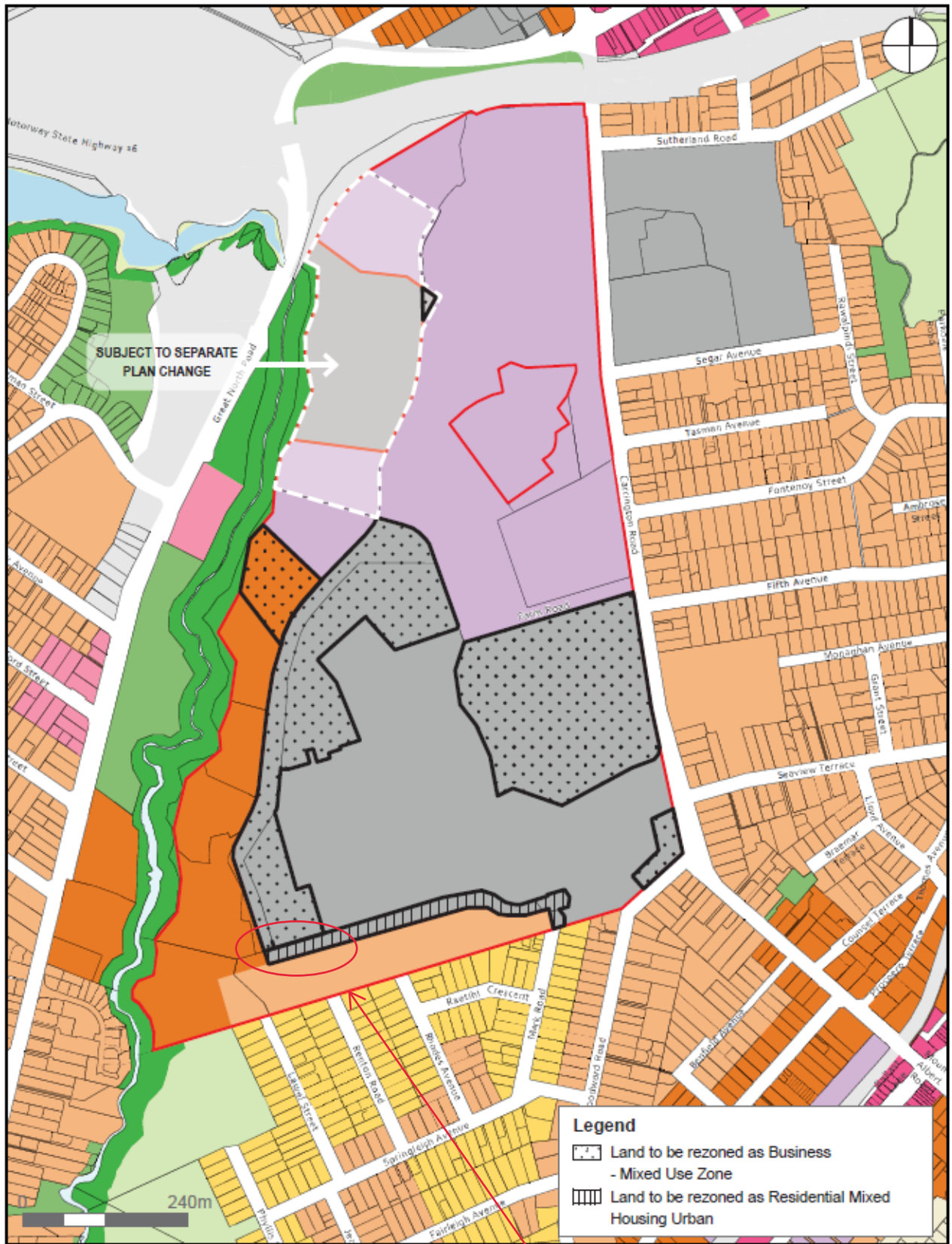
No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

Summer splash pads are calling.

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Map 1 – Zoning



Land requested to be zoned Business Mixed Use

Table I334.6.7.1 - Identified Trees

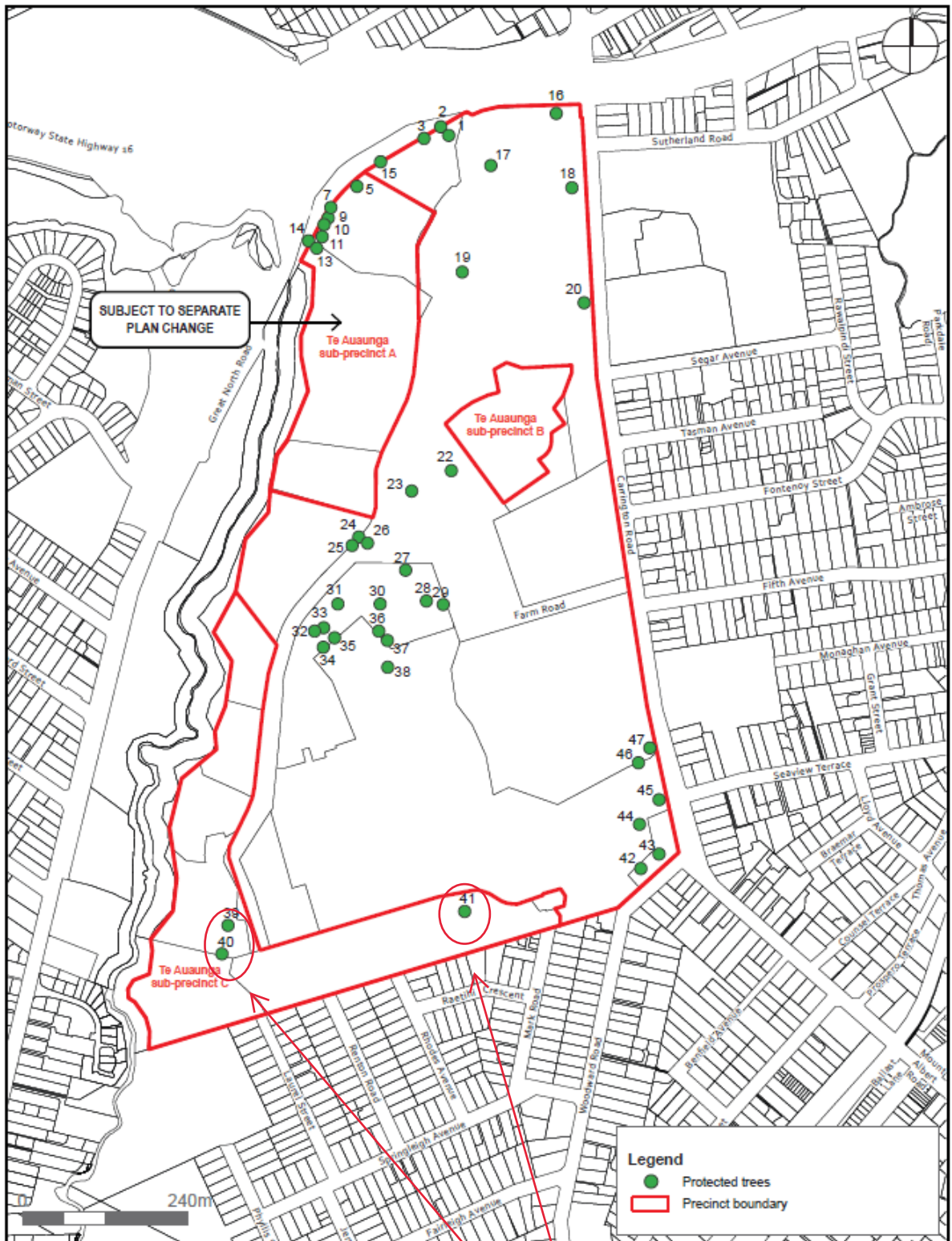
ID	Common name	Auckland district	Numbers of trees	Location/ Street address	Legal description
1	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
2	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
3	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
5	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
7	Karaka	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
9	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
10	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
11	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
13	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
14	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
15	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
16	Swaine's Gold, Italian cypress	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
17	Michelia	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
18	Sky Flower	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
19	New Zealand Ngaio	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
20	Mediterranean Cypress	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
22	Mediterranean Fan Palm	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
23	Mountain Coconut, Coco	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
24	Chinquapin	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
25	White Mulberry	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
26	Totara	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
27	Australian Frangipani	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949

ID	Common name	Auckland district	Numbers of trees	Location/ Street address	Legal description
28	Kauri	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
29	Three Kings Climber	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
30	Norfolk Pine	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
31	Pepper Tree, Peruvian	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
32	Golden Ash	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
33	Jacaranda	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
34	Golden Ash	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
35	Variegated Five Finger	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
36	Maidenhair Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
37	Brazilian Coral Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
38	Dogwood	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
39	Houpara	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
40	Oleander	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
41	Taupata	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 2 DP 406935
42	Camphor Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
43	Plum Pine	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
44	Camellia	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
45	Kohuhu	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
46	Silver Poplar	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 2 DP 406935
47	Liquidambar	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 2 DP 406935

I334.6.8. Access

- (1) The primary traffic access to the precinct must be from Carrington Road at locations shown on ~~the~~ Precinct plan 1.

I334.10.2 Wairaka Te Auaunga: Precinct plan 2 – Protected Trees



Trees proposed to be removed from Planning Maps

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Elizabeth Johnson
Date: Friday, 2 February 2024 10:30:23 am

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Elizabeth Johnson

Organisation name:

Agent's full name:

Email address: ella.a.joh@gmail.com

Contact phone number:

Postal address:
1/4 Harlston Road
Mount Albert
Auckland 1025

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Property address: 1-139 Carrington Road

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Open Space:

| 106.1

Five open spaces amounting to 5.1 ha have been identified for potential vesting to Auckland Council, which is less than the 7.7 ha given in the 2019 Reference Plan based on 26.6 ha. In addition the 2019 document identified a further 3.56 ha as road reserve.

Subsequently a further 10.6 ha was purchased in the precinct, yet there is no indication how much this will contribute to extra open space.

At the moment 5.1 ha has been identified as potential public open space, but it is not clear where other open space (public or private) will be. The area on which the Sanctuary community gardens and food forest is based is not one of these identified open space areas.

I expected it to be shown as an open space area as I understand this area was to be preserved

through the sale and purchase agreement between Unitec and the Crown in 2018.

It is crucial to preserve open space for the number of people who will be living on this site. The garden and fruit forest are culturally and historically significant and should be maintained and preserved. I think we should preserve at least 7000 square metres occupied by the Sanctuary Mahi Whenua gardens and food forest.

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: That Auckland Council incorporates the Mahi Whenua Sanctuary gardens into the design and that our mature forest and trees are retained for the future enjoyment of residents of the Mount Albert/Pt Chev area.

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Xenia Marcroft
Date: Friday, 2 February 2024 11:00:20 am

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Xenia Marcroft

Organisation name:

Agent's full name: Xenia Marcroft

Email address: xmarcroft@gmail.com

Contact phone number:

Postal address:
16 Johnstone Street,
Point Chevalier
Point Chevalier 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Property address:

Map or maps:

Other provisions:
PC94 and others around building height

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Keep open green spaces please. We do not want more houses here. The schools , medical centres and roads cannot cope. There is not enough infrastructure here. The traffic will be even more congested.

107.1
107.2
107.3

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Emma John
Date: Friday, 2 February 2024 11:00:22 am

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Emma John
Organisation name:
Agent's full name:
Email address: mrsemmajohn@gmail.com
Contact phone number:
Postal address:
36 Maryland Steet
Pt Chevalier
Pt Chevalier
Auckland 1022

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Oppose plan change
Property address: Unitech
Map or maps:
Other provisions:
To build taller apartments and take away green space
Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
We do not have the infrastructure nearby to cope with a further increase in population. There is already an increase in traffic and crime in are and police are stretched and have a part time community constable. Schools are far too stretched and over committed and traffic is far too busy to cope with demand

108.1
108.2
108.3

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Liz Sertsou
Date: Friday, 2 February 2024 11:15:19 am

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Liz Sertsou

Organisation name:

Agent's full name:

Email address: lizsertsou@yahoo.co.nz

Contact phone number:

Postal address:
20 Wainui Avenue
Point Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
PC 94

Property address: Unitech Development

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are: 109.1
Lack of infrastructure, school resourcing, complete overcrowding, destroying green soace . 109.2
109.3

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Kerry Palmer
Date: Friday, 2 February 2024 11:15:21 am

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Kerry Palmer

Organisation name:

Agent's full name: Kerry Palmer

Email address: Kerrypalmer789@gmail.com

Contact phone number:

Postal address:
35A Kiwi Road Point Chevalier
Point chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Oppose PC94 because schools can't cope, traffic can't cope, no infrastructure etc.

Property address: Pc94

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:
Traffic, infrastructure won't cope

| 110.1
| 110.2

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Bobby Willcox
Date: Friday, 2 February 2024 11:45:30 am

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Bobby Willcox

Organisation name:

Agent's full name:

Email address: bobby.willcox@gmail.com

Contact phone number:

Postal address:
18a Bangor Street
Pt Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Property address: Wairaka precinct

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

The surrounding suburbs are already struggling to support the current population - schools are full, traffic is horrendous, drainage is poor. There is no way another 12000 people can be supported without significant improvement in the surrounding infrastructure.

111.1
111.2
111.3

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Ockham Group Limited
Date: Friday, 2 February 2024 11:45:33 am
Attachments: [Ockham Group Submission.pdf](#)

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Ockham Group Limited

Organisation name:

Agent's full name: Jethro Joffe

Email address: jethro@baseplan.co.nz

Contact phone number: 0211291233

Postal address:

23 Amy Street

Ellerslie

Auckland 1051

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Refer to Submission Document

Property address: Refer to Submission Document

Map or maps: Refer to Submission Document

Other provisions:

Refer to Submission Document

Do you support or oppose the provisions you have specified? I or we support the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:

Refer to Submission Document

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: Refer to Submission Document

Submission date: 2 February 2024

Supporting documents

Ockham Group Submission.pdf

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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Submission to Plan Change 94 by Ockham Group Limited

Date: 2nd of February 2024
Plan Change: Plan Change 94
Submitter: Ockham Group Limited

Focus of Submission

The Submitter generally supports the outcomes sought in Plan Change 94, specifically the greater building height components of the plan change.

Introduction to Submitter

Ockham Group Ltd specialises in apartment developments, with a portfolio of highly sought-after, medium-density housing. Ockham has completed in excess of 700 units with a value of over \$0.5b since the company’s inception in 2009. Currently, there are 514 units to be delivered by October 2023, valued at \$0.5b, with a secured pipeline of over 3,100 units valued at \$2.2b, to be fulfilled over 10 years. Ockham Group Limited has partnered with Marutūāhu Rōpū, and together over the past seven years they have delivered high amenity density homes for Aucklanders (Tuatahi, Kōkihi, Aroha and Manaaki developments), answering the call for quality, accessible housing with a focus on creating communities within developments. The partnership named Marutūāhu-Ockham Group has already consented two projects within Maungārongo, being ‘Resource Consent 1’ and ‘Resource Consent 2’, which combined over a series of six buildings of seven to ten levels and various high quality publicly accessible open spaces.

Submission: Support of Plan Change 94

Reason for Submission

The Submitters involvement in the redevelopment of Maungārongo within Te Auaunga Precinct will be a generational development for the Marutūāhu Rōpū, and through the Marutūāhu-Ockham Group partnership, ultimately establishing a new urban community within Tāmaki Makaurau. The provisions of the Plan Change align to the Submitter’s aspirations for the land and therefore are supported. Specifically, the Submitter supports the provisions of the Plan Change seeking increases to building height which are aligned to the Submitters aspirations for the land and reflect the Submitters proven consented developments within the Precinct. The Marutūāhu-Ockham Group consented developments RC1 and RC2 confirm the appropriateness of greater height within the Precinct particularly at the area of land bordering Carrington Road and north of the Gate 3 road. The consented buildings in RC 1 and RC 2 range in height from 24m (7 Levels) to 35m (10 Levels), the proposed building heights are accommodated with high quality design and supported by a range of visual, urban design and shading assessment.

Relief Sought

The Submitter generally supports the Plan Change provisions in their current form and specifically the increases to building height for the Te Auaunga Precinct. Furthermore, the Submitter supports additional increases to the building height standards beyond those contemplated within the Plan Change, notably that ‘Height Area 2’ which stipulates a 35m building height be extended to include all of the land within ‘Height Area 4’ (prescribing a 27m height) north of the Gate 3 Road.

112.1

112.2



Mark Todd
Founder and Director
Ockham Group Limited

Supporting Information

- RC 1 Approved Consent - <https://www.epa.govt.nz/fast-track-consenting/listed-projects/maungarongo-rc1/>
- RC 2 Approved Consent - <https://www.epa.govt.nz/fast-track-consenting/listed-projects/maungarongo-rc2/>

From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Greta Yardley
Date: Friday, 2 February 2024 11:45:38 am

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Greta Yardley

Organisation name:

Agent's full name: Greta

Email address: gretayardley@gmail.com

Contact phone number:

Postal address:

48a Dignan St

Pt Chevalier

Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Property address:

Map or maps:

Other provisions:

Building intensification without supporting infrastructure e.g., schools and a plan for Pt Chevalier shopping centre

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

There has been a significant increase in crime in the Pt Chevalier area since the library closure. There needs to be a plan in place to develop this area for a positive community experience before we intensify the housing around it.

113.1

I'd also like to see a school included in the plans. There is a lack of green space at the surrounding schools and they are already bursting. It would be good to see planning take that into consideration.

113.2
113.3

If you compare this plan to that of Rolleston in Christchurch this plan is severely lacking the infrastructure support for the population increase.

I am not against housing in this area. I'm am against such intensive housing without support facilities particularly a school.

I was recently in Los Angeles and stayed in a new housing development - North Hollywood. This was a commercial development of apartments and retail and a school. The buildings were 5 stories and well laid out and the area felt safe and inviting. We have an opportunity to do the same in this development - let's develop a community rather than a ghetto.

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: Reduce the height of buildings to maximum 5 stories and include a school in the plans. Additionally create this redevelopment along with Pt Chevalier shopping area and library to build a desirable community experience.

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Jessica Tucker
Date: Friday, 2 February 2024 12:00:20 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Jessica Tucker

Organisation name:

Agent's full name:

Email address: jessneale@gmail.com

Contact phone number:

Postal address:
58 wainui ave
Pt chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Wairaka precinct

Property address: Wairaka precinct (ex carrington/unitec site)

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
There is not enough local infrastructure to support this level of development. Schools will not cope, doctors will not cope, it will create unmanageable traffic and parking. Waste water system will not cope. Not enough green space

114.1
114.2
114.3
114.4
114.5

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Christopher Casey
Date: Friday, 2 February 2024 12:00:25 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Christopher Casey

Organisation name:

Agent's full name: Chris Casey Casey

Email address: chriscaseyphysio@gmail.com

Contact phone number: 0211832785

Postal address:
1234 Great North Road
Point Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Heritage, public open space, natural environment

Property address: Wairaka Precinct

Map or maps:

Other provisions:
Retain Scheduled heritage and non scheduled heritage, keep Sanctuary Gardens, extend provision for maximum allowable public open spaces

Do you support or oppose the provisions you have specified? I or we support the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Maintain and extend heritage protection (ie Building 6, Building 28) to support Council rules

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested	115.1 115.2
Details of amendments: Maximise public open spaces, include retention of Sanctuary Gardens, decline max heights, protect heritage, trees, natural ecology	115.3 115.4
Submission date: 2 February 2024	115.5 115.6

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

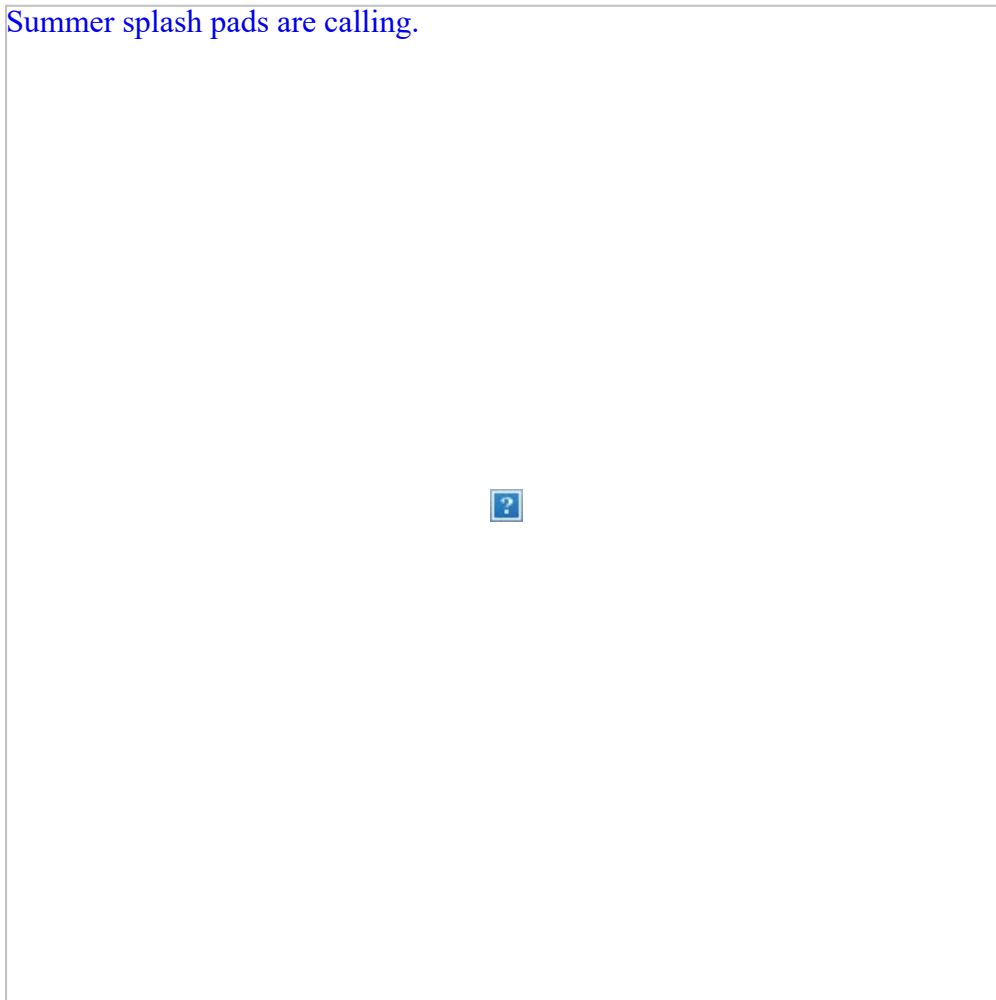
Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Jo Kleiner
Date: Friday, 2 February 2024 12:00:30 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Jo Kleiner
Organisation name:
Agent's full name: Jo Kleiner
Email address: jo8kleiner@gmail.com
Contact phone number:
Postal address:
Point Chevalier
Auckland 1022

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Against the increase of height to 25 stories and the removal of green spaces.

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are: 116.1
The lack of schools, public facilities and road infrastructure. It is struggling at the moment before 116.2
adding over 12,000 new homes. The community won't cope with the increase in families. 116.3
Green spaces need to be added not removed. There's a huge lack of car parks and public transport. 116.4

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Warren McQuoid
Date: Friday, 2 February 2024 12:00:30 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Warren McQuoid
Organisation name:
Agent's full name:
Email address: design2detail@outlook.com
Contact phone number:
Postal address:
58C Wainui Avenue
Auckland
Auckland 1022

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Plan Change 94

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
because schools can't cope, traffic can't cope, no infrastructure etc.

117.1
117.2
117.3

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Campbell Hodgetts
Date: Friday, 2 February 2024 12:15:19 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Campbell Hodgetts

Organisation name:

Agent's full name: Cam Hodgetts

Email address: chodgetts@gmail.com

Contact phone number:

Postal address:
chodgetts@gmail.com
Point Chevalier
AUCKLAND 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

The increased height sought for new buildings along the Carrington Road frontage from 18m to 27m

Property address:

Map or maps:

Other provisions:

The increased height sought for new buildings along the Carrington Road frontage from 18m to 27m

118.1

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:

The plan change applicant is seeking approval to raise the height of new buildings constructed along the Carrington Road frontage from 18m to 27m - a 50% increase over that previously allowed for. This move is highly problematic for a number of reasons (including those outlined below) and I ask the council decline the plan change sought.

Firstly, the development is completely out of character with anything in the surrounding area, and for the most part, Auckland as a whole. The increased building height will tower over all others in the area.

Secondly, the additional concentration of housing at that end of the development (caused by the extra residents in the additional 3 floors of apartments) will place huge pressure on infrastructure, including roads, transportation and schooling. The development has been purposely proposed to

118.2

have a low resident to car ratio, in order to encourage public transport use. Unfortunately, Auckland's poor public transport means inhabitants are still heavily dependent on cars, and as such it's reasonable to assume the level of congestion and illegal parking will be super-charged by the new development. Allowing more people into the north east corner by increasing building heights will only exacerbate this issue.

Perhaps most importantly, it's clear the local schools are ill-equipped to deal with the imminent influx of new students from the Wairaka Precinct. By holding development heights at previously prescribed levels, the precinct will grow organically at a more suitable rate to enable schools to grow, recruit new staff and develop more facilities to handle the influx of students.

118.3

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: Hold development heights at lower levels as previously approved, including maintaining height restrictions on and around the Carrington Rd frontage at 18m

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Natalie Munro
Date: Friday, 2 February 2024 12:30:25 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Natalie Munro

Organisation name:

Agent's full name: Natalie Munro

Email address: nchwatson@gmail.com

Contact phone number: 021950592

Postal address:
nchwatson@gmail.com
Pt Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
I oppose this development on the grounds noted below:

Additional heights of buildings

Open Space: With approx 12.6k new residents in the area, the plan does not allow for sufficient public open space for the new community and their needs to promote wellbeing - research has proven more green spaces with better health outcomes. This is especially true as the already small area has been chopped up into a 5 different spaces.

119.1

Impact on natural beauty of the area: I also feel that having the development only 10m away from Oakley creek significantly impacts that the natural beauty of the area and overall enjoyment of the area for the public. Who enjoy the feeling of being in the forest while also in the city.

119.2

Schools: There is no land zoned for a school however there will be thousands living on the site and local schools are nearing full capacity. Where will they go to school and this will put more pressure on already oversubscribed schools.

119.3

Zoning: These homes are intended for residential use but there is a request for Business-Mixed Use which can deliver poorer outcomes for future residents eg no requirement for outlook, balconies and your apartment can be right on the road instead of set back a bit (dust/fumes and noise from the traffic) will all impact overall wellbeing.

119.4

Property address: Wairaka or Te Auaunga Project

Map or maps:

Other provisions:
as above

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Designs to not give adequate consideration for the residents health outcomes and overall wellbeing - evident through the reduction in green/open spaces and the request to be business mixed use. Adequate infrastructure and community services including is not included in the plans - community services/roading/infrastructure and most importantly schools/doctors/libraries can not cope with the additional influx of residents - which is exacerbated by this change.

119.5

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: jethro@baseplan.co.nz
To: [Unitary Plan](#)
Subject: RE: Unitary Plan Publicly Notified Submission - Plan Change 94 - Marutūāhu Rōpū
Date: Monday, 5 February 2024 5:04:03 pm
Attachments: [image001.png](#)
[Marutuahu_Submission.pdf](#)

Hi there,

RE: Unitary Plan Publicly Notified Submission - Plan Change 94 - Marutūāhu Rōpū

On behalf of my client, Marutūāhu Rōpū, we lodged the submission below to PC94 on the 2nd of February.

The purpose of this email is to correct an error in the online form.

The reply email states that the following of the submission:

I or we seek the following decision by council: Approve the plan change without any amendments

It should be corrected to state:

I or we seek the following decision by council: Approve the plan change with the amendments I requested

This is aligned to the attached submission lodged with Council online on the 2nd of February and re-attached here.

Please confirm back to us the correction.

Regards,

Jethro Joffe
Baseplan Limited
021 129 1233



From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Marutūāhu Rōpū
Date: Friday, 2 February 2024 12:30:27 pm
Attachments: [Marutuahu Submission.pdf](#)

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Marutūāhu Rōpū

Organisation name:

Agent's full name: Jethro Joffe

Email address: jethro@baseplan.co.nz

Contact phone number: 0211291233

Postal address:

23 Amy Street

Ellerslie

Auckland 1051

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Refer to submission document

Property address: Refer to submission document

Map or maps: Refer to submission document

Other provisions:

Refer to submission document

Do you support or oppose the provisions you have specified? I or we support the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:

Refer to submission document

I or we seek the following decision by council: Approve the plan change without any amendments

Details of amendments:

Submission date: 2 February 2024

Supporting documents

Marutuahu Submission.pdf

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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Submission to Plan Change 94 by Marutūāhu Rōpū

Date: 2nd of February 2024
Plan Change: Plan Change 94
Submitter: Marutūāhu Rōpū

Focus of Submission

The Submitter supports the outcomes sought in Plan Change 94, noting the building height components of the plan change.

Introduction to Submitter

Marutūāhu Rōpū (Ngāti Maru, Ngāti Pāoa, Ngāti Tamaterā, Ngāti Whānaunga and Te Patukirikiri) has an allocation of land within the Precinct, named Maungārongo as part of the Ngā Mana Whenua o Tamaki Makaurau Collective Redress Deed 2012 and Act 2014 under which the Marutūāhu Rōpū is one of the three Rōpū sharing this Treaty redress. The Marutūāhu Rōpū allocation is for the majority of the northern portion of the Precinct, which includes over 10 hectares of land north of Gate 3 road. Marutūāhu Rōpū development partners include Ockham Group Limited and together over the past seven years they have delivered high amenity density homes for Aucklanders (Tuatahi, Kōkihi, Aroha and Manaaki developments), answering the call for quality, accessible housing with a focus on creating communities within developments. The partnership named Marutūāhu-Ockham Group has already consented two projects within Maungārongo, being ‘Resource Consent 1’ and ‘Resource Consent 2’, which combined over a series of six buildings of seven to ten levels and various high quality publicly accessible open spaces.

Submission: Support of Plan Change 94

Reason for Submission

Maungārongo is a generational development for the Marutūāhu Rōpū, and through the Marutūāhu-Ockham Group partnership, ultimately will establish a new urban community within Tāmaki Makaurau. The provisions of the Plan Change align to the Submitter’s aspirations for the land and therefore are supported, including increases to building height which are aligned to the Submitter’s aspirations for the land and reflect the Submitter’s proven consented developments within the Precinct. The Marutūāhu-Ockham Group consented developments RC1 and RC2 confirm the appropriateness of greater height within the Precinct particularly at the area of land bordering Carrington Road and north of the Gate 3 road. The consented buildings in RC 1 and RC 2 range in height from 24m (7 Levels) to 35m (10 Levels), the proposed building heights are accommodated with high quality design and supported by a range of visual, urban design and shading assessment.

Relief Sought

The Submitter supports the Plan Change provisions, noting the increases to building height for the Te Auaunga Precinct. Furthermore, given the benefit of the consented developments at RC1 and RC2, the Submitter also supports additional increases to the building height standards beyond those contemplated within the current Plan Change, notably that ‘Height Area 2’ which stipulates a 35m building height be extended to include all of the land within ‘Height Area 4’ (prescribing a 27m height) north of the Gate 3 Road

120.1

120.2

Paul Majurey
Chair
Marutūāhu Rōpū

Supporting Information

- RC 1 Approved Consent - <https://www.epa.govt.nz/fast-track-consenting/listed-projects/maungarongo-rc1/>
- RC 2 Approved Consent - <https://www.epa.govt.nz/fast-track-consenting/listed-projects/maungarongo-rc2/>

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Claire Sutton
Date: Friday, 2 February 2024 12:45:28 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Claire Sutton

Organisation name:

Agent's full name:

Email address: claire.n.sutton@gmail.com

Contact phone number: 0274070025

Postal address:
6 Bungalow Avenue
Point Chevalier
Auckland 1010

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Property address: Unitec Development Site Carrington Road

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Oppose PC94 as the infrastructure in Pt is not equip for more housing. Our roads, schools, infrastructure cannot cope already.

121.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

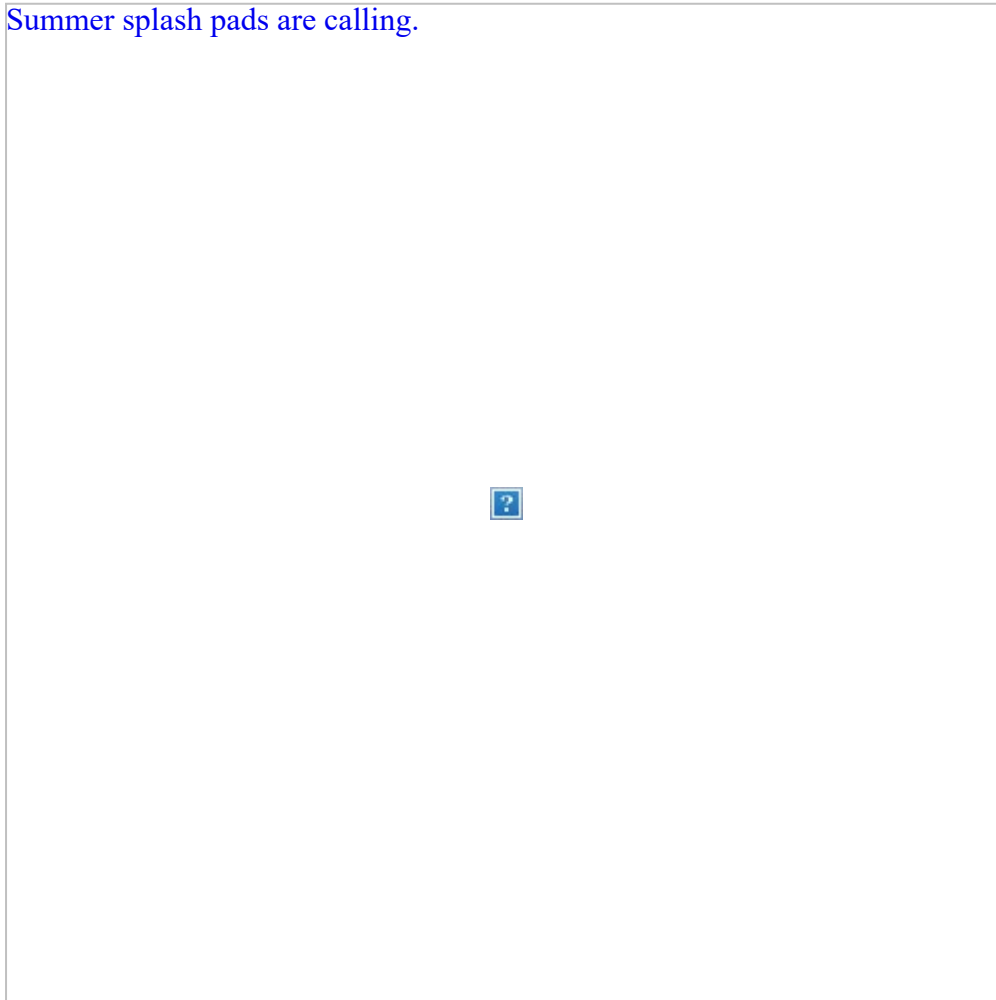
Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Christina Miskimmons
Date: Friday, 2 February 2024 12:45:28 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Christina Miskimmons

Organisation name:

Agent's full name: Chrissy Chai

Email address: write2chris@yahoo.com

Contact phone number:

Postal address:
118a Riversdale Rd
Avondale
Auckland 1026

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Education

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

There is no plans for a school... how will the neighbouring schools cope with the influx of children in the area.

122.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Julia Halpin
Date: Friday, 2 February 2024 12:45:32 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Julia Halpin
Organisation name:
Agent's full name:
Email address: juliahalpin29@gmail.com
Contact phone number:
Postal address:

Submission details

This is a submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Property address: Unitec Development, Mt Albert
Map or maps:
Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

We understand there is a proposal to increase the scale of the development. Presently, the infrastructure cannot cope, the schools are pushed to capacity and there's been a significant increase in crime in the area surrounding Mt Albert and Pt Chev. We need to protect our green spaces for future generations.

123.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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RESOURCE MANAGEMENT ACT 1991
SUBMISSION ON PRIVATE PLAN CHANGE 94
(WAIRAKA PRECINCT) TO THE AUCKLAND UNITARY PLAN
(OPERATIVE IN PART)

Clause 6 First Schedule, Resource Management Act 1991

TO: Auckland Council

By Email: unitaryplan@aucklandcouncil.govt.nz

SUBMITTER: Geoffrey John Beresford (**the Submitter**) at the address for service set out below.

1. This is a submission on Private Plan Change 94 to the Auckland Unitary Plan (Operative in Part) (**AUP**), requested by the Ministry of Housing and Urban Development (**MHUD**) (**the Change**).
2. The Change proposes to:
 - (a) Rename the Wairaka Precinct as the Te Auaunga Precinct (**the Precinct**);
 - (b) Rezone former Unitec land from Special Purpose Tertiary Zone to Business-Mixed Use Zone (**BMU**) and Residential Mixed Housing Urban Zone (**MHU**); and
 - (c) Revise the Precinct Provisions and Plans to, inter alia:
 - (i) Allow up to 18,000 people to live within 64.5 hectares of land area (compared to the total population of Mt Albert of 13,060 people living in a land area of 504 hectares).
 - (ii) Allow construction of taller apartment buildings that will dominate and diminish the natural environment and significantly reduce Aucklanders' amenity.
 - (iii) Allow the developers to avoid providing sufficient open space, infrastructure, and public amenity to support unprecedented intensification that is unlikely to be matched in any other suburban area in New Zealand and thereby risk creating a sub-optimal slum.
 - (iv) Embed inherently unfair race based economic rights into the Precinct Provisions which give primacy to developers' economic interests and so would inevitably generate poorer development outcomes.

3. The Submitter opposes the Change in its entirety on the basis that it reflects sustained incompetence, emanating from Cabinet, which has resulted in total failure to publicly Masterplan redevelopment of Unitec and the squandering of a unique opportunity.
4. The Submitter could not gain an advantage in trade competition through this submission and in any event is directly affected by an effect of the subject matter of the submission that (a) adversely affects the environment; and (b) does not relate to trade competition or the effects of trade competition.
5. The reasons for the submission are that the Change, as notified:
 - (a) Is contrary to the sustainable management of natural and physical resources does not amount to or promote the efficient use and development of resources, and is otherwise contrary to the purpose and principles in Part 2 of the Resource Management Act 1991 (**RMA**).
 - (b) Is inconsistent with objectives, policies, and other provisions in the AUP and other relevant planning instruments.
 - (c) Does not warrant approval in terms of section 32 of the RMA.
 - (d) Will enable the generation of significant adverse effects on the environment in terms of will enable significant adverse effects on the environment including on the social well-being of the existing and proposed residential community.
6. Without limiting the generality of the reasons at paragraph [5] the Submitter refers to each of the specific submission points detailed in Schedule 1 and says further that:
 - (a) Redevelopment of the Precinct needs to proceed following a public participatory Master Planning process.
 - (b) Mt Albert is Auckland's second oldest suburb, but the Change exhibits inadequate concern for the existing community and completely fails to address the environmental impacts of the unprecedented intensification it seeks to enable.
 - (c) The future population of the Precinct is unclear but could be anywhere between 8,000 to 18,000 people, which makes it very difficult to know just what ultimately the future of the Precinct could look given the 10,000 person uncertainty.
 - (d) Almost the entire land area of the Precinct (apart from where buildings and the Mason Clinic are located) was until recently an area which community walked through as if it were a park, but the amount of Open Space that the Change seeks appears to have no concept or this.
 - (e) The Change enables perhaps most short-sighted possible use of the unique land within the Precinct and is a disgrace.

- 7. The Submitter’s alternative position is that if the Change is to proceed, then to achieve the purpose of the RMA and the AUP the Change needs to be amended with the specific (and consequential) amendments required as detailed in **Schedules One** and **Two**.
- 8. In general, the Precinct Plan requires amendments to enable the purposes of the RMA and the AUP to be met including:

Comprehensive Master planning

- (a) Comprehensive master-planning for the Precinct that identifies the locations of buildings and the community, residential, commercial, retail or other activities to be undertaken within buildings, or externally to buildings, prior to any resource consents for residential dwellings being granted. 124.1
- (b) For all work under any resource consents granted prior to the completion of master planning to be suspended pending the completion of the required master planning.
- (c) Fresh consideration should be given to the location of a public transport located centrally within the Precinct at a topographical low point, the provision of a “bow road” for private vehicle trips through the precinct, and provision made for construction of a rail spur connecting to the Western Line at Mt Albert. 124.2
- (d) Traffic and other infrastructural constraints to be realistically assessed and to be used to place a hard limit on the number of dwellings permitted within the Precinct. 124.3

Significant Open Space increases

- (a) Significantly increased open space within the Precinct up to a level appropriate for the number of people who will be living in and around the Precinct and using that open space. 124.4

Built Form

- (b) Significant changes are required to address the disasters waiting to happen along the Carrington Road Frontage and in regard to the extraordinarily tall and dominant buildings that the Change as proposed would enable. 124.5
- (c) Reduced height limits and increased distances between buildings are required to preserve Auckland’s natural environment and to prevent this development becoming an enormous blight upon Auckland. 124.6

Landscaping and tree protection

- (d) Restrict site coverage to provide greater landscaped areas and space for tall trees between buildings. 124.7

- (e) Retain and extend existing tree protection provisions and increase the area of land required to be soft landscaped on sites in the Precinct. 124.8

Activity status and notification

- (f) Provide that the removal of identified trees, removal of identified character buildings and building above height limits are non-complying activities requiring public notification. 124.9

- 9. Further details of the Submitter's submission points and reasons in support of amendments to the plan provisions (compared to MHUD's proposals) are set out in **Schedule One**. In addition, the proposed amendments by the Submitter compared to MHUD's proposals are detailed within the Precinct provisions in **Schedule Two**. All of the amendments and the reasoning given in both schedules will be relied upon by the Submitter.
- 10. The Submitter seeks that the Change be withdrawn or, if necessary, disallowed unless the amendments requested are made to address the concerns raised in this submission.
- 11. The Submitter wishes to be heard in support of this submission. If other parties make a similar submission, the Submitter would consider presenting a joint case with them at any hearing.

DATED 2 February 2024



GJ Beresford

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Schedule 1 – Specific Submission Points

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
Name Changes throughout					
1.	Precinct	Wairaka <u>Te Auaunga</u> Precinct	Oppose/Amend throughout.	<u>Unitec</u> Precinct	This area is known locally as Unitec. It is easier and more transparent to use the name known by the public. It is also more practical to use English as it is difficult for English speakers to pronounce words that start with 5 vowels. It would most likely lead to the Precinct being referred to locally as the “Te A” Precinct (much like the common usage of “K road”) or just as “the Precinct”.
2.	Oakley Creek	Oakley Creek <u>Te Auaunga</u> Waterway	Oppose/Amend throughout.	Oakley Creek / <u>Te Auaunga</u> Waterway	It is not appropriate for well-known English name of Oakley Creek, one of Auckland’s longest urban streams to be deleted from the Precinct Plan.
Precinct Description					
3.	1334.1. Precinct Description	in the west to Carrington Road in the east, where the	Amend	-	This needs to be updated to reflect the changes in

124.10

124.11

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
		Unitec Institute of Technology (Unitec), the Crown, Waitemata District Health Board, one private landowner, and Ngaāti Whaātua Ōraākei own contiguous blocks of land that make up the site.			landholdings.
4.	I334.1. Precinct Description	It will provide the opportunity for people to live, work, and learn within the Precinct, while enjoying the high amenity of the <u>area Wairaka environment.</u>	Oppose/Amend	It will provide the opportunity for people to live, work, and learn within the Precinct, while enjoying the high amenity of the environment <u>within the Precinct and the surrounding area.</u>	It is important to focus on the environment in the Precinct and the surrounding area.
5.	I334.1. Precinct Description	<u>A range of building heights are applied across the precinct that recognise the favourable size, location and topography of the land within the precinct.</u>	Oppose/Amend	<u>A range of building heights are applied across the precinct that recognise the topography of the land within the precinct.</u>	The topography of the land should be recognised but the other proposed amendments would unfairly favor development. Also the location is good but it is not the CBD which is where tall building should be
6.	I334.1. Precinct Description	<u>These heights recognise the relative sensitivities of adjoining and adjacent neighbouring properties, with greater height applied to areas where the potential</u>	Oppose/Amend	<u>These heights recognise the relative sensitivities of adjoining and adjacent neighbouring properties.</u>	All amendments seeking greater permissiveness in height are opposed as they are not conducive to a well-functioning urban environment.

124.11

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
		<u>adverse effects can be managed within the precinct. In the north-western corner of the site height is also proposed to act as a landmark for the development, supporting the urban legibility of the precinct.</u>			
7.	I334.1. Precinct Description	<u>The Te Auaunga Precinct provides objectives for the restoration and enhancement of Māori capacity building and Māori cultural promotion and economic development within the precinct.</u>	Oppose	-	This amendment would discriminate between developers of different races and also against non-Maori submitters and is contrary to s 19(1) of the New Zealand Bill of Rights Act 1990.
8.	I334.1. Precinct Description	The Wairaka Te Auaunga Precinct provides overall objectives for the whole area, and three sub-precincts:	Oppose	The Precinct provides overall objectives for the whole area, and three sub-precincts:	Reference to overall objectives is important to the functioning of the Precinct as a whole and should be retained.

124.11

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
9.	I334.1. Precinct Description	Sub-precinct B provides for light manufacturing and servicing associated with laundry services and is intended to accommodate the current range of light industrial activities, <u>as well as other activities or enabling works which do not compromise the laundry service while this facility is in operation.</u>	Oppose/Amend / Information is required	Sub-precinct B provides for light manufacturing and servicing associated with laundry services and is intended to accommodate the current range of light industrial activities, <u>until the expiry of the lease in 2036 (or earlier by negotiation) and will then be used for [...]</u>	The information available is inadequate for the public to understand the intended future use of sub-precinct B
10.	I334.1. Precinct Description	Sub-precinct C that the south and west of the precinct provides for a broad range of residential activities, together with supporting uses, activities appropriately located to a major tertiary education institution	Oppose	Sub-precinct C to the south and west of the precinct provides for a broad range of residential activities, together with supporting uses, activities appropriately located to a major tertiary education institution	The reference to a broad range of residential activities should be retained.

124.11

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
11.	I334.1. Precinct Description	<p>There are also particular attributes of the Wairaka Te Auauanga <u>Wairaka Te Auauanga</u> Precinct, which contribute to the amenity of the precinct and the surrounding area and are to be retained and enhanced, and future areas introduced through the development of the precinct. These include the following:</p> <ul style="list-style-type: none"> • The significant ecological area of Oakley Creek <u>Te Auauanga</u>. • An open space network linking areas within the Wairaka Te Auauanga <u>Wairaka Te Auauanga</u> Precinct and providing amenity to neighbouring business and housing areas; • A network of pedestrian and cycleway linkages that integrate with the area network. • Retention of the open space storm-water 	Amend	<p>There are also particular attributes of the Precinct, Wairaka <u>Wairaka</u> which contribute to the amenity of the Precinct and the surrounding area and are to be retained and enhanced, and future areas introduced through the development of the Precinct. These include the following:</p> <ul style="list-style-type: none"> • The Wairaka Stream and the landscape amenity, ecological and cultural value this affords; • An open space network linking areas within the Wairaka <u>Wairaka</u> Precinct and providing amenity to neighbouring business and housing areas; • <u>Amenity enhancing views at street level which connect the Precinct with Mt Albert / Owairaka, the Waitamata Harbour, and the Waitakere Ranges;</u> • A network of pedestrian and cycleway linkages that integrate with the area network <u>and are of sufficient width to accommodate separate pedestrian and cycle lanes and vegetation and mature trees</u> 	<p>The Wairaka Stream and the provisions protecting are more fundamental to the Precinct Plan than Oakley Creek because the Wairaka Stream runs right through the heart of the Precinct, while Oakley Creek is outside of the Precinct.</p> <p>It is notable that:</p> <p><i>“A spring fed stream (Wairaka Stream) runs through the Wairaka Precinct prior to discharging into Te Auauanga/Oakley Creek. The Central Wetland discharges to the Stream part way down its length”.</i></p> <p>And that:</p> <p><i>“The Wairaka Precinct is located significantly above (15 to 20 meters) Te Auauanga/Oakley Creek with a steep slope of approximately 32 degrees from the western boundary to the Creek centreline”.</i></p>

124.11

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
		<p>management area which services Wairaka Te Auaunga and adjacent areas, and the amenity of the associated wetland</p> <ul style="list-style-type: none"> • The Historic Heritage overlay of the former Oakley Hospital <u>main building</u> and identified trees on site. 		<ul style="list-style-type: none"> • Retention of the open space storm-water management area which services <u>the Precinct</u> and adjacent areas, and the amenity of the associated wetland. • The significant ecological area of <u>nearby</u> Oakley Creek / <u>Te Auaunga</u>. • The Historic Heritage overlay of the former Oakley Hospital <u>main building and other character and/or heritage buildings located within the Precinct</u>; • <u>The mature vegetation and notable and identified trees on site within the Precinct and the amenity they provide.</u> 	
12.	I334.1. Precinct Description	The implementation of the Precinct plan <u>1</u> outcomes is dependent on a series of works.	Oppose / Amend	The implementation of the <u>Precinct plan</u> <u>the desired</u> outcomes for the <u>Precinct and surrounding areas</u> is dependent on a series of works.	The proposal narrows the focus of the Precinct to being implementing Precinct Plan 1 but the outcomes sought in the Precinct Plan are wider.
13.	I334.1. Precinct Description	These works focus on the provision of open space and a roading network giving including access from the east to the important Oakley Creek Te Auaunga public	Oppose / Amend	These works focus on the provision of open space and a roading network giving including access from the east <u>and south</u> to the important <u>public open space surrounding</u> Oakley	An update is required to refer to connections from the south

124.11

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
		open space		<u>Creek/Te Auaunga.</u>	
14.	I334.1. Precinct Description	-	Amend	Currently the precinct also receives stormwater from an adjacent catchment in the Mt Albert area and it is expected that this will continue following development of the precinct <u>and that the stormwater management for the precinct will be designed to accommodate these stormwater flows.</u>	Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.
15.	I334.1. Precinct Description	These measures could include the following: • Providing a connected road network through the site;	Amend	Such These measures could will include the following: • Providing a connected road network through the site <u>along with integrated and well designed public transport connections through the site;</u>	To ensure integration of the roading and public transport connections through the Precinct.
16.	I334.1. Precinct Description	-	Propose	• <u>Making provision for an underground rail spar connecting to the Mt Albert Train Station.</u>	This would enable the provision of a connection to the Western Line.
17.	I334.1. Precinct Description	• Making provision for a bus node and road widening to support the public transport network <u>and expansion of the public transport network through the precinct.</u>	Amend	• Making provision for a “ <u>bow road</u> ” for public and private vehicles and a public transport hub (including a bus node) <u>located centrally within the Precinct at a topographical low point, and road widening to</u>	The “bow road” and a transport hub located at a topographical low point in the centre of the Precinct would have multiple benefits.

124.11

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
				<p>support the public transport network within the center of the Precinct and expanding the public transport network through the Precinct.</p>	
18.	I334.1. Precinct Description	<ul style="list-style-type: none"> • Providing a connected pedestrian and cycling network into and through the site, in particular convenient east-west and north-south cycle connections from the Oakley Creek Te Auaunga over bridge to the proposed bus node Carrington Road bus services and existing and proposed cycle networks beyond the site 	Amend	<ul style="list-style-type: none"> • Providing a connected pedestrian and cycling network into and through the <u>Precinct</u>, <u>with sufficient width to allow separate cycling and pedestrian lanes.</u> • ... site, in particular Providing convenient east-west and north-south cycle connections from the Oakley Creek Te Auaunga over bridge to the proposed bus node central transport hub Carrington Road bus services and existing and proposed cycle networks beyond the <u>Precinct site.</u> 	A central transport hub plus pedestrian and cycling connections to it would reduce adverse traffic effects on Carrington Road. Such amendments are required to mitigate the effects of greater intensity enabled by the Change.
19.	I334.1. Precinct Description	-	Propose	<ul style="list-style-type: none"> • <u>Limiting the number of Major Precinct Access points from and onto Carrington Road</u> 	To manage access to the Precinct from Carrington Road.
20.	I334.1. Precinct Description	-	Propose	<ul style="list-style-type: none"> • <u>Providing vehicle connections to the south of the Precinct to reduce traffic effects on Carrington Road.</u> 	To manage vehicle access to the Precinct from the south and to reduce traffic effects on Carrington Road.
21.	I334.1. Precinct Description	-	Propose	<ul style="list-style-type: none"> • <u>Restricting dwelling and occupancy numbers in the</u> 	Such amendments are required to mitigate the

124.11

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
				Precinct until the Woodward Road railway level crossing is replaced by a grade separated crossing;	effects of greater intensity enabled by the Change.
22.	I334.1. Precinct Description	-	Propose	<ul style="list-style-type: none"> Restricting dwelling and occupancy numbers in the Precinct until the design Carrington Road upgrade is completed. 	Such amendments are required to mitigate the effects of greater intensity enabled by the Change.
23.	I334.1. Precinct Description	To reduce the potential of new development occurring in an uncoordinated manner, the precinct encourages the land owner/s to develop the land in accordance with the Precinct plan-1 and relevant policies. This method provides for integrated development of the area and ensures high quality outcomes are achieved.	Oppose/Amend	To reduce the potential of avoid new development occurring in an uncoordinated manner, the precinct encourages the land owner/s to develop the land in accordance with the Precinct plan and relevant policies Precinct Plan requires land owners to develop in accordance with a comprehensive master plan that is in accordance with the Precinct Plan provisions and Precinct Plans 1-4. This method provides for integrated development of the area and ensures high quality outcomes are achieved.	MHUD's amendment inappropriately narrows the focus of the Precinct to being implementing Precinct Plan 1 but the outcomes sought in the precinct are wider than this. Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.
	I334.2. Objectives				
24.	I334.2 (1)	The provision for a high quality of tertiary education	Oppose/Amend	The provision for a high quality of tertiary education institution	Amendments required to mitigate the effects of

124.11

124.12

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission	
		institution and accessory activities in the precinct is continued, while also providing for growth, change and diversification of activities.		and accessory activities in the precinct is continued, while also providing for <u>open space</u> , growth, change and diversification of activities <u>that provide a high level of amenity within the Precinct and the surrounding area.</u>	the rezoning of a larger area as BMU and the greater intensity enabled by the Change.	124.12
25.	1334.2 (2)	-	Propose	Comprehensive planning and integrated development of all sites within the precinct is achieved <u>prior to further resource consent for new building being granted.</u>	Amendments required to address the absence of a Master Plan and mitigate effects of rezoning a larger area as BMU and the greater intensity enabled by the Change.	124.13
26.	1334.2 (3)	A mix of residential, business, tertiary education, social facilities and community activities is provided, which maximises the efficient and effective use of land and provides for a variety of built form typologies.	Oppose/Amend	A mix of residential, business, tertiary education, social facilities and community activities is provided, which maximises the efficient and effective use of land and provides for a variety of <u>terraced housing and low to mid-rise apartment built form typologies</u>	These amendments are required to address the absence of a Master Plan and mitigate effects of rezoning a larger area as BMU and the greater intensity enabled by the Change and supports a variety of built form typologies but clarify the range of typologies primarily sought.	124.14
27.	1334.2 (5)	The commercial laundry service and accessory activities and associated buildings, structures and	Oppose/Amend	The commercial laundry service and accessory activities and associated buildings, structures and infrastructure in Sub-	Greater clarification of the future intended use of Sub-precinct B is required.	124.15

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
		infrastructure in Sub-precinct B are provided for, <u>as well as other activities or enabling works which do not compromise the laundry service while this facility is in operation</u>		precinct B are provided for	
28.	I334.2 (6)	Identified heritage values are retained through the adaptation of the scheduled buildings and retention of identified trees, together with the management of the historic heritage, and Māori sites of significance on Oakley Creek Te Auaunga land, and the contribution they make to the precinct's character and landscape, are recognised, protected and enhanced in the precinct.	Oppose/Amend	Identified heritage values are retained through the adaptation of the scheduled buildings <u>and identified character buildings</u> and retention of identified trees, together with the management of the historic heritage, and Māori sites of significance on <u>Oakley Creek/Te Auaunga Waterway land</u> , and the contribution they make to the precinct's character and landscape, are recognised, protected and enhanced in the precinct.	Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change. Potential for additional buildings to be scheduled in future.
29.	I334.2 (7A)	-	Propose	<u>The amount of open space within the Precinct is commensurate with the level of intensification planned both within the Precinct and the surrounding suburbs.</u>	Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.
30.	I334.2 (7B)	-	Propose	<u>To manage the urban forest on</u>	Amendments required to

124.15

124.16

124.17

124.18

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
				<u>public and private land within the Precinct so as to give effect to Auckland’s Urban Ngahere (Forest) Strategy and achieve a tree canopy of 30% within the Precinct</u>	mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change and to give effect to the Council’s Urban Forest Strategy
31.	I334.2 (10)(a)	An integrated urban environment is created, which: Incorporates high quality built form and urban design;	Oppose/Amend	An integrated urban environment is created, which: Incorporates <u>high exemplary</u> quality built form and urban design;	The Precinct is proposed to be the most intense urban environment outside the CBD, which requires an exemplary or outstanding level of urban design.
32.	I334.2 (10)(b)	Recognises, protects and enhances the environmental attributes of Wairaka the precinct in its planning and development ...;	Amend	Recognises, protects and enhances the environmental attributes <u>and open space aspects of Wairaka</u> the precinct in its planning and development ...;	Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.
33.	I334.2 (10)(d)	-	Amend	Is developed in a comprehensive manner, which complements and fits within the landscape and character of the surrounding environment <u>including the built form and character of the surrounding residential environment.</u>	Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.

124.18

124.19

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
34.	1334.2 (10)(e)	-	Amend	Contributes positively to <u>the existing</u> Mt Albert, Waterview and Point Chevalier communities.;	Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.
35.	1334.2 (10)(f)	<u>Contributes to Māori cultural promotion and economic development.</u>	Oppose	-	The proposal would inappropriately prioritise the economic outcomes of the developer over community outcomes.
36.	1334.2(12)	<u>The restoration and enhancement of Māori capacity building and Māori cultural and economic development within the precinct is provided for, promoted and achieved.</u>	Oppose	-	The proposal would inappropriately prioritise the economic outcomes of the developer over community outcomes.
37.	1334.2(13)	<u>Provide for increased heights in appropriate parts of the precinct so as to provide greater housing choice, increase land efficiency, benefit from the outlook from the precinct, and create 'landmark' buildings in the north western part of the precinct.</u>	Oppose	.	Height Area 1 would permit blights on Auckland. If allowed it would undo generations of guardianship of the natural environment and let it be permanently dominated, diminished, and degraded. It would also diminish housing

124.19

124.20

124.21

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
					choice.
I334.3. Policies					
38.	I334.3.(1)	Enable and provide for a wide range of activities, including education, business, office, research, healthcare, recreation, residential accommodation, community facilities and appropriate accessory activities.	Amend	Enable and provide for a wide range of activities, including <u>open space</u> , education, business, office, research, healthcare, recreation, residential accommodation, community facilities and appropriate accessory activities.	Significantly increased amounts of open space are required mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change, which need to be secured by retaining minimum open space requirements in the Precinct provisions
39.	I334.3.(4)	Promote comprehensive planning by enabling integrated development in accordance with the p Precinct plan 1	Oppose/Amend	Promote comprehensive planning by enabling integrated development in accordance with the p precinct plans	All precinct plans contain relevant development controls.
40.	I334.3.(4) (continued)	and Policy I334.3(15A) that provides for any of the following:	Oppose/Retain	and Policy I334.3(15A) that provides for any of the following:	Significantly increased amounts of open space are required mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change,

124.22

124.23

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
					which need to be secured by retaining minimum open space requirements
41.	1334.3.(4)(d)	Intensive Residential accommodation activities;	Oppose/amend	Residential accommodation associated with <u>Tertiary Education</u> ;	To enable Unitec to provide residential accommodation, which increases the housing typologies.
42.	1334.3.(4)(e)	Economic development and employment, <u>including supporting Māori capacity building and Māori cultural promotion and economic development</u> ;	Oppose	Economic development and employment.	The proposal would inappropriately prioritise the economic outcomes of the developer over community outcomes.
43.	1334.3.(4)(i)	Identification and protection of significant landscape features, the adaptation of the scheduled historic buildings, identified trees and <u>integrated</u> open space network;	Oppose/Amend	Identification and protection of significant landscape features, the adaptation of the scheduled historic buildings <u>and identified character buildings</u> , identified trees and <u>integrated</u> open space network;	Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.
44.	1334.3.(4)(j)	Public road and open space access to the Oakley Creek reserve Te Auaunga	Oppose/Amend	Public road and open space access to the Oakley Creek / <u>Te Auaunga</u> reserve	Amendments to clarify that the provision relates to the reserve.
45.	1334.3.(5)	Promote economic activity and provide for employment growth that will create opportunities for students, graduates and residents of	No position taken	-	None. No position taken.

124.23

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission	
		the precinct and Auckland, including Māori.				
46.	I334.3.(6)	Encourage a mix of residential lifestyles and housing typologies to cater for a diverse <u>and high density</u> -residential community at Wairaka <u>Te Auaunga</u> .	Oppose / Amend	Encourage a mix of residential lifestyles and <u>a variety of</u> housing typologies to cater for a diverse residential community.	Precinct provisions enable a variety of typologies	124.24
47.	I334.3.(7)	Provide for a mix of residential and business activities which will enable development of <u>an intensive</u> residential core to the <u>Te Auaunga</u> Precinct	Oppose / Amend	Provide for a mix of residential and business activities which will enable development of a residential core to well <u>functioning urban environment within the-Precinct</u>	Precinct provisions enable a variety of typologies.	124.25
48.	I334.3.(8)	Enable a broad range of educational, research, laboratory, office and business uses which meet the needs of and respond to future changes in, teaching, learning, and research requirements for a modern campus environment.	Oppose	Enable a broad range of educational, research, laboratory, office and business uses which meet the needs of and respond to future changes in teaching, learning, and research requirements for a modern campus environment.	It is important to meet the needs of and respond to future changes in teaching learning and research requirements for a modern campus environment.	124.26
49.	I334.3.(10A)	-	Propose	<u>Avoid subdivision and development that is incompatible with:</u> <u>(a) The provision of a high quality open space network.</u>	Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change and give	124.27

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
				<p><u>(b) Maintaining the amenity of the surrounding residential environment.</u></p> <p><u>(c) Well functioning urban environments</u></p>	effect to the NPS UD
50.	1334.3.(11)	-	Propose	<p>Encourage <u>Require</u> the retention and adaptation of the heritage and character buildings, and elements identified within the precinct.</p>	There is more than one character building in the precinct. The protection needs to be strengthened to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.
51.	1334.3.(13)	-	Amend	Require new buildings to be designed in a manner that provides for a high <u>an exemplary</u> standard of amenity, recognises landscape values and, where appropriate, enhances the streetscape and gateway locations of the precinct.	The Precinct is proposed to be the most intense urban environment outside the CBD, which requires an exemplary or outstanding level of urban design throughout.
52.	1334.3.(14)	Require <u>proposals for all new buildings, structures and infrastructure</u> or additions to existing buildings, structures and infrastructure adjoining or	Oppose / Amend	Require proposals for <u>all</u> new buildings, structures and infrastructure or additions to existing buildings, structures and infrastructure adjoining or adjacent to the scheduled heritage	The rezoning of a larger area as BMU and the greater intensity enabled by the Change make these considerations relevant throughout the

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
		adjacent to the scheduled heritage buildings and/or the significant ecological area of Oakley Creek Te Auaunga to provide <u>appropriate native landscaping and to be sympathetic and provide</u> contemporary and high-quality design, which enhances the precinct's built form and natural landscape.		buildings and/or the significant ecological area of Te Auaunga within the Precinct to provide <u>appropriate landscaping</u> and to be sympathetic and provide contemporary and high- <u>exemplary</u> quality design, which enhances the Precinct's built form and natural landscape.	Precinct not just adjacent to heritage buildings and SEAs. The preference for native planting needs to be balanced with the need for fast growing species that mitigate the adverse effects enabled by the Change faster.
53.	I334.3.(14A)	<u>Provide for taller buildings in the north western part of the precinct in this landmark location with enhanced outlook across the Waitemata Harbour and Waitakere Ranges, but in a location removed from residential neighbourhoods outside the proposal</u>	Oppose -	-	Inappropriately prioritises the amenity of new developments over the amenity of the existing community.
54.	I334.3.(14AA)	<u>Require proposals for new high rise buildings adjacent to the former Oakley Hospital scheduled historic heritage building to provide sympathetic contemporary and high quality design which enhances the precinct's built form</u>	Oppose	-	The Precinct is proposed to be the most intense urban environment outside the CBD, which requires an exemplary or outstanding level of urban design throughout.

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
55.	I334.3.(14B)	<u>Provide for additional height in the central and northern parts of the precinct, recognising the topographical and locational characteristics of this part of the precinct, and the ability to provide greater housing choice, increase land efficiency, benefit from the significant views and outlook from the precinct, and leverage the proximity and amenity of Te Auaunga.</u>	Oppose	-	The topography of the site provides an opportunity to fill in the site with buildings without generating significant adverse effects on the environment
56.	I334.3.(15)(a)	-	Amend	Provide for <u>Maximise the public open space within the Precinct including a neighborhood park in the northern portion of the precinct and provide for:</u> <u>(a) a neighbourhood park in the northern portion of the precinct (North Open Space);</u> •	Significantly more open space is required to serve the needs of the Precinct given the intensification proposed within the Precinct and surrounding areas.
57.	I334.3.(15)(b)	-	Propose	<u>(b) Central Open spaces which include suburb parks at a size required to accommodate sports fields; and</u>	Significantly more open space (and certainty about the locations and functions of open space) is required to serve the needs of the Precinct

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission	
					and intensification in the surrounding areas.	
58.	I334.3.(15)(c)	-	Propose	<u>(c) Neighbourhood parks in the southern portion of the Precinct that connect with private open space in the Unitec Campus</u>	Significantly more open space (and certainty about the locations and functions of open space) is required to serve the needs of the Precinct and intensification proposed in the surrounding areas.	124.34
59.	I334.3.(15A)	[deletion of existing]	Oppose	Provide at least 7.1ha of key open space (private) within the precinct. Note: Consequential amendments are required to re-insert all cross references to this policy proposed to be deleted by PC 94	Open space minima are required to ensure sufficient private open space is provided. This particular open space is required by PC 75 to replace open space lost due to the expansion of the Mason Clinic.	124.35
60.	I334.3.(15AA)	-	Propose	Provide at least 25 ha of open space (public) in addition to the open space (private) required by policy I334.3.(15A)	Significantly more open space is required to serve the needs of the Precinct and intensification proposed in the surrounding areas.	124.36
61.	I334.3.(16)	-	Amend	Provide public connections to Oakley Creek/Te Auaunga Waterway from Carrington Road through public roads, <u>walkways</u> , and open space, giving quality	Addition of walkways to seek better walking connectivity.	124.37

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
				public access to this ecological area.	
62.	I334.3.(17)	-	Amend	Require development to maintain and provide a varied and integrated network of pedestrian and cycle linkages <u>that are of sufficient width to accommodate separate pedestrian and cycle lanes, amenity planting, stormwater management, and open space and plazas within the precinct.</u>	Proposed amendments to ensure sufficient connectivity and appropriate management of open space.
63.	I334.3.(18)	-	Amend	Require the key pedestrian and cycle linkages through the precinct to be direct and convenient, well designed, safe, and improve connectivity for all users, <u>and are of sufficient width to accommodate separate pedestrian and cycle lanes, amenity planting, and stormwater management.</u>	Proposed amendments to ensure sufficient connectivity and appropriate management of open space.
64.	I334.3.(20)	-	Amend	Require subdivision and development to be integrated with transport planning and infrastructure in a way that <u>focuses connectivity on the central transport hub / bus node and underground rail spur linking to the Western Line at Mt Albert. and:</u>	Proposed amendments to ensure that the public transport network is appropriately provided for.

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
65.	I334.3.(20)(c)	Implements as a minimum the transport elements within the Precinct <u>Plan 1</u> ;	Oppose/Amend	Implements as a minimum the transport elements within the Precinct Plans;	implementation of transport elements with the Precinct Plans not just with Precinct Plan 1 is required.
66.	I334.3.(20)(g)	-	Amend	(f) Stages subdivision and development with necessary surrounding transport network infrastructure and upgrades where adverse effects on the transport network cannot be avoided, remedied and mitigated <u>including limiting the construction and occupancy of dwellings until after the Carrington Road upgrade is completed and the Woodward Road railway level crossing is replaced with a grade separated crossing.</u>	Required to mitigate the adverse traffic effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change and to provide certainty that the timing of development and infrastructure delivery will be properly coordinated.
67.	I334.3.(22)	Changes only “Precinct” and “Mark Road.	Amend	Manage the expected traffic generated by activities in the precinct to avoid, remedy and mitigate adverse effects on the safety and efficiency of the surrounding transport network, particularly at peak times <u>and make undergrounding of the Woodward Road rail crossing a trigger point for development</u>	The trigger point is required to mitigate the adverse traffic effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change and to provide certainty that the timing of development and

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
					infrastructure delivery will be properly coordinated.
68.	1334.3.(22) (continued)			For the purpose of this precinct, the surrounding transport network comprises Carrington Road, the Precinct's existing and proposed access points to Carrington Road, the Carrington Road/Woodward Road intersection, the Woodward Road/New North Road intersection, the Carrington Road/New North Road and Carrington Road/Great North Road intersections, Laurel Street, Renton Road, Rhodes Avenue, Mark Road <u>and the other local roads bounded by Carrington Road, New North Road, and Te Auaunga; Seagar Avenue, Fonetnoy Street, Fifth Avenue, Monaghan Avenue, Grant Street, Seaview Terrace, Counsel Terrace and Prospero Terrace.</u>	Additional proposed amendments are merely to state the names of additional local streets that will be affected noting that the additional BMU zoning in the southern parts of the Precinct and proposed southern roading connections will make the additional local streets more likely routes to be taken for vehicle trips to St Lukes Road.
69.	1334.3.(23)	Require an integrated transport assessment for the precinct for any new development greater than 2,500m² gross floor area in the Business – Mixed Use Zone or greater than		Require an <u>updated</u> integrated transport assessment for the precinct for any new development where the overall development within the precinct is not consistent with the previously modelled yield of <u></u>	Clarify that the need for an updated ITA arises when an application brings the total number of dwellings above the previously modelled yield of people in the

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
		<p>1,000m2 gross floor area in the residential zones, unless that additional development was assessed as part of an earlier assessment of transportation effects that is no more than two years old</p> <p><u>4,000 dwellings in the precinct, and for any new development greater than that would bring the total number of dwellings in the precinct above,3000 dwellings in the precinct, where the overall development within the precinct is not consistent with the previously modelled yield</u></p>		<p><u>8,200 people in the fully developed Precinct.</u></p>	<p>fully developed Precinct.</p>
70.	1334.3.(27)(c)	<p>Manage potential adverse amenity effects from buildings at the precinct boundary by:</p> <p>...</p> <p>(c) Require graduated building heights and locate higher buildings away from the precinct boundaries that adjoin Mixed Housing Suburban residential areas to the south of the precinct.</p>	Oppose/Amend	<p>Manage potential adverse amenity effects from buildings at the precinct boundary by:</p> <p>...</p> <p>(c) Require graduated building heights and locate higher buildings <u>only in topographically low areas</u> and away from the precinct boundaries.</p>	<p>Potentially affected residential areas are not only located to the south of the precinct.</p>

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
71.	1334.3.(27)(d)	-	Propose	<u>(d) Set back buildings from Carrington Road and provide for reduced height along the Carrington Road frontage.</u>	To better integrate tall buildings with the environment and reduce adverse effects.
72.	1334.3.(27)(e)	-	Propose	<u>(e) Provide ample separation distances between buildings on Carrington Road.</u>	To better integrate tall buildings with the environment and reduce adverse effects.
73.	1334.3.(27)(f)	-	Propose	<u>(f) Require applicants to provide (or retain existing) tall trees between buildings fronting Carrington Road (including retaining sufficient space and depth for trees to establish).</u>	To better integrate tall buildings with the environment and reduce adverse effects.
74.	1334.3.(28)	-	Amend	Encourage <u>Require</u> built form, activities, public open spaces and infrastructure to be planned and designed on a comprehensive land area basis, rather than on an individual site basis <u>including the requirement to have a comprehensive master plan approved prior the grant of resource consent for residential dwellings.</u>	Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.
75.	1334.3.(29)	-	Amend	Provide for the retail (including food and beverage) <u>and</u> <u>community</u> activities in identified locations on of the	The topography of the site discourages (and proposed closure of walking connections in

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter		Preliminary/indicative Reason for Submission
				precinct which: ... (b) serves local demand within the precinct; and <u>are located to minimise the number of vehicle trips outside of the Precinct to access these activities</u>		the surrounding area to accommodate the CRL once operational) walking to these activities outside of the Precinct so need to be provided within the Precinct.
76.	I334.3 (30A)	<u>Encourage the adaptive re-use of the existing buildings with historic value for retail and other activities.</u>	Amend	<u>Encourage the adaptive re-use of the existing buildings with historic value or character value for retail and other activities.</u>		Recognise the contribution made by buildings with Character value on the site
77.	I334.3 (31)	Apply the subdivision controls of the zoning to the subsequent subdivision of the precinct or sub-precinct, subject to that subdivision also meeting the requirements of the Precinct Plan 1.	Oppose	Apply the subdivision controls of the zoning to the subsequent subdivision of the precinct or sub-precinct, subject to that subdivision also meeting the requirements of the Precinct Plans <u>and Policy I334.3(15A).</u>		Relevant controls are on all of the Precinct plans, plus a consequential amendment to reference policy 15A.
Activity Tables						
78.	I334.4.4 Activity Tables	The activities listed in Table H13.4.1 Activity table for H13 Business - Mixed Use Zone at line items: (A20), (A21), (A23), (A24), and (A25) <u>and (A45)</u>	Oppose	The activities listed in Table H13.4.1 Activity table for H13 Business - Mixed Use Zone at line items: (A20), (A21), (A23), (A24), and (A25).		Exemplary urban design outcomes requires provisions to apply conjunctively so that the most stringent activity status and standards are applied.
79.	Table I334.4.1(A21CA)	-	Propose	<u>New buildings prior to a resource consent application for a</u>	NC	Amendments required to mitigate the effects of the rezoning of a larger

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Issue	Description of Issue or Provision	Wording Proposed by MHUD		Position on Proposal	Wording Proposed by Submitter		Preliminary/indicative Reason for Submission
					<u>comprehensive whole of precinct land use and built form master plan being approved</u>		area as BMU and the greater intensity enabled by the Change.
80.	Table I334.4.1 (A21D)	<u>Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga Additional Height that exceed the heights specified on Precinct plan 3 – Te Auaunga Additional Height</u>	RD	Oppose/Amend	<u>Buildings within the Height Areas identified on Precinct plan 3 that exceed the heights specified on Precinct plan 3</u>	RD NC	Required to provide certainty as to the extent of built form enabled by the Precinct.
81.	Table I334.4.1(A21E)	Buildings within Height Area 1 identified on Precinct plan 3 – Te Auaunga Additional Height between 35m and 72m	RD	Oppose	-	-	Required to provide certainty as to the extent of built form enabled by the Precinct.
82.	Table I334.4.1(A21F)	-		Propose	<u>Buildings that exceed the 18m height control within 20m of the precinct boundary with Carrington Road (including after widening).</u>	NC	Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.

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Issue	Description of Issue or Provision	Wording Proposed by MHUD		Position on Proposal	Wording Proposed by Submitter		Preliminary/indicative Reason for Submission
83.	I334.4.1(A21G)	-		Propose	<u>Buildings within 10m of the precinct boundary with Carrington Road (including after widening).</u>	NC	Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.
84.	Table I334.4.1 (A31)	Any development not otherwise listed in Table I334.4.1 that is not generally in accordance with the <u>the</u> precinct plan <u>1</u> and Policy <u>I334.3(15A)</u>	RD	Oppose / Amend	Any development not otherwise listed in Table I334.4.1 that is generally in accordance with the Precinct plans and Policy I334.3(15A)	RD	All Precinct Plans contain relevant controls
85.	Table I334.4.1 (A32)	Any development not otherwise listed in Table I334.4.1 that is not generally in accordance with the <u>the</u> precinct plan <u>1</u> and Policy <u>I334.3(15A)</u>	D	Oppose / Amend	Any development not otherwise listed in Table I334.4.1 that is not generally in accordance with the Precinct plans and Policy I334.3(15A)	D NC	All Precinct Plans contain relevant controls. Certainty as the form of development ...
86.	Table I334.4.1 (A33)	Buildings that exceed Standard I334.6.4 Height	D	Oppose/Retain	Buildings that exceed Standard I334.6.4 Height	D	Required to provide certainty as to the extent of built form enabled by the Precinct.

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Issue	Description of Issue or Provision	Wording Proposed by MHUD		Position on Proposal	Wording Proposed by Submitter		Preliminary/indicative Reason for Submission
87.	Table I334.4.1 (A34)	Any vacant lot subdivision proceeding in accordance with the Precinct plan <u>1</u> and Policy I334.3(15A) and which creates lots consistent with the zone boundaries	C	Oppose/Amend	Any vacant lot subdivision proceeding in accordance with the Precinct plans and Policy I334.3(15A) and which creates lots consistent with the zone boundaries	C	All Precinct Plans contain relevant controls
88.	Table I334.4.1 (A35)	Any vacant lot subdivision that is not generally in accordance with <u>Precinct plan 1</u> and Policy I334.3(15A)	D	Oppose/Amend	Any vacant lot subdivision that is not generally in accordance with the Precinct plans and Policy I334.3(15A)	D <u>NC</u>	All Precinct Plans contain relevant controls. NC to give certainty
89.	Table I334.4.1 (A37)	Buildings that exceed the Standard I334.6.4 Height [deleted]	D	Oppose/Retain	Buildings that exceed Standard I334.6.4 Height	D <u>NC</u>	The height control is still required.
90.	Table I334.4.1 (A42)	Any development not otherwise listed in Table I334.4.3 that is generally in accordance with <u>Precinct plan 1</u> and Policy	RD	Oppose/Amend	Any development not otherwise listed in Table I334.4.3 that is generally in accordance with the Precinct plans and Policy I334.3(15A)	RD	All Precinct Plans contain relevant controls.

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission		
		I334.3(15A)					
91.	Table I334.4.1 (A43)	Any development not otherwise listed in Table I334.4.3 that is generally in accordance with <u>P</u> recinct plan <u>1</u> and <u>P</u> olicy	D	Oppose/Amend	Any development not otherwise listed in Table I334.4.3 that is not generally in accordance with the Precinct plans and Policy I334.3(15A)	D	All Precinct Plans contain relevant controls.
92.	Table I334.4.1 (A44)	Any vacant lot subdivision proceeding in accordance with the Precinct plan <u>1</u> and <u>P</u> olicy I334.3(15A) and which creates lots consistent with the zone boundaries	C	Oppose/Amend	Any vacant lot subdivision proceeding in accordance with the Precinct plans and Policy I334.3(15A) and which creates lots consistent with the zone boundaries	C	All Precinct Plans contain relevant controls
93.	Table I334.4.1 (A45)	Any vacant lot subdivision that is not generally in accordance with <u>P</u> recinct plan <u>1</u> and <u>P</u> olicy I334.3(15A)	D	Oppose/Amend	Any vacant lot subdivision that is not generally in accordance with the Precinct plans and Policy I334.3(15A)	D <u>NC</u>	All Precinct Plans contain relevant controls. NC to give certainty
94.	Table I334.4.1 (A45)	-	-	Propose Amend	Buildings that exceed Standard I334.6.4 Height	D <u>NC</u>	NC to give certainty.

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
95.	Table I334.4.4 (A56), (A57) (58)	[Generally] Deletion of (15A)	Oppose / Amend	Consequential amendments to reinsert reference to policy (15A)	Need to retain (15A).
Notification					
96.	I334.5.(1B)	<u>An application for resource consent for a restricted discretionary activity listed in Tables I334.4.1, and I334.4.3 Activity table above that complies with the I334.6.4 height standard will be considered without public or limited notification or the need to obtain written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act</u>	Oppose	-	Opposed to ensure that there is an appropriate opportunity for the local community be heard.
97.	I334.5.(2)	Any other application for resource consent for an activity listed in Tables I334.4.1, I334.4.2, and I334.4.3, and I334.4.4 which is not listed in Standard _s I334.5(1) and I334.5(1A) above will be subject to the normal tests for notification under the relevant sections of the Resource Management Act 1991.	Oppose/Amend	Any other application for resource consent for an activity listed in Tables I334.4.1, I334.4.2, and I334.4.3, and I334.4.4 which is not listed in Standard I334.5(1) -above will be subject to the normal tests for notification under the relevant sections of the Resource Management Act 1991.	Opposed to protect and ensure that policy 15A is given effect to.

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
Standards					
98.	I334.6.	<p>The standards applicable to the overlays, zones and Auckland-wide provisions apply in this precinct.</p> <p>(1) Unless specified in Standard I334.6(2) below, all relevant overlay, Auckland-wide and zone standards apply to all activities listed in Activity Tables I334.4.1 to I334.4.3 above. (2) The following Auckland-wide and zone standards do not apply to the activities listed in activity tables above: (a) H13 Business – Mixed Use zone: (i) Standards H13.6.0 Activities within 30m of a Residential Zone (but only as it relates to sites fronting Carrington Road), H13.6.1 Building Height, H13.6.2 Height in Relation to Boundary, H13.6.3 Building setback at upper floors, H13.6.4 Maximum tower dimension and tower separation, H13.6.5 Yards, H13.6.6 Landscaping and H13.6.8 Wind.</p>	Oppose	The standards applicable to the overlays, zones and Auckland-wide provisions apply in this precinct.	Application of underlying overlay and zone rules are required to ensure a high level of amenity, well functioning urban environment and exemplary urban design (unless the Preinct provisions are more stringent).

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
99.	1334.6.4. Height	<u>The maximum permitted height standard of the underlying zone applies, unless otherwise specified in the 'Additional Height' control, including the Mixed Use zone and Areas 1 – 4, identified on Precinct plan 3: Te Auaunga Height.</u>	Oppose/Amend	<u>The maximum permitted height standard of the underlying zone applies, unless otherwise specified in the 'Additional Height' control, including the Mixed Use zone and Areas 1 – 4, identified on Precinct plan 3: Te Auaunga Height except that buildings within 20m of a boundary with Carrington Road (following the completion of the proposed Carrington Road upgrade) must not exceed 18m</u>	Amendments required to mitigate the effects on the surrounding community of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.
100.	1334.6.5. Landscaping	(1) At least 20 per cent of a site within the precinct must be landscaped, ...	Oppose/Retain	<u>(1) At least 20 per cent of a site within the precinct must be landscaped,</u>	Retain the site landscaping requirement to mitigate the more intense forms of development enabled.
101.	1334.6.6. Precinct boundary set back	-	Amend	<u>(3) Buildings on land fronting Carrington Road must be set back a minimum width of 28.2m when measured from the eastern edge of the Carrington Road road reserve as at 1 November 2015 and a minimum width of 10m from Carrington Road following the road widening. This setback area may be used for walkways, cycleways, public transport facilities, site access, street</u>	Amend to retain an adequate set back of buildings from Carrington Road.

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
				furniture, outdoor dining and cafes. Other areas within the 28.2m setback area not used for these activities must be landscaped. This setback does not apply once the road widening affecting the Wairaka Te Auaunga Precinct Carrington Road frontage has been vested in the Auckland Council	
102.	I334.6.7. Tree protection	-	Amend	(1) In addition to any notable tree, subject to Standard I334.6.7(2) below, the following trees identified in I334.11.2 Precinct plan 2 – Protected Trees and in Table I334.6.7.1 below must not be altered, removed or have works undertaken within the dripline except as set out in I334.6.7(2) below. Trees located within an existing or future road-widening area along Carrington Road frontage are not subject to this control.	The adverse effects of changes to built form on Carrington Road can be mitigated more quickly if trees in the road widening area are retained to the greatest extent possible when Auckland Transport designs the upgrade.
103.	I334.6.8 (1) Access	(1) The primary traffic access to the precinct must be from Carrington Road <u>with secondary access to the south of the precinct at locations shown on Precinct plan 1</u>	Amend	(1) The primary traffic access to the precinct must be from Carrington Road <u>with secondary access to the south of the precinct</u> at locations shown on Precinct plan 1	Amend for consistency with updated Precinct Plan 1

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission	
104.	I334.6.10. Building to building set back	<u>1) In Height Area 1 on Precinct plan 3 – Te Auaunga Additional Height the minimum separation distance between buildings shall be 14m. This control shall be measured 8.5m above ground level.</u>	Oppose/Amend	<u>(1) The minimum separation distance between buildings shall be 30m. This control shall be measured 8.5m above ground level.</u>	To maintain outlooks through and beyond the precinct and create a separated and slender built form for any taller buildings that occur in this area.	124.57
105.	I334.6.11.1: Maximum tower dimensions AND I334.6.11.2 Wind	[Several pages of amendments]	Oppose	-	The proposed tower heights are too tall, too dominant of the natural environment and would have significant adverse effects on the environment.	124.58
Assessment						
106.	I334.7.1(2)(c) Matters of control	<u>(c) The effect of the site design, size, shape, contour, and location, including existing buildings, maneuvering areas, and outdoor living space</u>	Amend	<u>(c) The effect of the site design, size, shape, contour, and location, including the effects on existing buildings, and the ability to provide adequate maneuvering areas, outdoor living space and spaciousness between buildings in the precinct.</u>	To mitigate the effects on the surrounding community of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.	124.59
107.	I334.7.2(2)(a) Assessment Criteria	<u>(a) The extent to which subdivision boundaries align with the sub-precinct boundaries and with the precinct plan shown in</u>	Oppose/amend	<u>(a) The extent to which subdivision boundaries align with the sub-precinct boundaries and with the precinct plan shown in Precinct plan 1 and</u>	Consequential amendment to retain Policy 15A.	124.60

Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
		<u>Precinct plan 1 and with Policy I334.3(15A) (or with any approved road network).</u>		with Policy I334.3(15A) (or with any approved road network).	
108.	I334.7.2.(c) Subdivision	<u>(c) The effect of the site design, size, shape, contour, and location, including existing buildings, maneuvering areas, and outdoor living space</u>	Amend	<u>(c) The effect of the site design, size, shape, contour, and location, including the effects on existing buildings, and the ability to provide adequate maneuvering areas, outdoor living space and spaciousness between buildings in the precinct.</u>	To mitigate the effects on the surrounding community of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.
I334.8. Assessment – restricted discretionary activities					
109.	I334.8.1. (1A)(b)(i)(ba) Matters of discretion	<u>New buildings which comply with Standard I334.6.4 Height:</u> ... <u>(b) Building form and character:</u> <u>(i) whether building design and layout achieves</u> ...	Propose	<u>New buildings which comply with Standard I334.6.4 Height:</u> ... <u>(b) Building form and character:</u> <u>(i) whether building design and layout achieves:</u> ... <u>(ba) adequate separation between buildings and the avoidance of large horizontal extents in building form</u>	To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct.

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
110.	I334.8.1. (1A)(b)(i)(c) Matters of discretion	<u>(c) articulation of any building façades which adjoin public roads and identified open space on Precinct plan 1, to manage the extent of large blank and/or flat walls and/or façades;</u>	Propose	<u>(c) avoidance of blank walls to the greatest extent possible.</u>	To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct.
111.	I334.8.1. (1A)(b)(i)(d) Matters of discretion	<u>(d) corner sites provide the opportunity for additional building mass and height so as to makes a positive contribution to the streetscape</u>	Oppose	=	To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct.
112.	I334.8.1. (1A)(b)(i)(e) Matters of discretion	<u>(e) a high quality, clear and coherent design concept utilises a palette of durable materials to express the building form</u>	Oppose	=	To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct
113.	I334.8.1. (1A)(b)(i)(f) Matters of discretion	<u>(f) high quality visual interest through the use of façade modulation and articulation, and/or the use of materials and finishes and ensures any otherwise unavoidable blank walls are enlivened by methods which may include artwork, māhi toi, articulation, modulation and cladding choice to</u>	Oppose/Amend	<u>(f) high quality visual interest through the use materials and finishes</u>	To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
		<u>provide architectural relief;</u>			
114.	I334.8.1. (1A)(b)(i)(f) Matters of discretion	<u>(g) rooftop mechanical plant or other equipment is screened or integrated in the building design</u>	<u>Amend</u>	<u>(g) rooftop mechanical plant or other equipment is screened or integrated in the building design to ensure that it cannot be seen from other buildings including the tallest buildings enabled in the Precinct;</u>	To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct
115.	I334.8.1. (1A)(b)(i)(h) Matters of discretion	<u>(h) any otherwise unavoidable blank walls are enlivened by methods which may include artwork, māhi toi, articulation, modulation and cladding choice to provide architectural relief</u>	<u>Oppose</u>	-	To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct
116.	I334.8.1. (1A)(b)(i)(j) Matters of discretion	<u>(j) long are visually broken up by façade design and roofline, recesses, awnings, balconies and other projections, materials and colours.</u>	<u>Oppose/Amend</u>	<u>(j) building frontages are limited and the visual appearance of building frontages is mitigated by ample separation distances between building and tall trees along Carrington Road (including retaining sufficient space and depth for trees to establish</u>	To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct
117.	I334.8.1. (1A)(b)(i)(k) Matters of discretion	<u>(k) building form is designed to allow a reasonable level of daylight into land identified as open space within Precinct plan 1 within the precinct, (but excluding public roads) appropriate to their intended use;</u>	<u>Oppose/Amend</u>	<u>(k) building form is required to allow the maximum level of daylight into land identified as open space within Precinct plan 1 within the precinct, (but excluding public roads) appropriate to their intended use and minimise shading.</u>	To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
118.	I334.8.1. (1A)(b)(i)(I) Matters of discretion	-	Propose	<u>(I) Building form is designed to minimize the level of shading onto open space external to the Precinct.</u>	To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct
119.	I334.8.1. (1A)(b)(ii) Matters of discretion	<u>Activities at ground level engage with and activate existing and/or proposed open spaces, streets and lanes;</u>	Amend	<u>Activities, not including residential accommodation, at ground level engage with and activate existing and/or proposed open spaces, streets and lanes;</u>	To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct
120.	I334.8.1. (1A)(b)(iii) Matters of discretion	<u>outdoor living areas and internal living spaces achieve privacy from publicly accessible areas while maintaining a reasonable level of passive surveillance.</u>	Amend	<u>outdoor living areas and internal living spaces at ground level achieve at privacy from publicly accessible areas</u>	To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct
121.	I334.8.1. (1A)(f)(ii) Matters of discretion Travel plans and integrated transport assessments:	<u>(ii) whether any development in excess of 3,000 dwellings within the precinct either demonstrates that the assumptions of any existing integrated transport assessment are valid, or, if the transport network and generation is not consistent with the assumptions within the existing integrated</u>	Amend	<u>(ii) whether any development that would bring the total number of dwellings in excess of 3,000 dwellings within the precinct either demonstrates that the assumptions of any existing integrated transport assessment are valid, or, if the transport network and generation is not consistent with the assumptions within the existing integrated transport</u>	Clarify that it is not a single application that triggers the ITA requirement but when an application brings the total number of dwellings above that level.

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
		<u>transport assessment, provides an updated integrated transport assessment demonstrating the generated travel demand can be appropriately managed; and</u>		assessment, provides an updated integrated transport assessment demonstrating the generated travel demand can be appropriately managed; and	
122.	I334.8.1. (1A)(f)(iii) Matters of discretion Travel plans and integrated transport assessments:	<u>(iii) whether any development in excess of 4,000 dwellings either provides an integrated transport assessment demonstrating the generated travel demand can be appropriately managed, or demonstrates that the assumptions of any existing integrated transport assessment for in excess of 4,000 dwellings are valid.</u>	Amend	<u>(iii) whether any development that would bring the total number of dwellings in excess of 4,000 dwellings either provides an integrated transport assessment demonstrating the generated travel demand can be appropriately managed, or demonstrates that the assumptions of any existing integrated transport assessment for in excess of 4,000 dwellings are valid.</u>	Clarify that it is not a single application that triggers the ITA requirement but when an application brings the total number of dwellings above that level.
123.	I334.8.1. (1A)(h) Matters of discretion Landscape	<u>(i) landscaping is provided to contribute to the achievement of quality amenity that is integrated with the built environment. Landscaping may be provided in the form of courtyards, plazas and other areas that are accessed by residents, visitors or the public including lanes and pedestrian accessways</u>	Amend	<u>(i) A minimum of 20 percent of each site is to be landscaped to contribute to the achievement of quality amenity that is integrated with the built environment. Additional landscaping may be provided in the form of courtyards, plazas and other areas that are accessed by residents, visitors or the public including lanes and pedestrian accessways provided</u>	Amendments required to mitigate the effects on the surrounding community of the rezoning of a larger area as BMU and the greater intensity enabled by the Change and to achieve consistency with further amendments to Policy I334.6.5. Landscaping

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
		<p><u>landscaping includes the provision of both soft and hard landscape elements such as trees, shrubs, ground cover plants, paved areas and outdoor seating areas;</u></p>		<p><u>that 20 percent of the site includes the provision of soft landscape elements such as trees, shrubs, ground cover plants.</u></p>	
124.	<p>I334.8.1. Matters of discretion (1A)(i)(ii)</p>	<p><u>(i) Matters applying to the Carrington Road frontage:</u> (ii) the use of architectural treatments and design features, such as façade and roofline design, materials, separation and layout to contribute to the visual character, and articulation of the Carrington Road frontage</p>	Amend	<p><u>(i) Additional Matters applying to the Carrington Road frontage:</u> (ii) the use of architectural treatments and design features, such as façade and roofline design, materials, <u>visual and physical</u> separation and layout to contribute to the amenity of the Carrington Road frontage; and</p>	To better integrate tall buildings into the environment and reduce adverse effects.
125.	<p>I334.8.1. Matters of discretion (1A)(i)(iii)</p>	<p>(iii) building frontages to Carrington Road are designed to address the perception of a solid walled mass through techniques including building recesses, clear visual <u>and physical</u> breaks between buildings, variation in roofline and overall building silhouette.</p>	Amend	<p>(iii) building frontages to Carrington Road are designed to <u>avoid</u> the perception of a solid walled mass</p>	To better integrate tall buildings into the environment and reduce adverse effects.
126.	<p>I334.8.1. Matters of discretion</p>	-	Propose	<p>(iv) provision or retention of tall trees along Carrington Road and</p>	To better integrate tall buildings into the

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
	(1A)(i)(iv)			between buildings with frontages to Carrington Road.	environment and reduce adverse effects.
127.	1334.8.1. (1B) Matters of discretion	<p><u>(1B) Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga Additional Height that exceed the heights specified on Precinct plan 3 – Te Auaunga Additional Height, and Buildings within the Height Area 1 identified on Precinct plan 3 – Te Auaunga Additional Height between 35m and 72m that exceed 35m:</u></p> <p><u>(a) matters of discretion</u> 1334.8.1(1A)(a) - 1334.8.1(1A)(h);</p> <p><u>(b) building design and location:</u></p> <p><u>(i) In Height Area 1 on Precinct plan 3 – Te Auaunga Additional Height, how the design for any building greater than 35m in height relates to the Tāmaki Makaurau cityscape</u></p>	Oppose	-	The proposed tower heights are too tall, too dominant of the natural environment and would have significant adverse effects on the environment.

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
		<p><u>and contributes to making a visual landmark, either in isolation or as part of a composition of taller buildings such as through the architectural expression of its upper levels and rooftop;</u></p> <p><u>(ii) The degree to which buildings provide sympathetic contemporary and high quality design which enhances the precinct’s built form of the precinct and surrounding areas.</u></p> <p><u>(c) shading :</u></p> <p><u>(i) the extent to which the location and design of buildings ensures a reasonable level of sunlight access (measured at the Equinox) to</u></p>			

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
		<p><u>residential units and open space areas; taking into consideration site and building orientation, and the planned built-character of the precinct.</u></p>			
128.	<p>I334.8.1. (2) Matters of discretion</p>	<p>Parking Buildings/Structures (a) ground contours; (b) building interface with public places; (c) safety; (d) services including infrastructure and stormwater management; (e) traffic (f) travel plans and integrated transport assessments; and (g) design of parking and access.</p> <p><u>(a) matters of discretion I334.8.1(1A)(a), and I334.8.1(1A)(d) - I334.8.1(1A)(i).</u></p>	Oppose/Retain	<p>Parking Buildings/Structures (a) ground contours; (b) building interface with public places; (c) safety; (d) services including infrastructure and stormwater management; (e) traffic (f) travel plans and integrated transport assessments; and (g) design of parking and access.</p>	Retain the present considerations
129.	<p>I334.8.1. (4)</p>	<p>(4) Any development not otherwise listed in Tables</p>		<p>(4) Any development not otherwise listed in Tables</p>	<p>Retain reference to (15A)/Precinct Plan.</p>

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
	Matters of discretion	I334.4.1, and I334.4.3, and I334.4.4 that is generally in accordance with the precinct plan 1 and Policy I334.3(15A) :		I334.4.1, and I334.4.3, and I334.4.4 that is generally in accordance with the precinct plan 1 and Policy I334.3(15A):	
130.	I334.8.1. (4)(c)(ia) Matters of discretion	-	Propose	(c) The effects on the recreation and amenity needs of the users of the precinct and surrounding residents through the provision of: (i) open spaces which are prominent and accessible by pedestrians; <u>(ia) open spaces that are prominent and accessible from Carrington Road</u>	To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct
131.	I334.8.1. (4)(c)(ii)	-	Propose	(ii) the number and size of open spaces in proportion to the future intensity of the precinct and <u>future intensity of the surrounding area</u> ; and	To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
132.	I334.8.1(5)	For development and/or subdivision that does not comply with Standards: I334.6.1 Floodlights; I334.6.2 Retail thresholds; I334.6.3 Stormwater; I334.6.4 Height; I334.6.5 Landscaping ; I334.6.6 Precinct boundary setback; I334.6.7 Tree protection; I334.6.8 Access; I334.6.9 Parking; I334.6.13 Height in relation to Boundary; I334.6.17(3) Sub-precinct A Boundary setback; the Council will restrict its discretion to all of the following matters when assessing a restricted discretionary resource consent application:	Oppose/Retain	For development and/or subdivision that does not comply with Standards: I334.6.1 Floodlights; I334.6.2 Retail thresholds; I334.6.3 Stormwater; I334.6.4 Height; I334.6.5 Landscaping; I334.6.6 Precinct boundary setback; I334.6.7 Tree protection; I334.6.8 Access; I334.6.9 Parking; I334.6.13 Height in relation to Boundary; I334.6.17(3) Sub-precinct A Boundary setback; the Council will restrict its discretion to all of the following matters when assessing a restricted discretionary resource consent application:	Required to ensure that landscaping is used to mitigate the adverse effects of the taller buildings and increased intensity proposed by the Change.
133.	I334.8.1(5)(b)	any special or unusual characteristic of the site which is relevant to the standard;	Oppose/Retain	any special or unusual characteristic of the site which is relevant to the standard;	Required to ensure that there is appropriate consideration given.
134.	I334.8.1(5)(c)	where more than one standard will be infringed the effects of all	Oppose/Retain	where more than one standard will be infringed the effects of all infringements will be considered	The cumulative effects of multiple non-compliance needs to be considered

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
		infringements will be considered together; and		together; and	
135.	I334.8.1(5)(d)(v)	landscaping – the street edge, the delineation of pedestrian routes, the visual and pedestrian amenity effects caused by access ways, parking and service areas; [deleted]	Oppose/Retain	landscaping – the street edge, the delineation of pedestrian routes, the visual and pedestrian amenity effects caused by access ways, parking and service areas;	Required to ensure that landscaping is used to mitigate adverse effects
136.	I334.8.2(1)(a)-(f)	Multiple deletions	Oppose/Retain	Retain in full	To ensure that adverse effects of development enabled by the Precinct Plan are properly assessed and mitigated
137.	I334.8.2(1B)	(1B)Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga Additional Height that exceed the heights specified on Precinct plan 3 – Te Auaunga Additional Height; and Buildings within Height Area 1 identified on Precinct plan 3 – Te Auaunga Additional Height between 35m and 72m: (a) Refer to Policies I334.3(13), (14), (14A) (14AA) and (14B).	Oppose	-	The proposed tower heights are too tall, too dominant of the natural environment and would have significant adverse effects on the environment.
138.	I334.8.2	Multiple deletions	Oppose/Retain	Retain in full	To ensure that adverse effects of development

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
					enabled by the Precinct Plan are properly assessed and mitigated
139.	I334.8.2(a) (MHUD Proposed)	<u>Assessment criteria I334.8.2(1A)(a) and I334.8.2(1A)(d) - I334.8.2(1A)(h).</u>	Oppose	-	Consequential on retaining I334.8.2
140.	I334.8.4	Any development not otherwise listed in Tables I334.4.1, and I334.4.3, and I334.4.4 that is generally in accordance with the Precinct plan 1 and Policy I334.3(15A)	Oppose/Amend	Any development not otherwise listed in Tables I334.4.1, and I334.4.3, and I334.4.4 that is generally in accordance with the <u>the Precinct plans</u> and Policy I334.3(15A)	All Precinct Plans contain relevant controls and there is need to retain the reference to (15A).
141.	I334.8.4(g)(ii)	the extent to which the new buildings or alterations and additions to buildings are consistent with the elements of the Precinct plan 1 and Policy I334.3(15A) ; including the location of the transport network, open spaces and infrastructure.	Oppose/Amend	the extent to which the new buildings or alterations and additions to buildings are consistent with the elements of the <u>Precinct plans</u> and Policy I334.3(15A): including the location of the transport network, open spaces and infrastructure.	All Precinct Plans contain relevant controls and there is need to retain the reference to (15A).
142.	I334.8.4(g)(iv) Bullet point four	Avoiding <u>minimising</u> blank walls at ground level;	Oppose/Retain	Avoiding blank walls at ground level;	Blank walls at ground level can be avoided with moderately good (or less) urban design.
143.	I334.8.4(i)(i) Building scale and	the extent to which buildings that exceed the	Oppose/Retain	the extent to which buildings that exceed the building height,	These factors should be retained and form a part

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Issue	Description of Issue or Provision	Wording Proposed by MHUD	Position on Proposal	Wording Proposed by Submitter	Preliminary/indicative Reason for Submission
	dominance (bulk and location):	building height, <u>height in relation to boundary, and maximum building coverage</u> demonstrate that the height, location and design of the building allows reasonable sunlight and daylight access to:		height in relation to boundary, and maximum building coverage demonstrate that the height, location and design of the building allows reasonable sunlight and daylight access to:	of the assessment.
Special Information					
144.	1334.9(3)(b) Special Information Requirements	planting specifications including individual tree planting locations.	Oppose/Retain	planting specifications including individual tree planting locations.	To contribute towards a well-functioning urban environment.
Maps					
145.	Zoning Map	-	Amend	-	As required to give effect to all amendments to the Provisions sought by the Submitter.

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SCHEDULE 2 – AMENDMENTS PROPOSED TO PRECINCT PROVISIONS

PRIVATE PLAN CHANGE 94:

Amendments requested by the Applicant shown in red text. Deletions are shown in ~~red strike-out~~.

Amendments requested by the Submitter are shown in Green text. Deletions are shown in green struck through. Deletions of Applicant's proposals are shown in ~~STRUCK THROUGH RED TEST GREEN HIGHLIGHTED~~.

NOTE : 1.This private plan change request applies to the existing Wairaka Precinct. This plan change seeks to rename this precinct the Te Auaunga Precinct.

2.The Council is currently processing Private Plan Change 75. This relates to the Mason Clinic in sub precinct A of the current Wairaka Precinct. The provisions relating to Private Plan Change 75 are out of scope of this plan change.

Once Private Plan Change 75 is finally made operative, the Te Auaunga Precinct provisions will be updated to incorporate that decision. The decision on submissions to Plan Change 75 was made by Independent Hearing Commissioners on 19 September 2023. At the time of notification of this Plan Change, the appeal period on Plan Change 75 had not yet expired.

To assist in understanding how the Plan Change 75 decision version integrates with this Plan Change this composite draft of the Plan Change has been prepared. It is intended as an aid to understanding the impact of the two plan changes.

- The black text is the unchanged provisions of the existing Operative Precinct provisions.
- The red text and ~~red strike out~~ are the requested changes (additions and deletions) proposed as part of this plan change application.
- The blue text and ~~blue strike out~~ are the changes (additions and deletions) made by Plan Change 75 to the Operative Precinct Provisions, as determined by the Hearing Commissioners in their decision (noting these provisions are not yet operative.)
- The ~~orange strike out~~ with the wavey underlining are changes proposed by the Hearing Commissioners in their decision on Plan Change 75 which are opposed by the applicant and hence are proposed to be deleted as part of this plan change process.

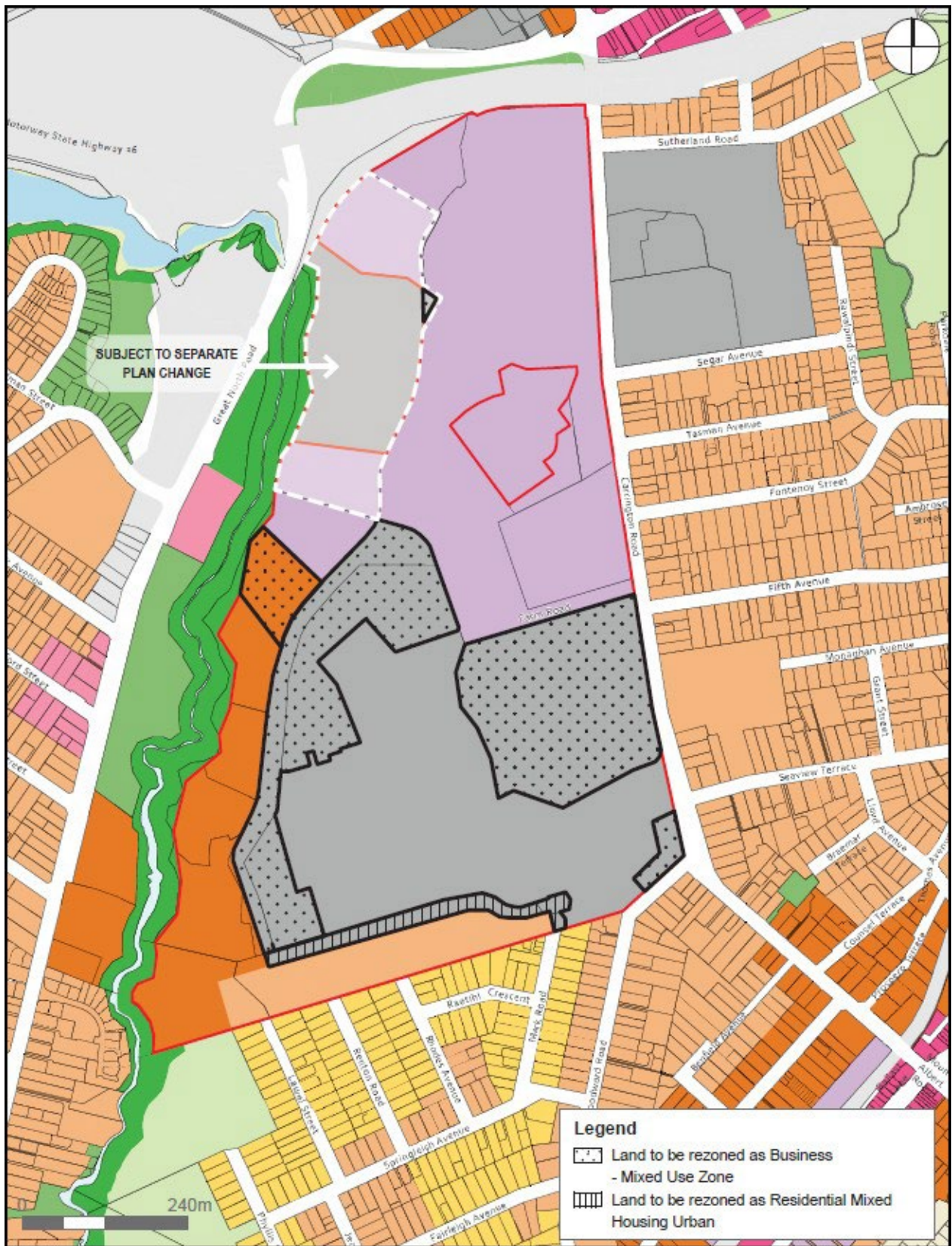
PRIVATE PLAN CHANGE 94:

PART A AMENDMENT TO THE MAPS

ZONING

That the land currently zoned Special purpose - Tertiary Education and Special purpose – Healthcare Facility and Hospital be rezoned Business: Mixed Use and Residential: Mixed Housing Urban as shown on the following zoning plan.

Map 1 – Zoning



PART B AMENDMENT TO I334 **TE AJAUNGA UNITEC** PRECINCT¹

Insert the following new precinct provisions:

I334. Wairaka Te Auaunga Unitec Precinct**I334.1. Precinct Description**

The **Wairaka Te Auaunga Unitec** Precinct (the Precinct) extends from the north western motorway at Point Chevalier in the north, through to Woodward Road in the south, and from the Oakley Creek Oakley Creek/Te Auaunga Waterway² in the west to Carrington Road in the east, where the Unitec Institute of Technology (Unitec), the Crown, Waitemata District Health Board, one private landowner, and Ngaāti Whaātua ŌŌraākei own contiguous blocks of land that make up the site.³

The purpose of the **Wairaka Te Auaunga** Precinct is to provide for a diverse urban community, including the ongoing development and operation of the tertiary education facility, the development and operation of a range of community, recreation, and social activities, the development of a compact residential community, and commercial service activities, open space, and the development of a range of healthcare related and supporting activities to cater for the special and diverse requirements of the users, employees and visitors to the Mason Clinic. Business and Innovation activities are to be enabled, including activities which benefit from co-location with a major tertiary education institution. The **PP**precinct enables new development to create an urban environment that caters for a diverse population, employees and visitors in the area and that integrates positively with the Point Chevalier, Mt Albert and Waterview communities.

The **Wairaka Te Auaunga** Precinct will provide for a variety of housing typologies that help cater for Auckland's growth and the diverse community that will establish in this location. It will also provide a heart to the community, focused around the campus but with a range of community, commercial and social services. It will provide the opportunity for people to live, work, and learn within the **PP**precinct, while enjoying the high amenity of the environment within the Precinct and the surrounding area. Wairaka environment.⁴ The interfaces between different activities are a key part of providing this amenity, and will be managed by provisions including setbacks and landscaping.

~~A range of building heights are applied across the precinct that recognise the favourable size, location and topography of the land within the precinct.⁵ These heights recognise the relative sensitivities of adjoining and adjacent neighbouring properties, with greater height applied to areas where the potential adverse effects can be managed within the precinct. In the north-western corner of the site height is also proposed to act as a landmark for the development, supporting the urban legibility of the precinct.~~⁶

The **Wairaka Te Auaunga** Precinct provides for an urban community within which there is a high quality tertiary education institution.

The location and extent of a major tertiary education institution (Unitec) at **Wairaka Te Auaunga** the Precinct is significant to the region. The precinct is 64.5ha, and comprises ~~twelve land titles and four owners, and currently held by a small number of landowners. Unitec owns 83 per cent of the total land.~~ In addition, medical and light industrial activities also occur on the site.

- 1 Issue 1. It is proposed that all similar amendments are made.
- 2 Issue 2. It is proposed that all similar amendments are made.
- 3 Issue 3. No amendment proposed but this needs to be updated to reflect changes in landholdings.
- 4 Issue 4. It is important to focus on the environment in the Precinct and the surrounding area.
- 5 Issue 5. These amendments would unfairly over-privilege development.
- 6 Issue 6. This addition is opposed as are all proposals seeking greater permissiveness regarding height.

~~The Te Auaunga Precinct provides objectives for the restoration and enhancement of Māori capacity building and Māori cultural promotion and economic development within the precinct.~~

7 Issue 7. If adopted such amendments would mean that the Precinct Plan requires achieving the: (A) restoration and enhancement of Maori capacity building; (B) Maori cultural promotion; and (c) Maori economic development. The meaning of these phrases is unclear but they give rise to at least a potential risk that consent applications by Maori developers may not receive appropriate scrutiny from Council, and resource consent applications may be granted despite valid community concerns. It may mean that non-Maori submitters' concerns may not be fairly taken into account, or may be perceived to not be fairly taken into account, whenever they conflict with Maori developers' economic interests.

If so this may create an unfair and discriminatory situation whereby private developers who happen to be Maori are granted (through a Plan Change) greater civil, political, cultural, and economic rights than those that are available to non-Maori. This means that the proposed Changes discriminate between developers of different races and particularly against non-Maori. This particularly applies to proposed Objective I334.2(12).

If so, this would appear to be an unjustified restriction on the rights of non-Maori to be free from discrimination. Under s 19(1) of the New Zealand Bill of Rights Act 1990 (NZBORA) "*Everyone has the right to freedom from discrimination on the grounds of discrimination in the Human Rights Act 1993*" (HRA). The HRA applies to both the Council and MHUD. The HRA also confirms that race and ethnicity are prohibited grounds of discrimination (HRA ss 21(f)-(g)).

The proposed changes are also potentially inconsistent with Objective One of the NPS-UD which requires that New Zealand has "*well-functioning urban environments that enable all people and communities to provide for their social, economic, and cultural wellbeing ...*". Objective One of the NPS-UD seeks to enable all people to provide for their social, economic, and cultural wellbeing. A proposal that does not enable all people, but only enables some people, is inconsistent with Objective One.

The Wairaka Te Auaunga Precinct provides overall-overall⁸ objectives for the whole area, and three sub-precincts:

- Sub-precinct A provides for healthcare/hospital related purposes activities and is intended to accommodate the intensification of the Mason Clinic.
- Sub-precinct B provides for light manufacturing and servicing associated with laundry services and is intended to accommodate the current range of light industrial activities until the expiry of the lease in 2036 (or earlier by negotiation) and will then be used for [...] as well as other activities or enabling works which do not compromise the laundry service while this facility is in operation.⁹
- Sub-precinct C teat the south and west of the precinct provides for a broad range of residential activities, together with supporting uses,¹⁰ activities appropriately located to a major tertiary education institution.

The Mason Clinic contains a mix of activities including healthcare activity and hospital. It is a facility which provides for a range of care, and short and long term accommodation for people with disabilities (including mental health, addiction, illness or intellectual disabilities), together with provision for custodial, tribunal, and justice facilities ancillary to forensic psychiatric services, and a range of health related accessory activities. The activities the Mason Clinic accommodates requires buildings which have a range of particular functional and operational requirements, including the incorporation of publicly accessible and secure facilities and areas for staff, visitors and the people accommodated, and for these to be integrated across the Mason Clinic in a way which considers the safety, privacy and wellbeing of the users.

There are also particular attributes of the Wairaka Te Auaunga Precinct, which contribute to the amenity of the Precinct and the surrounding area and are to be retained and enhanced, and future areas introduced through the development of the precinct. These include the following:

- The Wairaka Wairaka¹¹ Stream and the landscape amenity, ecological and cultural value this affords; and
- An open space network linking areas within the Wairaka Te Auaunga Precinct and providing amenity to neighbouring housing and business areas;
- Amenity enhancing views at street level which connect the Precinct with Mt Albert / Owairaka, the Waitamata Harbour, and the Waitakere Ranges;
- A network of pedestrian and cycleway linkages that integrate with the area network and are of sufficient width to accommodate separate pedestrian and cycle lanes and vegetation and mature trees;
- Retention of the open space storm-water management area which services Wairaka Te Auaunga the Precinct and adjacent areas, and the amenity of the associated wetland;
- The significant ecological area of nearby Oakley Creek/Oakley Creek Te Auaunga;
- The Historic Heritage overlay of the former Oakley Hospital main building and other character and/or heritage buildings located within the Precinct;
- The mature vegetation and notable and identified trees on-site within the Precinct and the amenity they provide.

⁸ Issue 8. Reference to overall objectives is important to the function of the Precinct as a whole.

⁹ Issue 9. This proposed amendment highlights that there is inadequate information available to allow the public to understand how sub-precinct B will be used. Amendments to clarify of the future use of sub-precinct B are required.

¹⁰ Issue 10. The references to a broad range of residential activities should be retained.

¹¹ Issue 11. Multiple amendments are proposed as detailed in Schedule 1.

The open space network for the precinct is provided for by way of a combination of identified areas, and indicative areas, including walking paths and shared paths (shown on Precinct plan 1) and future areas and walkways/shared paths which are to be identified and developed as a component of the future urban intensification envisaged.

The implementation of ~~the Precinct plan 1~~ the desired outcomes for the Precinct and surrounding areas is dependent on ~~requires~~ a series of works.¹² These works focus on the provision of open space and a ~~road~~ roading network ~~giving including~~ access from the east and south¹³ to the important Oakley Creek / ~~Oakley Creek Te Auaunga~~, public open space ~~and the~~ walking and cycling connections linking east to west to Waterview and areas further west to Point Chevalier/Mount Albert, ~~and~~ north to south to Mount Albert and to Point Chevalier, and ~~. This precinct plan also provides key linkages on to~~ the western regional cycle network.

¹² Issue 12. The proposed amendment inappropriately narrows the focus of the Precinct to being implementing Precinct Plan 1 but the outcomes sought in the Precinct are wider than this.

¹³ Issue 13. An update is required to refer to connections from the south.

The precinct provides for stormwater treatment for all land within the precinct, prior to entering ~~Oakley Creek~~ ~~Te Auaunga~~. Currently the precinct also receives stormwater from an adjacent catchment in the Mt Albert area and it is expected that this will continue following development of the precinct and that the stormwater management for the precinct will be designed to accommodate these stormwater flows.¹⁴

Transport is an essential component to the implementation and redevelopment of the precinct and will require a series of works to avoid, remedy or mitigate adverse transport effects. Some measures such as the indicative primary road network and walking and cycling connections area are identified in the precinct. Other measures to avoid, remedy and mitigate other transport effects will be identified through the preparation of an Integrated Transport Assessment at the time of the first resource consent to significantly develop the site.

~~Such~~ ~~These~~ measures will ~~could~~ include the following:

- Providing a connected road network through the ~~site~~ Precinct along with integrated and well designed public transport connections through the Precinct;¹⁵
- Making provision for an underground rail spur connecting to the Mt Albert Train station and located within the centre of the Precinct.¹⁶
- Making provision for a “bow road” for public and private vehicles and a public transport hub (including a bus node) located centrally within the Precinct at a topographical low point. ~~a bus node and~~ road widening to support the public transport network, and expanding ~~part of the public transport network through the precinct;~~¹⁷
- Providing a connected pedestrian and cycling network into and through the Precinct with sufficient width to allow separate cycling and pedestrian lanes
- ~~... site, in particular~~ Providing convenient east-west and north-south cycle connections ~~from the~~ ~~Oakley Creek~~ ~~Te Auaunga~~ over bridge to the central transport hub ~~proposed bus node~~ Carrington Road bus services and existing and proposed cycle networks beyond the Precinct site;¹⁸
- Limiting the number of Major Precinct Access points from and onto Carrington Road;¹⁹
- Upgrading intersection access ~~onto~~ the Precinct site and avoiding, remedying and mitigating adverse effects on the surrounding transport network;
- Managing vehicular movements through the connections to the south of the Precinct site;
- Providing vehicle connections to the south of the Precinct to reduce traffic effects on Carrington Road.²⁰
- Managing parking to avoid, remedy, and mitigate ~~ing~~ adverse effects on the surrounding transport network; or
- Staging land use and development with any necessary infrastructure investment;
- Restricting dwelling and occupancy numbers in the Precinct until the Woodward Road

¹⁴ Issue 14. Amendments required to mitigate the effects of the rezoning of larger area as BMU and the greater Intensity enabled by the change.

¹⁵ Issue 15. Better integration of roading and public transport connections through the Precinct.

¹⁶ Issue 16. This would enable the provision of a connection to the Western Line.

¹⁷ Issue 17. A bow road and central transport hub would have multiple benefits.

¹⁸ Issue 18. There is room to sperate cyclists from pedestrians.

¹⁹ Issue 19. To manage access to the Precinct from Carrington Road.

²⁰ Issue 20. To manage vehicle access to the Precinct from the south/reduce traffic effects on Carrington Road.

railway level crossing is replaced by a grade separated crossing;²¹

- Restricting dwelling and occupancy numbers in the Precinct until the Carrington Road upgrade is completed.²²

To ~~reduce the potential of avoid~~ new development occurring in an uncoordinated manner, the Precinct Plan encourages the land owner/s to develop the land in accordance with ~~the Precinct plan 1~~ and relevant policies requires landowners to develop in accordance with a comprehensive master plan that is in accordance with the Precinct Plan provisions and Precinct Plans 1-4. This method provides for integrated development of the area and ensures high quality outcomes are achieved.²³

The zoning of land within the precinct varies. Refer to the planning maps for the location and the extent of the precinct.

1334.2. Objectives

- (1) The provision for a high quality ~~of~~ tertiary education institution and accessory activities in the precinct is continued, while also providing for open space growth, change and diversification of activities that provide a high level of amenity within the Precinct and the surrounding area.²⁴
- (2) Comprehensive planning and integrated development of all sites within the precinct is achieved prior to resource consent for new buildings being granted.²⁵
- (3) A mix of residential, business, tertiary education, social facilities and community activities is provided, which maximises the efficient and effective use of land ~~and provides for a variety of built form typologies.~~ and provides for a variety of terraced housing and low to mid-rise apartment built form typologies.²⁶

²¹ Issue 21. To address effects of intensification on the public roading network.

²² Issue 22. To address effects of intensification on the public roading network.

²³ Issue 23. It is important not to narrow the focus of the Precinct to being implementing Precinct Plan 1 because the outcomes sought in the precinct are wider than this. Further are also Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.

²⁴ Issue 24. Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.

²⁵ Issue 25. To address the absence of a Master Plan and to mitigate the effects of the Proposed Plan Change.

²⁶ Issue 26. A proposal to clarify the range of typologies.

- (4) The operation and intensification of the healthcare/hospital facility activity, accessory activities and associated buildings, structures and infrastructure in Sub-precinct A (Mason Clinic) are provided for.
- (5) ~~The commercial laundry service and accessory activities and associated buildings, structures and infrastructure in Sub-precinct B are provided for, as well as other activities or enabling works which do not compromise the laundry service while this facility is in operation.~~²⁷
- (6) Identified heritage values are retained through the adaptation of the scheduled building ~~and identified character buildings~~²⁸ and retention of identified trees, together with the management of the historic heritage, and Māori sites of significance on ~~Oakley Creek land adjacent to Oakley Creek/Te Auaunga Waterwayland~~, and the contribution they make to the precinct's character and landscape, are recognised, protected and enhanced in the precinct.
- (7) Open spaces, cycling and pedestrian linkages from the ~~P~~precinct to the wider area and neighbouring suburbs, including linkages between activities and open spaces ~~nodes~~, are provided for and enhanced.
- (7A) The amount of open space within the precinct is commensurate with the level of intensification planned both within the precinct and the surrounding suburbs.²⁹
- (7B) To manage the urban forest on public and private land within the Precinct so as to give effect to Auckland's Urban Ngahere (Forest) Strategy and achieve a tree canopy of 30% within the Precinct.³⁰
- (8) Development and/or subdivision within the precinct facilitates a transport network that:
- (a) Integrates with, and avoids, remedies or mitigates adverse effects on the safety and efficiency of, the transport network within the precinct and the surrounding area, including providing any upgrades to the surrounding network; and
 - (b) Facilitates transport choices by providing for pedestrians, cyclists, public transport facilities, and vehicles.
- (9) Development of any roads connecting to the existing roading network to the south of the ~~P~~precinct must be subject to specific resource consent processes to ensure that any private or public road connections must:
- (a) Avoid these southern connections becoming a direct vehicle entrance for the Special Purpose - Tertiary Education Zone; and
 - (b) Be designed to minimise the amenity effects on existing residents.

²⁷ Issue 27. Proposed deletion of I334.2(5) due to lack of clarity of use of Sub-Precinct B.

²⁸ Issue 28. The "s" needs to be kept for scheduling of additional identified character buildings.

²⁹ Issue 29. Amendments required to mitigate the effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.

³⁰ Issue 30. To give effect to the Council's Urban Forest Strategy.

(10) An integrated urban environment is created, which:

- (a) Incorporates high exemplary or outstanding quality built form and urban urban design;³¹
- (b) Recognises, protects and enhances the environmental attributes and open space aspects of Wairakathe precinct in its planning and development of the Precinct;³²
- (c) Avoids, mitigates and remedies adverse effects on the environment and existing stormwater, wastewater and road/s infrastructure, recognising that the precinct stormwater system services areas beyond Wairakathe precinct boundary;

³¹ Issue 31. The Precinct requires exemplary or outstanding urban design, given the level of intensification.
³² Issue 32. Needed to address the effects of the Change, particularly the level of intensity enabled.

- (d) Is developed in a comprehensive manner, which complements and fits within the landscape and character of the surrounding environment including the built form and character of the surrounding residential environment; ~~and~~³³
- (e) Contributes positively to the existing Mt Albert, Waterview and Point Chevalier communities; ~~and~~³⁴

~~(f) Contributes to Māori cultural promotion and economic development.~~³⁵

- (11) Provide for retail, food and beverage and commercial services in identified locations to serve local demand within the Wairaka Te Auaunga Precinct and at a scale and configuration which does not adversely affect the role, function and amenity of the Point Chevalier and Mt Albert town centres.

~~(12) The restoration and enhancement of Māori capacity building and Māori cultural and economic development within the precinct is provided for, promoted and achieved.~~³⁶

~~(13) Provide for increased heights in appropriate parts of the precinct so as to provide greater housing choice, increase land efficiency, benefit from the outlook from the precinct, and create 'landmark' buildings in the north western part of the precinct.~~³⁷

The zone, Auckland-wide and overlay objectives apply in this precinct in addition to those specified above.

I334.3. Policies

Wairaka Te Auaunga Precinct - General

- (1) Enable and provide for a wide range of activities, including open space education, business, office, research, health care, recreation, residential accommodation, community facilities and appropriate accessory activities.³⁸
- (2) Respond to future demand and changes in the manner of learning and the desire to integrate business and education within the Special Purpose - Tertiary Education Zone.
- (3) Recognise the benefits of allocating a high quality tertiary education institution within a diverse urban environment.
- (3A) Recognise the social and health related benefits that the Mason Clinic provides for.
- (4) Promote comprehensive planning by enabling integrated development in accordance with ~~the pP~~ precinct plan 1³⁹ and Policy I334.3(15A)⁴⁰ that provides for

33 Issue 33. Needed to address the effects of the Change, particularly the level of intensity enabled.
 34 Issue 34. Amendments required to protect the existing community, in light of the level of intensification.
 35 Issue 35. Opposed because it prioritises developer's economic outcomes over community outcomes.
 36 Issue 36. Opposed because it prioritises developer's economic outcomes over community outcomes.
 37 Issue 37. Opposed because of its effect. The increased heights would (perversely) decrease housing choice.
 38 Issue 38. Needed to address the effects of the Change, particularly the level of intensity enabled.
 39 Issue 39. All Precinct Plans contain relevant development controls.
 40 Issue 40. Policy I334.3(15A) should be retained throughout to assist with provision of open space.

any of the following:

- (a) Tertiary education and associated research, and community activities;
- (b) Provision for the ongoing [use, development, intensification and](#) operation of the Mason Clinic;
- (c) Provision for the operation of the commercial laundry service;

- (d) Residential accommodation associated with Tertiary Education. ~~Residential accommodation activities~~,⁴¹ ~~Intensive Residential accommodation activities~~;
- (e) Economic development and employment, ~~including supporting Māori capacity building and Māori cultural promotion and economic development~~;⁴²
- (f) Public infrastructure that is integrated with existing infrastructure, recognising that ~~Wairaka Te Auaunga Precinct~~ receives stormwater from an upstream sub-catchment;
- (g) Integrated transport and land use planning through the development of the precinct;
- (h) Traffic management, including provision of pedestrian and cycle facilities, integration with public transport, parking provision and management;
- (i) Identification and protection of significant landscape features, the adaptation of the scheduled historic buildings, and ~~identified character buildings~~, identified trees and ~~integrated~~⁴³ open space network;
- (j) Public road and open space access to ~~the Oakley Creek reserve~~ the Oakley Creek Reserve/~~Te Auaunga reserve~~;⁴⁴ or
- (k) Pedestrian and cycle connections to Point Chevalier, Waterview and Mt Albert.
- (5) Promote economic activity and provide for employment growth that will create opportunities for students, graduates and residents of the precinct and Auckland, including Māori.⁴⁵
- (6) Encourage a mix of residential lifestyles and ~~a variety of~~ housing typologies to cater for a diverse ~~and high density~~⁴⁶ residential community at ~~Wairaka Te Auaunga~~.
- (7) Provide for a mix of residential and business activities which will enable development of a ~~an intensive well functioning urban-environment residential core~~ ~~te~~ within the ~~Wairaka Te Auaunga~~ Precinct.⁴⁷
- (8) Enable a broad range of educational, research, laboratory, office and business uses which meet the needs ~~of~~⁴⁸ and respond to future changes in teaching, learning, and research requirements for a modern campus environment.
- (9) Provide for a broad range of business, office, innovation and research activities which will encourage employment and economic development to locate in ~~Wairaka Te Auaunga~~ the Precinct, including those which benefit from the co-

41 Issue 41. This provision is clearly intended to allow Unitec to provide residential accommodation.

42 Issue 42. Opposed because it prioritises developer's economic outcomes over community outcomes.

43 Issue 43. Needed to address the effects of the Change, particularly the level of intensity enabled

44 Issue 44. Amendments are required as this wording is imprecise as to the location.

45 Issue 45. Initially taking a position, but ultimately not..

46 Issue 46. Proposed addition to encourage a variety of housing typologies.

47 Issue 47. Proposed for alignment purposes.

48 Issue 48. It is important to meet the needs of and respond to future changes in teaching learning and research.

location with a tertiary education institution.

- (10) Enable subdivision and development that is compatible with and sensitive to the ecological qualities of ~~the Oakley Creek~~ Te Auaunga and the Motu Manawa Marine Reserve

(10A) Avoid subdivision and development that is incompatible with:

- (a) The provision of a high quality open space network.
- (b) Maintaining the amenity of the surrounding residential environment.
- (c) Well functioning urban environments⁴⁹

Built Form and Character

- (11) ~~Require~~ Encourage the retention and adaptation of the heritage and character buildings, and elements identified within the ~~p~~Precinct.⁵⁰
- (12) Provide for the adaptation of the scheduled part of the heritage building for economically viable activities which ensure ongoing economic sustainability for this building and its integration into the Wairaka Te Auaunga Precinct.
- (13) Require new buildings to be designed in a manner that provides for, promotes, and achieves an exemplary high standard of amenity, ~~recognises~~ enhances landscape values and, where appropriate, enhances the streetscape ~~and gateway locations~~ of the Precinct ~~and surrounding streets~~.⁵¹
- (14) Require proposals for all new buildings, structures and infrastructure or additions to existing buildings, ~~structures and infrastructure adjoining or adjacent to the scheduled historic heritage buildings, and/or the significant ecological area of Oakley Creek Te Auaunga within the Precinct to provide appropriate native landscaping and to be sympathetic and provide~~ to be sympathetic and provide contemporary and ~~and high exemplary~~-quality design, which enhances the precinct's built form and natural landscape.⁵²

~~(14A) Provide for taller buildings in the north western part of the precinct in this landmark location with enhanced outlook across the Waitemata Harbour and Waitakere Ranges, but in a location removed from residential neighbourhoods outside the precinct.~~⁵³

~~(14AA) Require proposals for new high rise buildings adjacent to the former Oakley Hospital scheduled historic heritage building to provide sympathetic contemporary and high quality design which enhances the precinct's built form.~~⁵⁴

~~(14B) Provide for additional height in the central and northern parts of the precinct, recognising the topographical and locational characteristics of this part of the precinct, and the ability to provide greater housing choice, increase land efficiency, benefit from the significant views and outlook from the precinct, and leverage the proximity and amenity of Te Auaunga.~~⁵⁵

Open Space

- (15) Maximise the ~~provide for~~ public open space in the Precinct, including a neighbourhood park in the northern portion of the precinct and provide for:
- (a) a neighbourhood park in the northern portion of the precinct (North Open Space);⁵⁶

50 Issue 50. Protection of character needs to be strengthened to mitigate the effects of the Change.
 51 Issue 51. The Precinct requires an exemplary or outstanding level of design throughout.
 52 Issue 52. Needed to address the effects of the Change, particularly the level of intensity enabled.
 53 Issue 53. Opposed as it prioritises amenity of new development over that of the existing community.
 54 Issue 54. The Precinct requires an exemplary or outstanding level of design throughout.
 55 Issue 55. Opposed the topography of the Precinct provides an opportunity to better avoid height effects.
 56 Issue 56. Proposed amendments seeking more public open space.

(b) Central Open spaces which include suburb parks at a size required to accommodate sports fields; and⁵⁷

(c) Neighbourhood parks in the southern portion of the Precinct that connect with private open space in the Unitec Campus.⁵⁸

(15A) Provide at least 7.1 ha of key open space (private) within the precinct.⁵⁹

(15AA) Provide at least 25 ha of open space (public) within the precinct in addition to the open space (private) required by policy I334.3.(15A).⁶⁰

(16) Provide public connections to **Oakley Creek** Oakley Creek/**Te Auaunga Waterway** from Carrington Road through public roads, **walkways**,⁶¹ and open space, giving quality public access to this ecological area.

Pedestrian and cycle access, street quality and safety

(17) Require development to maintain and provide a varied and integrated network of pedestrian and cycle linkages that are of sufficient width to accommodate separate pedestrian and cycle lanes, amenity planting, stormwater management, and open space and plazas within the precinct.⁶²

(18) Require the key pedestrian and cycle linkages through the precinct to be direct and convenient, well designed, safe, and improve connectivity for all users, and are of sufficient width to accommodate separate pedestrian and cycle lanes, amenity planting, and stormwater management.⁶³

(19) Establish a network of roads which give public access through the precinct and **the** pedestrian and cycling connections to **the Oakley Creek Te Auaunga** and Waterview pedestrian/cycle bridge.

Transport Planning

(20) Require subdivision and development to be integrated with transport planning and infrastructure in a way that focuses connectivity on the central transport hub / bus node and underground rail spur linking to the Western Line at Mt Albert and.⁶⁴

(a) Avoids, remedies or mitigates the adverse effects of the development on the transport network;

(b) Integrates with rail, bus, pedestrian and cycle connections and ;

(c) Implements as a minimum the transport elements within ~~the~~ the Precinct **Pplans 1**;⁶⁵

57 Issue 57. Proposed because significantly more open space (and certainty about the locations and functions of open space) is required to serve the needs of the Precinct and intensification proposed in the surrounding areas.
58 Issue 58. Proposed because significantly more open space (and certainty about the locations and functions of open space) is required to serve the needs of the Precinct and intensification proposed in the surrounding areas.
59 Issue 59. The deletion of this provision resulting from PC75 is opposed throughout.
60 Issue 60. This provision is proposed to ensure that there is sufficient open space within the Precinct.
61 Issue 61. Proposed addition addressing the need for walkways.
62 Issue 62. Proposed amendments to ensure sufficient connectivity and appropriate management of open space.
63 Issue 63. Proposed amendments to ensure sufficient connectivity and appropriate management of open space.
64 Issue 64. Proposed amendments to ensure Public Transport is adequately provided for.
65 Issue 65. Proposed amendment as implementation of transport elements with the Precinct Plans not just with Precinct Plan 1 is required.

- (d) Supports the provision of passenger transport services, linking to key public transport nodes such as the Mount Albert train station and Point Chevalier public transport services;
- (e) Minimises traffic effects on pedestrian and residents' safety and amenity;
- (f) Minimises overflow parking on roads occurring in the vicinity of the precinct; and
- (g) Stages subdivision and development with necessary surrounding transport network infrastructure and upgrades where adverse effects on the transport network cannot be avoided, remedied and mitigated including limiting the construction and occupancy of dwellings until after the Carrington Road upgrade is completed and the Woodward Road railway level crossing is replaced by a grade separated crossing.⁶⁶
- (21) Enable parking areas to service the scheduled heritage building.
- (22) Manage the expected traffic generated by activities in the precinct to avoid, remedy and mitigate adverse effects on the safety and efficiency of the surrounding transport network, particularly at peak times, and make the undergrounding of the Woodward Road rail crossing a trigger point for development⁶⁷. For the purpose of this precinct, the surrounding transport network comprises Carrington Road, the ~~P~~precinct's existing and proposed access points to Carrington Road, the Carrington Road/Woodward Road intersection, the Woodward Road/New North Road intersection, the Carrington Road/New North Road/Mt Albert Road and Carrington Road/Great North Road/Pt Chev intersections, Great North Road, New North Road, Mt Albert Road, Laurel Street, Renton Road, Rhodes Avenue, Mark Road and the other local roads bounded by Carrington Road, New North Road, and ~~Dalkey Creek to Alameda, Segar Ave, Tasman Ave, Rawalpindi St, Fontenoy Street, Fifth Ave, Seaview Terrace, Grant Street, Monaghan Ave, Parkdale Road, Martin Ave, Margaret Ave, Chatman Ave, Norgrove Ave, Verona Ave, Rossgrove Terrace, Linwood Ave, Asquith Ave and St Lukes Road.~~⁶⁸
- (23) Require an updated integrated transport assessment for the precinct for ~~any~~ new development in the Precinct: greater than 2,500m² gross floor area in the Business—Mixed Use Zone or greater than 1,000m² gross floor area in the residential zones, unless that additional development was assessed as part of an earlier assessment of transportation effects that is no more than two years old 4,000 dwellings in the

⁶⁶ Issue 66. Proposed amendment to mitigate the adverse traffic effects of the rezoning of a larger area as BMU and the greater intensity enabled by the Change and to provide certainty that the timing of development and to ensure infrastructure delivery will be properly coordinated.

⁶⁷ Issue 67. For the same reason as 64.

⁶⁸ Issue 68. For the same reason as 64. Additionally, detailing affected roads Proposed additions.

precinct, and for any new development greater than 3,000 dwellings in the precinct, where the overall development within the precinct is not consistent with the previously modelled yield of 8,200 people in the fully developed Precinct.⁶⁹

- (24) ~~Require an integrated transport assessment for the precinct as part of any southern road connection (public or private), the first subdivision in the Business – Mixed Use and residential zones (other than for controlled activities) or for any new development greater than 2,500m² gross floor area in the Business – Mixed Use Zone or greater than 1,000m² gross floor area in the residential zones.~~ *[Deleted]*
- (25) Avoid parking buildings within the Special Purpose - Tertiary Education Zone having direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of those roads) or the western road shown on ~~the p~~Precinct plan 1.
- (26) Avoid direct vehicle access between the Special Purpose - Tertiary Education Zone and Laurel Street, Renton Road, Rhodes Avenue (or any extension of those roads).

Integrated development

- (27) Manage potential adverse amenity effects from buildings at the precinct boundary by:

PC78 (see modifications)

- (a) Establishing a 5m yard and graduated building heights to the southern residential interface.
- (b) Establishing a 10m setback from the boundary of land that fronts **Oakley Creek Te Auaunga**.
- (c) Require graduated building heights and locate higher buildings only in topographically low areas away from the ~~p~~Precinct boundaries that adjoin Mixed Housing Suburban residential areas to the south of the precinct.⁷⁰
- (d) Set back building from Carrington Road and provide for reduced height along the Carrington Road frontage.⁷¹
- (e) Provide ample separation distances between buildings on Carrington Road⁷²
- (f) Require applicants to provide (or retain existing) tall trees between buildings fronting Carrington Road (including retaining sufficient space and depth for trees to establish).⁷³

⁶⁹ Issue 69. To clarify when an updated ITA is required.

⁷⁰ Issue 70. To better integrate tall buildings into the environment and reduce adverse effects.

⁷¹ Issue 71. To better integrate tall buildings into the environment and reduce adverse effects.

⁷² Issue 72. To better integrate tall buildings into the environment and reduce adverse effects.

⁷³ Issue 73. To better integrate tall buildings into the environment and reduce adverse effects.

- (28) ~~Encourage~~ Require built form, activities, public open spaces and infrastructure to be planned and designed on a comprehensive land area basis, rather than on an individual site basis including the requirement to have a comprehensive Master Plan approved prior to the grant of resource consent for residential dwellings.⁷⁴
- (29) Provide for the retail (including food and beverage) and community activities in identified locations of the precinct which:
- (a) meets the needs of the campus;
 - (b) serves local demand within the precinct within the Precinct and are located to minimise the number of vehicle trips outside of the Precinct to access these activities⁷⁵; and
 - (c) creates the opportunity for retail (including food and beverage) activities in the Historic Heritage overlay.
- (30) Limit retail activities (including food and beverage) fronting or accessed directly from Carrington Road, restrict the number and size of supermarkets, preventing the concentration of retail activities at a single location, and placing caps on the size of retail tenancies and the overall gross floor area of retail in order to not

⁷⁴ Issue 74. Needed to address the effects of the Change, particularly the level of intensity enabled.

⁷⁵ Issue 75. Needed because the topography of the Precinct discourages walking outside the Precinct.

adversely affect the role, function and amenity of the Point Chevalier and Mount Albert town centres.

(30A) Encourage the adaptive re-use of the existing buildings with historic value or character value for retail and other activities.⁷⁶

Subdivision

(31) Apply the subdivision controls of the zoning to the subsequent subdivision of the precinct or sub-precinct, subject to that subdivision also meeting the requirements of ~~the p~~Precinct plans ~~and Policy I334-3(15A).~~⁷⁷

Sub-precinct A

(32) Provide for ~~the a~~ range of healthcare, hospital, community facilities, and related accessory activities ~~of for~~ the Mason Clinic.

(33) Enable detailed site-specific planning for the design and development of the Mason Clinic to reflect how the healthcare/hospital facility sub-precinct will be used ~~and developed~~.

(34) Limit the scale of accessory activities so they do not undermine the role of the precinct or result in adverse traffic effects, but still meet the requirements of those who work, live or use services and activities in this sub-precinct.

(34A) Manage potential adverse effects from buildings at the sub precinct boundary by:

(a) establishing a 5m landscaped yard to the north and south boundaries of the Sub-precinct;

(b) requiring new buildings and significant additions to buildings that adjoin the eastern boundary to be designed to contribute to the maintenance and enhancement of amenity values of the streetscape, while enabling the efficient use of the Sub-precinct for the Mason Clinic;

(c) Encouraging new buildings to be designed to provide a high standard of amenity and safety appropriate to an urban environment of the Precinct and be of a quality design that contributes to the planning outcomes of the Precinct.

(34B) Recognise the functional and operational (including security) requirements of activities and development.

Sub-precinct B

(35) Provide for the range of light manufacturing and servicing activities associated with the commercial laundry service.

(36) Enable detailed site-specific planning of the commercial laundry service to reflect how the facility will be used and developed.

⁷⁶ Issue 76. Proposed to preserve character.

⁷⁷ Issue 77. Proposed as there are controls on all plans and consequential amendment to retain policy 15A.

- (37) ~~Limit the scale of accessory activities so they~~ Provide for other activities that do not undermine the role of the precinct, ~~compromise the operation of the laundry service while this facility is in operation,~~ or result in adverse traffic effects, but still meet the requirements of those who work or use services and activities in this sub-precinct.
- (38) ~~Recognise that should the commercial laundry service and associated activities on this sub-precinct relocate from Wairaka, then the activities and controls of the Wairaka Precinct would apply.~~ ~~[Deleted]~~

Sub-precinct C

- (39) Provide a broad range of residential activities adjacent to **the Oakley Creek Te Auaunga** and residential neighbourhoods to the south of the precinct.
- (40) Provide quality dwellings which face west across **Oakley Creek Te Auaunga**, providing passive surveillance of the public lands within **Oakley Creek Te Auaunga** Valley.

The zoning, Auckland-wide and overlay policies apply in this precinct in addition to those specified above.

I334.4. Activity tables

The provisions in the zoning, Auckland-wide provisions and any relevant overlays apply in this precinct unless otherwise specified below.

- The activities listed in Table [H13.4.1 Activity table for H13 Business - Mixed Use Zone](#) at line items: (A20), (A21), (A23), (A24), ~~and~~(A25) ~~and (A45)~~⁷⁸
- The activities listed in Table [H30.4.1 Activity table for Special Purpose – Tertiary Education Zone](#) at line items (A3), (A4) and (A5)
- [The activities listing in Table H25.4.1 Activity table for the Special Purpose – Healthcare Facility and Hospital Zone at line items \(A18\), \(A20\), and \(A21\).](#)

Tables I334.4.1, I334.4.2, ~~and~~ I334.4.3 ~~and~~ I334.4.4 ~~Activity table~~ specify the activity status of land use, development and subdivision activities in the **Wairaka Te Auaunga** Precinct pursuant to sections 9(3) and 11 of the Resource Management Act 1991 or any combination of all these sections where relevant.

Table I334.4.1 **Wairaka Te Auaunga Unitec Precinct (all of precinct except for sub-precinct **A B** and C)**

Activity		Activity status
Use		
Accommodation		
(A1)	Dwellings in the Special Purpose - Tertiary Education Zone up to a maximum gross floor area of 7,500m ²	P

78

Issue 78. Exemplary urban design outcomes requires provisions to apply conjunctively so that the most stringent activity status and standards are applied.

Activity	Activity status
(A2) Student accommodation, boarding houses and visitor accommodation in the underlying Special Purpose – Tertiary Education Zone accessory to tertiary education facilities	P
Commerce	
(A3) Food and beverage, offices, commercial services, conference facilities, visitor accommodation, residential, community facilities, recreation and leisure activities within the Historic Heritage Overlay	P
(A4) Offices in the underlying Special Purpose – Tertiary Education Zone accessory to tertiary education facilities	P
(A5) Retail (including food and beverage) up to 200m ² gross floor area per tenancy	P
(A6) Retail (including food and beverage) comprising up to one tenancy between 201m ² and 300m ² gross floor area adjacent to <u>within 150m of</u> , and accessed from <u>via</u> , Farm Road	RD
(A7) Retail (including food and beverage) comprising up to one tenancy between 201m ² and 300m ² gross floor area adjacent to the Historic Heritage Overlay	RD
(A8) Retail (including food and beverage but excluding one supermarket) up to 1,200-m ² adjacent to <u>within 150m of</u> , and accessed from <u>via</u> , Farm Road	P
(A9) One supermarket of up to 1500m ² <u>of retail floor space adjacent to</u> <u>within 150m of</u> , and accessed from <u>via</u> , Farm Road	P
(A10) Commercial services within 100m of a supermarket	D
(A11) Retail (including food and beverage) adjoining the southern -Carrington Road bus node between gate access 3 and 4 shown on the -Precinct plan <u>1</u> , up to 500m ² gross floor area or 5 tenancies	P
(A12) Retail (including food and beverage) within 100 metres of the Carrington Road frontage, not otherwise provided for	D
(A13) Supermarkets not otherwise provided for	NC
(A14) Retail (including food and beverage) not otherwise provided for	D
Community facilities	
(A15) Informal recreation	P
(A16) Organised sport and recreation	P
Industry	
(A17) Light manufacturing and servicing <u>greater than 150m from Carrington Road</u>	D
(A17A) <u>Light manufacturing and servicing within 150m of Carrington Road</u>	<u>NC</u>
(A18) Repair and maintenance services <u>greater than 150m from Carrington Road</u>	D
(A18A) <u>Repair and maintenance services within 150m of Carrington Road</u>	<u>NC</u>

Activity		Activity status
(A19)	Warehousing and storage <u>greater than 150m from Carrington Road</u>	D
<u>(A19A)</u>	<u>Warehousing and storage within 150m of Carrington Road</u>	<u>NC</u>
(A20)	Waste management facilities in the underlying Special Purpose – Tertiary Education Zone accessory to tertiary education facilities	D
Mana Whenua		
(A21)	Marae	P
<u>(A21A)</u>	<u>Papakāinga</u>	<u>P</u>
<u>(A21B)</u>	<u>Whare Manaaki</u>	<u>P</u>
Development		
<u>(A21C)</u>	<u>New buildings</u>	<u>RD</u>
<u>(A21CA)</u>	<u>New buildings prior to a resource consent application for a comprehensive whole of precinct land use and built form master plan being approved.</u>	<u>NC</u> ⁷⁹
<u>(A21D)</u>	<u>Buildings within the Height Areas identified on Precinct plan 3 —Te Auaunga Additional Height that exceed the heights specified on Precinct plan 3 —Te Auaunga Additional Height</u>	<u>RD</u> <u>NC</u> ⁸⁰
(A21E)	Buildings within Height Area 1 identified on Precinct plan 3 —Te Auaunga Additional Height between 35m and 72m	RD
<u>(A21F)</u>	<u>Buildings that exceed the 18m height control within 20m of the precinct boundary with Carrington Road (including after widening).</u>	<u>NC</u> <u>82</u>
<u>(A21G)</u>	<u>Buildings within 10m of the precinct boundary with Carrington Road (including after widening).</u>	<u>NC</u> <u>83</u>
(A22)	Parking buildings	RD
(A23)	Non-security floodlighting, fittings and supports and towers	P
(A24)	Public amenities	P
(A25)	Sports and recreation structures	P
(A26)	Parking buildings associated with any Special Purpose – Tertiary Education Zone uses with direct vehicle connection to Western Road or to Laurel Street, Renton Road or Rhodes Avenue (or any extension of those roads)	NC
(A27)	Extension of Laurel Street, Renton Road, or Rhodes Avenue, <u>or Mark Road</u> into the <u>P</u> precinct provided that a cul de sac is maintained	P
(A28)	Connection of any southern roads (or extensions to the southern roads that remain cul de sacs) to the <u>P</u> precinct with a private road (non-gated)	C

79 Issue 79. (A21CA) proposed to address the effects of the Change, particularly the level of intensity enabled.

80 Issue 80. Propose make (NC) to provide certainty as to the extent of the built form enabled by the Precinct.

81 Issue 81. Oppose to provide certainty as to the extent of the built form enabled by the Precinct.

82 Issue 82. (A21F) proposed to provide certainty as to the extent of the built form enabled by the Precinct.

83 Issue 83. (A21G) proposed to provide certainty as to the extent of the built form enabled by the Precinct.

(A29)	Connection of any roads to the Precinct with a public road Extension of Laurel Street, Renton Road, Rhodes Avenue or Mark Road into the precinct as a public road, and providing vehicular connections to the western road within the precinct	RD
(A30)	Direct vehicle connection between Laurel Street, Renton Road or Rhodes Avenue or Mark Road, and the Special Purpose – Tertiary Education Zone	NC
(A31)	Any development not otherwise listed in Table I334.4.1 that is generally in accordance with the the p Precinct plans and Policy I334.3(15A) and Policy I334.3(15A)	RD ⁸⁴
(A32)	Any development not otherwise listed in Table I334.4.1 that is not generally in accordance with the p Precinct plan and Policy I334.3(15A) and Policy I334.3(15A)	D ⁸⁵
(A33)	Buildings that exceed Standard I334.6.4 Height Buildings that exceed Standard I334.6.4 Height	D ⁸⁶

⁸⁴ Issue 84. All Precinct Plans contain relevant controls.

⁸⁵ Issue 85. All Precinct Plans contain relevant controls / NC to provide certainty as to the form of development.

⁸⁶ Issue 86. Propose retain to provide certainty as to the extent of the built form enabled by the Precinct.

Activity		Activity status
Subdivision		
(A34)	Any vacant lot subdivision proceeding in accordance with the the p Precinct plans 4 and Policy I334.3(15A) and Policy I334.3(15A) and which creates lots consistent with the zone boundaries	C ⁸⁷
(A34A)	<u>Subdivision of land for the purpose of construction and use of residential units</u>	RD
(A34B)	<u>Subdivision of land for the purpose of construction and for uses other than residential units</u>	RD
(A35)	Any vacant lot subdivision that is not generally in accordance with the the p Precinct plans 4 and Policy I334.3(15A) and Policy I334.3(15A)	D NC ⁸⁸

Table I334.4.2 **Wairaka Te Auaunga Unitec** Precinct sub-precinct B

Activity		Activity status
(A36)	Light manufacturing and servicing associated with the commercial laundry services	P
(A37)	Buildings that exceed the Standard I334.6.4 Height [deleted] Buildings that exceed Standard I334.6.4 Height	D ⁸⁹ D

Table I334.4.3 **Wairaka Te Auaunga Unitec** Precinct sub-precinct C

Activity		Activity status
(A38)	Informal recreation	P
(A39)	Public amenity structures	P
(A40)	Student accommodation, boarding houses and visitor accommodation accessory to tertiary education facilities	P
(A41)	Tertiary education and ancillary activities existing in the Mixed Housing Urban and Residential Terrace Housing and Apartment Buildings zones at 1 November 2015	P
(A42)	Any development not otherwise listed in Table I334.4.3 that is generally in accordance with the the p Precinct plans 4 and Policy I334.3(15A) and Policy I334.3(15A)	RD ⁹⁰
(A43)	Any development not otherwise listed in Table I334.4.3 that is not generally in accordance with the the p Precinct plans 4 and Policy I334.3(15A) and Policy I334.3(15A)	D ⁹¹

87 Issue 87. All Precinct Plans contain relevant controls.

88 Issue 88. All Precinct Plans contain relevant controls / NC to provide certainty as to the form of development.

89 Issue 89. The Height Control is still required.

90 Issue 90. All Precinct Plans contain relevant controls.

91 Issue 91. All Precinct Plans contain relevant controls.

(A44)	Any vacant lot subdivision proceeding in accordance with the the p Precinct plans and Policy I334.3(15A) and Policy I334.3(15A) and which creates lots consistent with the zone boundaries	C ⁹²
(A45)	Any vacant lot subdivision that is not generally in accordance with the the p Precinct plans and Policy I334.3(15A) and Policy I334.3(15A)	D NC ⁹³
(A46)	Parking buildings within the Residential —Mixed Housing Urban Zone	NC
(A47)	Parking buildings within the Residential —Terrace Housing	NC

⁹² Issue 92. All Precinct Plans contain relevant controls.

⁹³ Issue 93. All Precinct Plans contain relevant controls / NC to provide certainty as to the form of development.

	and Apartment Buildings Zone for any uses other than serving the residents of that zone	
(A48)	Buildings that exceed the Standard I334.6.4 Height	<u>D</u> NC ⁹⁴

Table I334.4.4 Wairaka Unitec Precinct sub-precinct A

<u>Activity</u>		<u>Activity status</u>
Development		
<u>(A49)</u>	<u>All new buildings, and additions to existing buildings unless otherwise specified below</u>	<u>C</u>
<u>(A50)</u>	<u>Demolition</u>	<u>P</u>
<u>(A51)</u>	<u>Internal alterations to buildings</u>	<u>P</u>
<u>(A52)</u>	<u>Additions to buildings that are less than:</u> <u>(a) 25 per cent of the existing gross floor area of the building; or</u> <u>(b) 250m² GFA</u> <u>whichever is the lesser</u>	<u>P</u>
<u>(A53)</u>	<u>New buildings or additions to existing buildings that increase the building footprint by more than 20 per cent or 200m² GFA (whichever is the lesser), that are located within 10m of the eastern boundary</u>	<u>RD</u>
<u>(A54)</u>	<u>New buildings or additions to buildings not complying with I334.6.14 (2)</u>	<u>NC</u>
<u>(A55)</u>	<u>Any development not otherwise listed in Table 1334.4.4 that is generally in accordance with the precinct plan and Policy I334.3(15A) and Policy I334.3(15A)</u>	<u>RD</u>
<u>(A56)</u>	<u>Any development not otherwise listed in Table 1334.4.4 that is not generally in accordance with the precinct plan and Policy I334.3(15A) and Policy I334.3(15A)</u>	<u>D</u>
<u>(A57)</u>	<u>Justice Facilities</u>	<u>D</u>
<u>(A58)</u>	<u>Justice Facilities ancillary to forensic psychiatric services provided at the Mason Clinic and Policy I334.3(15A)⁹⁵</u>	<u>P</u>

I334.5. Notification

(1) An application for resource consent for a controlled activity listed in Tables I334.4.1, ~~and I334.4.3~~, ~~and I334.4.4 Activity table~~ above will be considered without public or limited notification or the need to obtain written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.

(1A) Any application for resource consent for new buildings or additions to existing buildings in Sub-precinct A that increase the building footprint by more than 20 per cent or 200m² GFA (whichever is the lesser) that are located within 10m of the eastern boundary of the Sub-precinct will be considered without public or limited notification or the need to obtain the written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.

⁹⁴ Issue 94. NC to provide certainty as to the form of development.

⁹⁵ Issue 95. Retaining Policy (15A).

~~(1B) An application for resource consent for a restricted discretionary activity listed in Tables I334.4.1, and I334.4.3 Activity table above that complies with the I334.6.4 height standard will be considered without public or limited notification or the need to obtain written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.⁹⁶~~

(2) Any other application for resource consent for an activity listed in Tables I334.4.1, I334.4.2, and I334.4.3, and I334.4.4 Activity table which is not listed in Standard I334.5(1) and I334.5(1A)⁹⁷ above will be subject to the normal tests for notification under the relevant sections of the Resource Management Act 1991.

(3) When deciding who is an affected person in relation to any activity for the purposes of section 95E of the Resource Management Act 1991 the Council will give specific consideration to those persons listed in [Rule C1.13\(4\)](#).

I334.6. Standards

The standards applicable to the overlays, zones and Auckland-wide provisions apply in this precinct.

~~The standards applicable to the overlays, zones and Auckland-wide provisions apply in this precinct.~~

~~(1) Unless specified in Standard I334.6(2) below, all relevant overlay, Auckland-wide and zone standards apply to all activities listed in Activity Tables I334.4.1 to I334.4.3 above.~~

~~(2) The following Auckland-wide and zone standards do not apply to the activities listed in activity tables above:~~

~~(a) H13 Business — Mixed Use zone:~~

~~(i) Standards H13.6.0 Activities within 30m of a Residential Zone (but only as it relates to sites fronting Carrington Road), H13.6.1 Building Height, H13.6.2 Height in Relation to Boundary, H13.6.3 Building setback at upper floors, H13.6.4 Maximum tower dimension and tower separation, H13.6.5 Yards, H13.6.6 Landscaping and H13.6.8 Wind.⁹⁸~~

(3) All activities listed as permitted, controlled or restricted discretionary in Table I334.4.1, I334.4.2 and I334.4.3 Activity tables must comply with the following standards.

I334.6.1. Floodlights

(1) Where floodlights are located adjacent to a residential zone, the hours of operation must not extend beyond:

⁹⁶ Issue 96. Opposed to ensure that there is an appropriate opportunity for the local community be heard.

⁹⁷ Issue 97. Opposed to protect and ensure that policy 15A is given effect to.

⁹⁸ Issue 98. Propose retain first paragraph but delete all subsequent proposed wording at I334.6. to ensure that the Precinct Plans provide and ensure a high level of amenity, a well-functioning urban environment, and exemplary urban design.

- (a) 10pm Monday to Saturday; and
 - (b) 7.30pm Sunday and Public Holidays.
- (2) Floodlights must comply with the lighting standards in [E24.6](#) Auckland-wide Standards – Lighting.

I334.6.2. Retail thresholds

- (1) The following thresholds apply in this precinct:
 - (a) ~~The~~ the total gross floor area of retail (including food and beverage and supermarket) must not exceed 6,500m² for the whole precinct;
 - (b) the total gross floor area of retail (including food and beverage) within the Business - Mixed Use Zone must not exceed ~~4500m²~~ 4,700m²; and
 - (c) ~~The~~ the total gross floor area of retail (including food and beverage) within the Special Purpose - Tertiary Education Zone must not exceed ~~3000m²~~ 1,800m².
- (2) The total gross floor area of retail (including food and beverage) in the Historic Heritage Place must not exceed 1,000-m² subject to Standard I334.6.2(1)(a) above, provided that any unutilised gross floor area may be used elsewhere within the Business – Mixed Use Zone within the precinct.
- (3) All retail activities adjacent ~~to, or~~ within 100m of ~~to~~ the supermarket must not exceed ~~1200m²~~ 1,700m² gross floor area, provided that:
 - (a) any unutilised gross floor area may be used elsewhere within the Business – Mixed Use Zone within the precinct; and
 - (b) the 1,700m² gross floor area may be increased by any transferred gross floor area under Standard I334.6.2(2).
- (4) Any supermarket within 150m of, ~~adjacent to~~ and accessed ~~from~~ via, Farm Road, must not have vehicle access or parking directly off Carrington Road.

I334.6.3. Stormwater

- (1) All subdivision and development of the land in the precinct must be consistent with ~~the~~ an approved stormwater management plan.

I334.6.4. Height

- (1) ~~Standards in the table below apply rather than underlying zone heights unless specified. Buildings must not exceed the heights set out below: The maximum permitted height standard of the underlying zone applies, unless otherwise specified in the 'Additional Height' control, including the Mixed Use zone and Areas 1 – 4, identified on Precinct plan 3: Te Auaunga Height. except that buildings within 20m of a boundary with Carrington Road (following the completion of the proposed Carrington Road upgrade) must not exceed 18m.~~

99

Building location	Maximum height (m)
Less than 20m from a boundary with Carrington Road (as at 1 November 2015) or the Open Space: Conservation Zone (excluding the Residential – Mixed Housing Urban and Residential – Terrace Housing and Apartment Buildings zones)	18m

Greater than or equal to 20m from a boundary with Carrington Road (as at 1 November 2015) or Open Space: Conservation Zone (excluding the Residential – Mixed Housing Urban, Residential – Terrace Housing and	27m
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PC78 (see modifications)

Apartment Buildings and Special Purpose — Healthcare Facility and Hospital zones)	
Residential — Mixed Housing Urban, Residential — Terrace Housing and Apartment Buildings and Special Purpose — Healthcare Facility and Hospital zones	Specified zone height applies
Buildings within the Residential — Mixed Housing Urban Zone and within 10m of the southern precinct boundary	8m

I334.6.5. Landscaping

(1) At least 20 per cent of a site within the precinct must be landscaped¹⁰⁰ provided that the area of landscaping may be proportionately reduced by any required common areas of landscaping within the zone approved by the Council and protected by consent conditions. ~~[Deleted]~~

I334.6.6. Precinct boundary set back

PC78 (see modifications)

- (1) Buildings on land within Sub-precinct C adjoining residential zoned land outside the precinct and to the south must be set back a minimum width of 5m from the external precinct boundary. Planting requirements of Standards [H13.6.5 \(Yards\)](#) and [H13.6.6 \(Landscaping\)](#) Business - Mixed Use Zone in Sub precinct C apply.
- (2) Buildings on land adjoining Open Space – Conservation zoned land outside the precinct must be set back a minimum width of 10m from the external precinct boundary. Planting requirements of Standards [H13.6.5 \(Yards\)](#) and [H13.6.6 \(Landscaping\)](#) Business - Mixed Use Zone apply.
- (3) Buildings on land fronting Carrington Road must be set back a minimum width of 28.2m when measured from the eastern edge of the Carrington Road road reserve as at 1 November 2015 and a minimum width of 10m from Carrington Road following the road widening. This setback area may be used for walkways, cycleways, public transport facilities, site access, street furniture, outdoor dining and cafes. Other areas within the 28.2m setback area not used for these activities must be landscaped. ~~This setback does not apply once the road widening affecting the Precinct Carrington Road frontage has been vested in the Auckland Council.~~¹⁰¹

I334.6.7. Tree protection

- (1) In addition to any notable tree, ~~S~~subject to Standard I334.6.7(2) below, the following trees identified in I334.11.2 Precinct plan 2 – ~~p~~Protected ~~t~~rees and in Table I334.6.7.1 below must not be altered, removed or have works undertaken within the dripline except as set out in I334.6.7(2) below. Trees located within an existing or future road-widening area along Carrington Road frontage are ~~not~~ subject to this control.¹⁰²
- (2) Tree works to the trees identified below must be carried out in accordance with all of the provisions applying to Notable Trees in [D13 Notable Tree Overlay](#), with the exception that up to 20 per cent of live growth may be removed in any.

100

Issue 100: Retain landscaping requirement to mitigate the effects of more intense development.

¹⁰¹ Issue 101: To retain an adequate set back from Carrington Road.

¹⁰² Issue 102: To mitigate the adverse effects of rezoning.

Table I334.6.7.1 - Identified Trees

ID	Common name	Auckland district	Numbers of trees	Location/ Street address	Legal description
1	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
2	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
3	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
5	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
7	Karaka	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
9	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
10	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
11	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
13	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
14	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
15	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
16	Swaine's Gold, Italian cypress	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
17	Michelia	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
18	Sky Flower	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
19	New Zealand Ngaio	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
20	Mediterranean Cypress	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
22	Mediterranean Fan Palm	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
23	Mountain Coconut, Coco	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
24	Chinquapin	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
25	White Mulberry	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
26	Totara	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
27	Australian Frangipani	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949

ID	Common name	Auckland district	Numbers of trees	Location/ Street address	Legal description
28	Kauri	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
29	Three Kings Climber	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
30	Norfolk Pine	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
31	Pepper Tree, Peruvian	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
32	Golden Ash	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
33	Jacaranda	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
34	Golden Ash	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
35	Variegated Five Finger	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
36	Maidenhair Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
37	Brazilian Coral Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
38	Dogwood	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
39	Houpara	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
40	Oleander	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
41	Taupata	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 2 DP 406935
42	Camphor Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
43	Plum Pine	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
44	Camellia	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
45	Kohuhu	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
46	Silver Poplar	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 2 DP 406935
47	Liquidambar	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 2 DP 406935

1334.6.8. Access

- (1) The primary traffic access to the precinct must be from Carrington Road with secondary access to the south of the Precinct at locations shown on ~~the~~ Precinct plan 1.¹⁰³

~~(2) Any retail (including food and beverage) fronting the southern bus node, must not have vehicle access directly off Carrington Road.~~

I334.6.9. Parking

(1) No parking is required for activities located within the scheduled heritage building other than for the provision of loading requirements.

~~(2) There must be no parking provided at the bus node for retail activities.~~

I334.6.10. Building to building set back

Purpose: to ensure adequate separation between taller buildings.

~~(1) In Height Area 1 on Precinct plan 3 – Te Auaunga Additional Height, the minimum separation distance between buildings shall be 30 m. This control shall be measured 8.5m above ground level.¹⁰⁴~~

I334.6.11 – Maximum tower dimension – Height Area 1 and Area 2¹⁰⁵

~~Purpose: to ensure that high-rise buildings in Height Area 1 and Height Area 2 on Precinct plan 3 – Te Auaunga Additional Height~~

- ~~• enable an appropriate scale of building to increase land efficiency in this part of the precinct~~
- ~~• allow adequate sunlight and daylight access to public streets and public open space~~
- ~~• provide adequate sunlight and outlook around and between buildings~~
- ~~• mitigate adverse wind effects~~
- ~~• discourage a high podium base on any one building, in order to positively respond to Area 1’s qualities as a visual gateway and its wider landscape setting, and~~
- ~~• manage any significant visual dominance effects by applying a maximum tower dimension~~

~~(1) This standard only applies in Height Area 1 and Height Area 2 identified on Precinct plan 3 – Te Auaunga Additional Height~~

~~(2) The maximum tower dimensions applying in Height Area 1 and Height Area 2 identified on Precinct plan 3 – Te Auaunga Additional Height must not exceed the dimension specified in Table I334.6.11.1 below~~

Table I334.6.11.1: Maximum tower dimensions

	<u>Maximum Tower Dimension</u>
<u>Buildings up to 35m</u>	<u>No tower dimension applies</u>
<u>Building with height up to 43.5m</u>	<u>50m max. tower dimension</u>

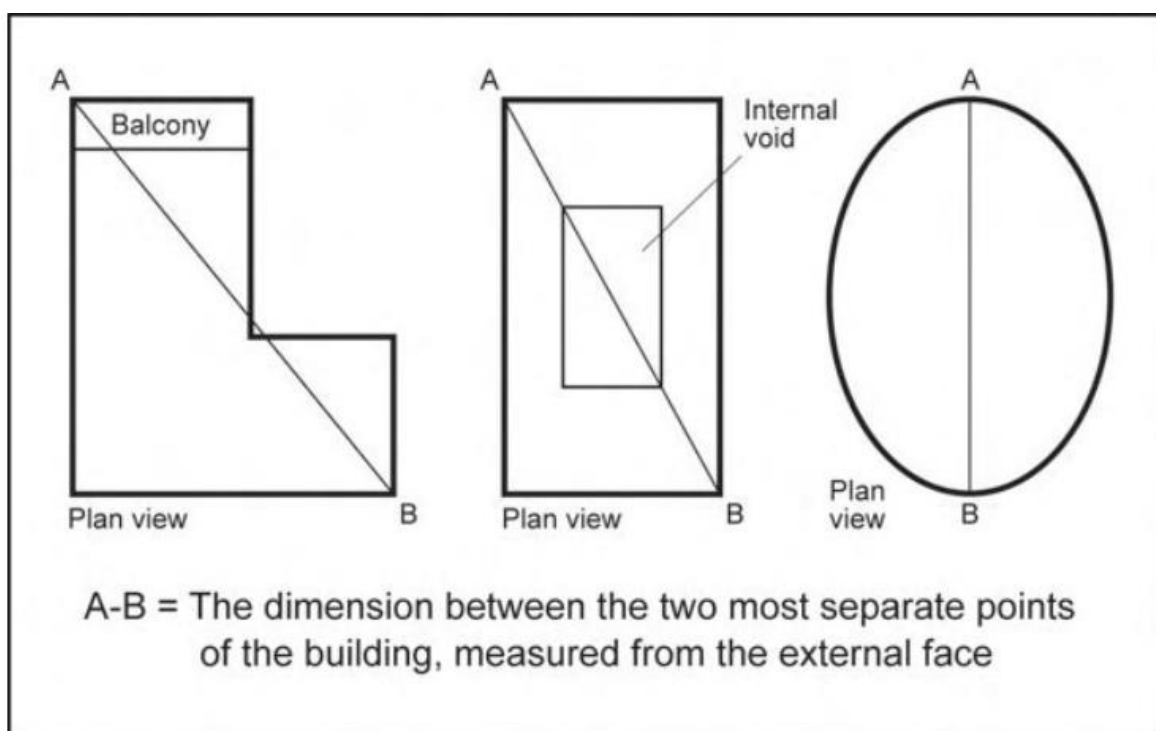
¹⁰⁴ Issue 104. To maintain outlooks through and beyond the precinct and create a separated and slender built form for any taller buildings.

¹⁰⁵ Issue 105. The proposed tower heights are too tall, too dominant of the natural environment and would have significant adverse effects on the environment.

Building with height up to 54m	50m max. tower dimension
Building with height up to 72m	42m max. tower dimension

(3) The maximum tower dimension is the horizontal dimension between the exterior faces of the two most separate points of the building and for the purposes of this standard applies to that part of the building as specified in Figure I334.6.11.2 below. This control shall be measured 8.5m above ground level.

Figure I334.6.11.2 Maximum tower dimension plan view



I334.6.12. Wind

Purpose: to mitigate the adverse wind effects generated by tall buildings.

(1) A new building exceeding 27m in height and additions to existing buildings that increase the building height above 27m must not cause:

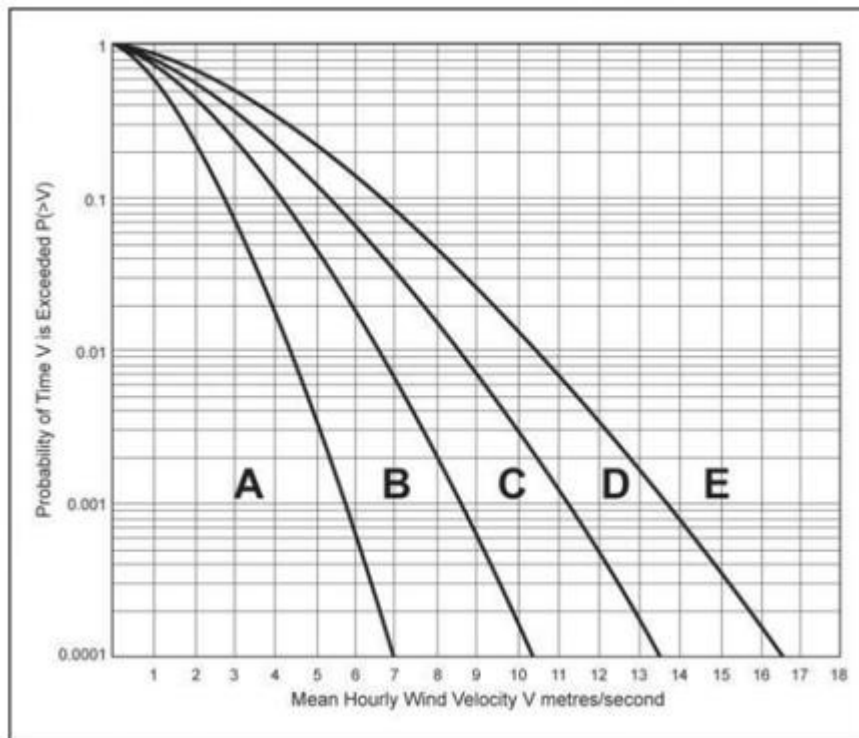
(a) The mean wind speed around it to exceed the category for the intended use of the area as set out in Table I334.6.12.1 and Figure I334.6.12.2 below;

(b) The average annual maximum peak 3-second gust to exceed the dangerous level of 25m/second; and

- (c) An existing wind speed which exceeds the controls of Standard 1334.6.12.(1)(a) or Standard 1334.6.12.(1)(b) above to increase
- (2) A report and certification from a suitably qualified and experienced person showing that the building complies with Standard 1334.6.12.(1) above, will demonstrate compliance with this standard
- (3) If the information in Standard 1334.6.12.(2) above is not provided, or if such information is provided but does not predict compliance with the rule, a further wind report including the results of a wind tunnel test or appropriate alternative test procedure is required to demonstrate compliance with this standard.

Table 1334.6.12.1 Categories

Category	Description
Category A	Areas of pedestrian use or adjacent dwellings containing significant formal elements and features intended to encourage longer term recreational or relaxation use i.e. public open space and adjacent outdoor living space
Category B	Areas of pedestrian use or adjacent dwellings containing minor elements and features intended to encourage short term recreation or relaxation, including adjacent private residential properties
Category C	Areas of formed footpath or open space pedestrian linkages, used primarily for pedestrian transit and devoid of significant or repeated recreational or relaxational features, such as footpaths not covered in categories A or B above
Category D	Areas of road, carriage way, or vehicular routes used primarily for vehicular transit and open storage, such as roads generally where devoid of any features or form which would include the spaces in categories A-C above
Category E	Category E represents conditions which are dangerous to the elderly and infants and of considerable cumulative discomfort to others, including residents in adjacent sites. Category E conditions are unacceptable and are not allocated to any physically defined areas of the city

Figure I334.6.12.2 Wind Environment Control

Derivation of the wind environment control graph:

The curves on the graph delineating the boundaries between the acceptable categories (A-D) and unacceptable (E) categories of wind performance are described by the Weibull expression:

$$P(>V) = e^{-(v/c)^k}$$

where V is a selected value on the horizontal axis, and P is the corresponding value of the vertical axis:

and where:

$P(>V)$ = Probability of a wind speed V being exceeded;

e = The Napierian base 2.7182818285

v = the velocity selected;

k = the constant 1.5; and

c = a variable dependent on the boundary being defined:

$$A/B, c = 1.548$$

$$B/C, c = 2.322$$

$$C/D, c = 3.017$$

$$D/E, c = 3.715$$

I334.6.13. Sub-precinct A Northern Boundary setback

- (1) Buildings on land adjoining the northern boundary of Sub-precinct A must be set back a minimum width of 5m from the Sub-precinct A boundary. These setbacks must be landscaped and planted with mature trees no more than 5m apart, with the balance planted with a mixture of shrubs or ground cover plants (excluding grass) within and along the full extent of the setback. The purpose of this planting is to provide a well vegetated visual screen between buildings and activities within the Sub-precinct and the adjoining land, to mitigate adverse visual and privacy effects.

Standards in Sub Precinct A

All activities listed as permitted, controlled and restricted discretionary in Table I334.4.4 must comply with the following standards.

I334.6.14. Height in relation to Boundary

- (1) Buildings in Sub-precinct A must not project beyond a 45-degree recession plane measured from a point 3m vertically above ground level along the north and south boundaries of the Sub-precinct.

I334.6.15. Height

- (1) I334.6.4 applies.

I334.6.16. Landscaping

- (1) At least 20 per cent of a site within the precinct must be landscaped, provided that the area of landscaping may be proportionately reduced by any required common areas of landscaping within the zone approved by the Council and protected by consent conditions.

I334.6.17. Tree Protection

- (1) I334.6.7 applies

I334.6.18. Sub-precinct A Boundary setback

- (1) I334.6.6(2) applies.
- (2) Buildings on land within Sub-precinct A adjoining the northern and southern boundaries of the Sub-precinct must be set back a minimum width of 5m from the Sub-precinct A boundary. These setbacks must be landscaped and planted with mature trees no more than 5m apart, with the balance planted with a mixture of shrubs or ground cover plants (excluding grass) within and along the full

extent of the setback. The purpose of this planting is to provide a well vegetated visual screen between buildings and activities within the Sub- precinct and the adjoining land, to mitigate adverse visual and privacy effects.

- (3) Buildings on land within Sub-precinct A adjoining Strategic Transport Corridor zoned land outside the precinct must be set back a minimum width of 5m from the external precinct boundary. This setback shall remain landscaped with mature trees, with the Identified Trees in this location supplemented as necessary to maintain a heavily treed frontage.

I334.6.19. Stormwater

- (1) I334.6.3 applies.

I334.6.20. Parking

- (1) No minimum and no maximum parking is required in Sub-precinct A.

I334.7. Assessment – controlled activities

I334.7.1. Matters of control

The Council will reserve its control to the following matters when assessing a controlled activity resource consent application, in addition to the matters specified for the relevant controlled activities in the zone, Auckland-wide, or overlay provisions:

- (1) Connection of **P**precinct to Laurel Street, Renton Road or Rhodes Avenue with a private (non-gated) road:
- (a) traffic effects on adjoining streets and the transport network;
 - (b) amenity and safety of adjoining streets and those within the precinct;
 - (c) design of road connections;
 - (d) benefits of connections (excluding benefits related to diversion of traffic from Carrington road);
 - (e) provision of walkway and cycle access; and
 - (f) turning restrictions within the precinct to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.
- (2) Subdivision:
- (a) **B**oundaries of the precinct and sub-precincts aligning with the proposed site boundaries.
 - (b) Compliance with existing resource consent (if applicable).

(c) The effect of the site design, size, shape, design, contour, and location, including the effects on existing buildings, and the ability to provide adequate maneuvering areas, and outdoor living space, and spaciousness between buildings in the Precinct.¹⁰⁶

(d) The adequate provision of infrastructure provisions.

(e) The effect on historic and cultural heritage items.

(3) All New Buildings, and Additions to Existing Buildings in Sub-precinct A:

(a) high quality design and amenity;

(b) functional and operational (including security) requirements;

(c) the integration of landscaping;

(d) safety;

(e) effects of the location and design of access to the sub-precinct on the safe and efficient operation of the adjacent transport network having regard to:

(i) visibility and safe sight distances;

(ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;

(iii) proximity to and operation of intersections;

(iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Precinct; and

(v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;

(f) The location and capacity of infrastructure servicing:

(i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the Sub-precinct;

(ii) management and mitigation of flood effects, including on buildings and property;

(iii) methods and measures to avoid land instability, erosion, scour and flood risk to buildings and property;

(iv) location, design and method of the discharge; and

(v) management of stormwater flow and contaminants and the implementation of stormwater management devices and other measures.

¹⁰⁶ Issue 106. To mitigate the effects on the surrounding community of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.

I334.7.2. Assessment criteria

The Council will consider the relevant assessment criteria below for controlled activities, in addition to the assessment criteria specified for the relevant controlled activities in the zone, Auckland-wide or overlay provisions:

- (1) Connection of Precinct to Laurel Street, Renton Road or Rhodes Avenue with a private (non-gated) road:
 - (a) the extent to which the design of the road and associated landscaping creates:
 - (i) access consistent with the local road function; and
 - (ii) street trees, planting and other landscaping features that ensure a good standard of amenity;
 - (b) the extent to which the introduction of appropriate traffic calming measures discourages non-local traffic and to manage speed;
 - (c) the extent to which the management of the private road through such measures as signage, surface treatment, landscaping and speed restrictions does restrict the use of these roads to only those vehicles with authorised access;
 - (d) the extent of any positive benefits arising from the proposed connection (excluding benefits relating to diversion of traffic from Carrington Road);
 - (e) the provision of walkway and cycleway access is not restricted. The extent to which landscaping and treatment reflects an appropriate standard of design for public walkways and cycle-ways; and
 - (f) the extent to which turning restrictions within the precinct are needed to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.
- (2) Subdivision
 - (a) The extent to which subdivision boundaries align with the sub-precinct boundaries and with ~~the precinct plan shown in~~ Precinct plan 1 ~~and with Policy I334.3(15A)~~ and with Policy I334.3(15A) (or with any approved road network).¹⁰⁷
 - (b) Compliance with an existing resource consent.
 - (c) The effect of the site design, size, shape, design, contour, and location, including the effects on existing buildings, and the ability to provide adequate maneuvering areas, and outdoor living space, and spaciousness between buildings in the Precinct.¹⁰⁸

¹⁰⁷ Issue 107. Consequential amendment to retain Policy 15A.

¹⁰⁸ Issue 108. To mitigate the effects on the surrounding community of the rezoning of a larger area as BMU and the greater intensity enabled by the Change.

(d) The adequate provision of infrastructure provisions.

(e) The effect on historic heritage and cultural heritage items.

(3) All New Buildings, and Additions to Existing Buildings in Sub-precinct A

(a) The extent to which the building and associated landscaping contributes to a high quality amenity outcome when viewed from neighbouring land and buildings, including the appearance of the roofscape;

(b) Whether the design recognises the functional, operational, and security requirements of the intended use of the building, and addresses the safety of the surrounding residential community and the public realm;

(c) The extent to which effects of the location and design of access to the sub-precinct on the safe and efficient operation of the adjacent transport network have been adequately assessed and managed having regard to:

(i) visibility and safe sight distances;

(ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;

(iii) proximity to and operation of intersections;

(iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Precinct; and

(v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;

(d) The location and capacity of infrastructure servicing:

(i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the application area; and

(ii) The extent to which stormwater management methods that utilise low impact stormwater design principles and improved water quality systems are provided.

I334.8. Assessment – restricted discretionary activities

I334.8.1. Matters of discretion

The Council will restrict its discretion to the following matters when assessing a restricted discretionary activity resource consent application, in addition to the matters specified for the relevant restricted discretionary activities in the zones, Auckland-wide, or overlay provisions:

- (1) Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area adjacent to within 150m of, and accessed from via, Farm Road (A6); and or adjacent to the bus hub or Oakley Hospital building Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area adjacent to the Historic Heritage Overlay (A7):

- ~~(a) – building interface with any public place~~
- ~~(b) – safety;~~
- ~~(c) – services;~~
- ~~(d) – traffic;~~
- ~~(e) – travel plans and integrated transport assessments;~~
- ~~(f) design of parking and access; and~~
- ~~(a) matters of discretion I334.8.1(1A)(d) - I334.8.1(1A)(h); and~~
- ~~(g)(b) degree of integration with other centres.~~

(1A) New buildings which comply with Standard I334.6.4 Height:

(a) Ground contours:

- (i) whether proposed finished contour levels at a subject site abutting land identified as open space on Precinct plan 1 or vested public roads across the subject land area adequately manages pedestrian access from the ground floor level of buildings to the adjoining identified open space land and public roads variations between the ground floor level of future buildings and adjoining existing and proposed public open space (where information is available and buildings are adjoining); and
- (ii) where ground floor dwellings or visitor accommodation is proposed, whether some minor variations between the ground floor level and the level of adjoining open space or street (where adjoining) may be acceptable to provide for the privacy of residents and occupants/users

(b) Building form and character:

- (i) whether building design and layout achieves:
 - ~~(a) separate pedestrian entrances for residential uses within mixed use buildings;~~
 - ~~(b) legible entrances and exits from buildings to open spaces and pedestrian linkages;~~
 - ~~(ba) adequate separation between buildings and the avoidance of large horizontal extents in building form¹⁰⁹~~
 - ~~(c) avoidance and minimisation of blank walls to the greatest extent possible¹¹⁰ articulation of any building façades which adjoin public roads and identified open space on Precinct plan 1, to manage the extent of large blank and/or flat walls and/or façades;~~
 - ~~(d) corner sites provide the opportunity for additional building mass and height so as to makes a positive contribution to the streetscape.¹¹¹~~

¹⁰⁹ Issue 109. To mitigate effects on the environment.

¹¹⁰ Issue 110. To mitigate effects on the environment.

¹¹¹ Issue 111. To avoid adverse effects on the environments at corner locations.

- ~~(e) — a high quality, clear and coherent design concept utilises a palette of durable materials to express the building form;¹¹²~~
- ~~(f) high quality visual interest through the use of façade modulation and articulation, and/or the use of materials and finishes and ensures any otherwise unavoidable blank walls are enlivened by methods which may include artwork, māhi-toi, articulation, modulation and cladding choice to provide architectural relief;¹¹³~~
- (g) rooftop mechanical plant or other equipment is screened or integrated in the building design to ensure that it cannot be seen from other buildings including the tallest buildings enabled in the Precinct;¹¹⁴
- ~~(h) — any otherwise unavoidable blank walls are enlivened by methods which may include artwork, māhi-toi, articulation, modulation and cladding choice to provide architectural relief;¹¹⁵~~
- (i) parking areas located within or abutting buildings which are visually discreet when viewed from public roads and open space identified on Precinct plan 1;
- ~~(j) — long building frontages are limited and the visual appearance of building frontages is mitigated by ample separation distances between building and tall trees along Carrington Road (including retaining sufficient space and depth for trees to establish) are visually broken up by façade design and roofline, recesses, awnings, balconies and other projections, materials and colours;¹¹⁶~~
- (k) building form is required designed to allow the maximum a reasonable level of daylight into land identified as open space within Precinct plan 1 within the precinct, (but excluding public roads) appropriate to their intended use and minimise shading¹¹⁷;
- (l) Building form is designed to minimize the level of shading onto open space external to the Precinct.¹¹⁸
- (ii) Activities, not including residential accommodation, at ground level engage with and activate existing and/or proposed open spaces, streets and lanes;¹¹⁹
- (iii) outdoor living areas and internal living spaces at ground level achieve privacy from publicly accessible areas while maintaining a reasonable level of passive surveillance, and¹²⁰

112 Issue 112. Opposed because the “pallette” can be a recipe for carte blanche.

113 Issue 113. To remove the passport to blank walls.

114 Issue 114. To adequately address issues with visibility of rooftop plant.

115 Issue 115. To remove the passport to blank walls.

116 Issue 116. To avoid dominance effects of long building frontages.

117 Issue 117. To minimise shading effects on open space.

118 Issue 118. To minimise shading effects on open space.

119 Issue 119. To avoid being outside in a public space and looking directly into someone’s living space.

120 Issue 120. To avoid confused aims, and to avoid seeking directly into people’s living space at ground level.

- (iv) whether any proposed publicly accessible spaces within a development, including pedestrian and cycle linkages, are integrated into the existing or planned pedestrian network;
- (c) Safety including passive surveillance:
 - (i) whether new buildings are designed in accordance with Crime Prevention Through Environmental Design principles, including by providing passive surveillance of publicly accessible areas. For the purpose of this assessment, internal open spaces, plazas, foyers, lanes and pedestrian and cycleway linkages within a tertiary education campus(es) will be considered as if they are public open spaces; and
- (d) Services including infrastructure and stormwater management:
 - (i) stormwater, wastewater, water supply, and electricity and telecommunication infrastructure are provided to adequately service the nature and staging of anticipated development within the subject land area;
 - (ii) location of built form, public open space and stormwater management infrastructure provide for the establishment of future stormwater

management features, which incorporate low impact stormwater design principles and improved water quality systems; and

- (iii) the effects of potential contamination of stormwater and ground water arising from discharges from roofing materials.

(e) Traffic:

- (i) whether traffic calming measures on internal roads and those roads connecting to the south of the precinct discourage through traffic from outside the Te Auaunga Precinct, and slow traffic with an origin or destination in the Special Purpose - Tertiary Education Zone or southern neighbourhoods.

(f) Travel plans and integrated transport assessments:

- (i) proposed developments are consistent with any existing integrated transport assessment applying to the proposed development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application and any corresponding travel plans are provided by way of conditions of any consent prior to occupation;
- (ii) whether any development that would bring the total number of dwellings in excess of 3,000 dwellings within the precinct either demonstrates that the assumptions of any existing integrated transport assessment are valid, or, if the transport network and generation is not consistent with the assumptions within the existing integrated transport assessment, provides an updated integrated transport assessment demonstrating the generated travel demand can be appropriately managed; and¹²¹
- (iii) whether any development that would bring the total number of dwellings in excess of 4,000 dwellings either provides an integrated transport assessment demonstrating the generated travel demand can be appropriately managed, or demonstrates that the assumptions of any existing integrated transport assessment for in excess of 4,000 dwellings are valid.¹²²

(g) Design of parking structures and vehicular access:

- (i) within the Special Purpose - Tertiary Education Zone avoids parking either at grade or within a building at or above ground level, having direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of those streets), or the western road shown on Precinct plan 1;
- (ii) minimises the extent to which parking within a building at or above ground level directly faces Te Auaunga and the Carrington Road frontage;
- (iii) parking areas are screened;
- (iv) parking structures minimise direct venting to pedestrian environments at ground level;

¹²¹ Issue 121. Clarification of ITA trigger.

¹²² Issue 122. Clarification of ITA trigger.

- (v) vehicle crossings and access ways prioritise pedestrian movement and in particular are designed to reduce vehicle speed and be separated from pedestrian access, or are designed as a shared space; and
- (vi) design of pedestrian routes between parking areas, building entrances/lobbies and the street ensures that these spaces are accessible by people of all ages and physical abilities and provide a high level of pedestrian safety.

(h) Landscape:

(i) A minimum of 20 per cent of each site is to be landscaped landscaping is provided to contribute to the achievement of quality amenity that is integrated with the built environment. Additional landscaping may be provided in the form of courtyards, plazas and other areas that are accessed by residents, visitors or the public including lanes and pedestrian accessways provided that 20 per cent of the site Landscaping includes the provision of both soft and hard landscape elements such as trees, shrubs, ground cover plants. paved areas and outdoor seating areas.¹²³

(i) Additional Matters applying to the Carrington Road frontage:

- (i) building frontages to Carrington Road are designed to express a scale of development that responds to Policy I334.3(13);
- (ii) the use of architectural treatments and design features, such as façade and roofline design, materials, visual and physical separation and layout to contribute to the amenity of the Carrington Road frontage¹²⁴; and
- (iii) building frontages to Carrington Road are designed to avoid the perception of a solid walled mass.¹²⁵
- (iv) provision or retention of tall trees along Carrington Road and between buildings with frontages to Carrington Road.¹²⁶

(1B) Buildings within the Height Areas identified on Precinct plan 3—Te Auaunga Additional Height that exceed the heights specified on Precinct plan 3—Te Auaunga Additional Height, and Buildings within the Height Area 1 identified on Precinct plan 3—Te Auaunga Additional Height between 35m and 72m:

(a) matters of discretion I334.8.1(1A)(a)–I334.8.1(1A)(h):

(b) building design and location:

(i) In Height Area 1 on Precinct plan 3—Te Auaunga Additional Height, how the design for any building greater than 35m in height relates to the Tāmaki-Makaurau cityscape and contributes to making a visual

¹²³ Issue 123. Amendments required to mitigate the effects on the surrounding community of the rezoning of a larger area as BMU and the greater intensity enabled by the Change and to achieve consistency with further amendments to Policy I334.6.5. Landscaping

¹²⁴ Issue 124. To better integrate tall buildings into the environment and reduce adverse effects.

¹²⁵ Issue 125. To better integrate tall buildings into the environment and reduce adverse effects.

¹²⁶ Issue 126. To better integrate tall buildings into the environment and reduce adverse effects.

~~landmark, either in isolation or as part of a composition of taller buildings such as through the architectural expression of its upper levels and rooftop.~~

~~(ii) The degree to which buildings provide sympathetic contemporary and high quality design which enhances the precinct's built form.¹²⁷~~

~~(c) shading:~~

~~(i) the extent to which the location and design of buildings ensures a reasonable level of sunlight access (measured at the Equinox) to residential units and open space areas, taking into consideration site and building orientation, and the planned built character of the precinct.~~

(2) Parking buildings/structures:

- (a) ground contours;
- (b) building interface with public places;
- (c) safety;
- (d) services including infrastructure and stormwater management;
- (e) traffic;
- (f) travel plans and integrated transport assessments; and
- (g) design of parking and access.

~~(h) matters of discretion I334.8-1(1A)(a), and I334.8-1(1A)(d) – I334.8-1(1A)(i).¹²⁸~~

(3) Connection of any road to the Precinct with a public road Extension of Laurel Street, Renton Road, Rhodes Avenue or Mark Road into the precinct as a public road, and providing vehicular connections to the Western road within the precinct (A29):

- (a) traffic;
- (b) amenity and safety;
- (c) design of road connections; and
- (d) benefits of road connections (excluding benefits related to diversion of traffic from Carrington road);
- (e) provision of walkway and cycle access; and
- (f) turning restrictions within the precinct to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.

(4) Any development not otherwise listed in Tables I334.4.1, and I334.4.3, and I334.4.4 that is generally in accordance with the pPrecinct plan, Land Policy I334.3(15A):¹²⁹

- (a) Effects of the location and design of the access on the safe and efficient

¹²⁷ Issue 127. The proposed tower heights are too tall, too dominant of the natural environment and would have significant adverse effects on the environment.

¹²⁸ Issue 128. Retain the present considerations.

¹²⁹ Issue 129. Retaining Policy (15A)/reference to Precinct plan.

operation of the adjacent transport network having regard to:

- (i) visibility and safe sight distances;
- (ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;
- (iii) proximity to and operation of intersections;
- (iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Plan; and
- (v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;

(b) The location and capacity of infrastructure servicing:

- (i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the application area;
- (ii) ~~The~~ effects on receiving environments from the location and design of the Indicative Stormwater Management Area and stormwater devices including the following:
 - ~~(i)~~: management of the adverse effects on receiving environments, including cumulative effects (which may be informed by any publicly available current stormwater and/or catchment management plans and analyses);
 - ~~(ii)~~: BPO for the management of the adverse effects of the stormwater diversion and discharge on receiving environments;
 - ~~(iii)~~: implementation of stormwater management devices and other measures and programmes that give effect to the BPO;
 - ~~(iv)~~: management and mitigation of flood effects, including on buildings and property;
 - ~~(v)~~: methods and measures to minimise land instability, erosion, scour and flood risk to buildings and property;
 - ~~(vi)~~: location, design and method of the discharge; and
 - ~~(vii)~~: management of stormwater flow and contaminants and the implementation of stormwater management devices and other measures;

(c) The effects on the recreation and amenity needs of the users of the precinct and surrounding residents through the provision of:

- (i) open spaces which are prominent and accessible by pedestrians;
 - (ia) open spaces that are prominent and accessible from Carrington Road;¹³⁰

- (ii) the number and size of open spaces in proportion to the future intensity of the precinct and future intensity of the surrounding area;¹³¹ ~~and~~
 - (iii) effective and safe pedestrian and/or cycle linkages;
 - (ad) ~~T~~he location, physical extent and design of open space;
 - (be) ~~T~~he location of anticipated land use activities within the development;
 - (ef) ~~T~~he location and physical extent of parking areas; ~~and~~
 - (eg) ~~T~~he staging of development and the associated resource consent lapse period;
 - (eh) ~~T~~he location and form of building footprints and envelopes; ~~and~~
 - (fi) ~~B~~uilding scale and dominance (bulk and location).
- (5) For development and/or subdivision that does not comply with Standards: I334.6.1 Floodlights; I334.6.2 Retail thresholds; I334.6.3 Stormwater; I334.6.4 Height; ~~I334.6.5 Landscaping~~;¹³² I334.6.6 Precinct boundary setback; I334.6.7 Tree protection; I334.6.8 Access; I334.6.9 Parking; I334.6.13 Height in relation to Boundary; I334.6.17(3) Sub-precinct A Boundary setback; the Council will restrict its discretion to all of the following matters when assessing a restricted discretionary resource consent application:
- (a) the matters of discretion in Rule C1.9(3) of the general provisions apply; ~~and~~
 - (b) any special or unusual characteristic of the site which is relevant to the standard;¹³³
 - (c) where more than one standard will be infringed, the effects of all infringements considered together; and¹³⁴
 - (d) the effects on the following relevant matters:
 - (i) floodlights – the effects on the amenity values of adjoining residential areas;
 - (ii) retail thresholds – the needs of the campus and serving the local demand within the precinct, the role function and amenity of the Point Chevalier and Mt Albert town centres;
 - (iii) stormwater – ~~S~~see Matter I334.8.1(4)(c) above;
 - (iv) height – the effects on the amenity values of open spaces and adjoining residential areas;
 - (v) landscaping – the street edge, the delineation of pedestrian routes, the

¹³¹ Issue 131. To achieve exemplary urban design, well-functioning urban environments and high levels of amenity within and around the precinct.

¹³² Issue 132. Required to ensure that landscaping is used to mitigate the adverse effects of the taller buildings and increased intensity proposed by the Change.

¹³³ Issue 133. Required to ensure that there is appropriate consideration given.

¹³⁴ Issue 134. The cumulative effects of multiple infringements need to be considered.

~~visual and pedestrian amenity effects caused by access ways, parking and service areas; [deleted]~~¹³⁵

- (vi) precinct boundary set back - ~~H~~interface with the public realm and effects on neighbouring sites, building scale and dominance (bulk and location), and ~~O~~outlook and privacy;
 - (vii) trees – ~~S~~see restricted discretionary activity matters of discretion in Matters [D13.8.1](#) Notable Trees Overlay;
 - (viii) access – the primary access to the precinct being on Carrington Road, the amenity values of existing residents as a result of the southern connections becoming a direct vehicle entrance to the precinct;
 - (ix) parking – the heritage values of the Oakley Hospital ~~main building, the efficiency of operation of the bus hub;~~
 - (x) [Boundary setback in respect of buildings within Sub-precinct A adjoining Strategic Transport Corridor zoned land outside the precinct – landscape amenity;](#)
 - (xi) [Height in relation to boundary – visual dominance, overlooking, shading and privacy.](#)
- (6) [New buildings or additions to existing buildings within Sub-precinct A that increase the building footprint by more than 20 per cent or 200m² GFA \(whichever is the lesser\), that are located within 10m of the eastern boundary:](#)
- [Where buildings do not abut the street frontage](#)
- (a) [the effectiveness of screening and/or landscaping on the amenity of the streetscape;](#)
 - (b) [safety;](#)
 - (c) [functional and operational \(including security\) requirements;](#)
- [Where buildings do abut the street frontage](#)
- (d) [the effectiveness of screening and/or landscaping \(if any\);](#)
 - (e) [the maintenance or enhancement of amenity for pedestrians using the adjoining street;](#)
 - (f) [measures adopted for limiting the adverse visual effects of any blank walls along the street frontage;](#)
 - (g) [measures adopted to provide for the visual interest at the street frontage, while ensuring the security, and functional and operational requirements of the Mason Clinic;](#)
 - (h) [safety](#)
- [Matters applying to all buildings](#)
- (i) [Those matters contained in I334.7.1.\(3\).](#)

1334.8.2. Assessment criteria

The Council will consider the relevant assessment criteria below for restricted discretionary activities, in addition to the assessment criteria specified for the relevant restricted discretionary activities in the zones, Auckland-wide or overlay provisions:

- (1) Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area ~~adjacent to~~within 150m of, and accessed ~~from~~via, Farm Road ~~and or adjacent to the bus hub or Oakley Hospital building(A6); and Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area adjacent to the Historic Heritage Overlay (A7):~~

(a) ■ Building interface with any public places;¹³⁶

- ~~(i)~~ the extent to which buildings have clearly defined public fronts that ~~address the street and public open spaces to positively contribute to those public spaces and pedestrian safety;~~
- ~~(ii)~~ the extent to which pedestrian entrances are located on the street frontage and be clearly identifiable and conveniently accessible from the street;
- ~~(iii)~~ the extent to which buildings provide legible entrances and exits to covered plazas, open spaces and pedestrian linkages;
- ~~(iv)~~ the extent to which separate pedestrian entrances are provided for residential uses within mixed use buildings;
- ~~(v)~~ the extent to which activities that engage and activate streets and public open spaces are provided at ground and first floor levels;
- ~~(vi)~~ the extent to which internal space at all levels within buildings is designed to maximise outlook onto street and public open spaces;
- ~~(vii)~~ the extent to which building heights and form are designed to allow a ~~reasonable level of natural light into existing and planned communal open spaces within the precinct, appropriate to their intended use and whether they may require building form to be modified to the north of such spaces;~~
- ~~(viii)~~ the extent to which buildings are designed to support high quality open spaces and where appropriate provide views to the wider landscape and/or surrounding streets, to enhance the legibility, accessibility and character of the campuses; and
- ~~(ix)~~ the extent to which through-site links and covered plazas integrate with the existing or planned public realm and pedestrian network and whether they are:
 - publicly accessible and attractive; and
 - designed to provide a high level of pedestrian safety.

(b) Safety:

¹³⁶

Issue 136. There are multiple deletions proposed by the Change at 1334.2(1)(a)-(f) but these need to be retained in full to ensure that the adverse effects of development enabled by the Precinct Plan are properly assessed and mitigated.

- (i) whether new and upgraded buildings and public open spaces are designed in accordance with crime safety principles. For the purpose of this assessment, internal open spaces, plazas, foyers, lanes and pedestrian and cycleway linkages within the campuses will be considered as if they are public open spaces;
- (ii) the extent to which open spaces, plazas, foyers, lanes and pedestrian linkages have multiple entrances and exits rather than a single way in and out of such places and spaces; and
- (iii) the adequacy of safety measures to the Mason Clinic site and the design of the interface between the Mason Clinic and the adjacent public spaces and sites to provide for sensitive design in a high quality urban village and environmentally sensitive area, while meeting security requirements.

(c) Services:

- (i) the extent to which stormwater, wastewater, water supply, and electricity and telecommunication infrastructure are provided to ~~adequately service the nature and staging of anticipated development~~ within the subject land area; and
- (ii) the extent to which the location of built form, public open space and ~~stormwater management infrastructure provide for the establishment of future stormwater management features, which incorporate low impact stormwater design principles and improved water quality systems.~~

(d) Traffic:

- (i) whether traffic calming measures on internal roads and those roads ~~connecting to the south of the precinct, discourage through traffic from~~ outside the Wairaka Precinct, and slow traffic with an origin or destination in the Special Purpose – Tertiary Education Zone or southern neighbourhoods; and
- (ii) the extent to which proposed developments meet the requirements of any existing integrated transport assessment applying to the proposed ~~development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application.~~

(e) Traffic plans and integrated transport assessments:

- (i) the extent to which proposed developments meet the requirements of any existing integrated transport assessment applying to the proposed ~~development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application and provides appropriate travel plans that are consistent with the Integrated Transport Assessment.~~

(f) Design of parking and access:

- (i) the extent to which parking buildings avoid fronting Carrington Road or ~~Oakley Creek or have direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of those streets), or the western road shown on the Precinct plan;~~
 - (ii) the extent to which parking is screened from public open spaces and streets;
 - (iii) the extent to which ventilation and fumes from parking structures or
-

other uses do not vent into the adjacent pedestrian environment at ground level;

- ~~(iv) the extent to which vehicle crossings and access ways prioritise pedestrian movement and in particular are designed to reduce vehicle speed and are separated from pedestrian access, or are designed as a shared space; and~~
- ~~(v) the extent to which the design of pedestrian routes between parking areas, building entrances/lobbies and the street are accessible by people of all ages and physical abilities and provide a high level of pedestrian safety.~~

~~(g)(b)~~ Degree of integration with other centres:

- (i) the extent to which the location, scale and staging of anticipated activity types in the precinct mitigates potential conflicts with activities within neighbouring centres; and
- (ii) the extent to which the location, scale and staging of officesretail does not have adverse effects on the role of other centres, beyond those effects ordinarily associated with trade effects or trade competition.

(1A) New buildings under I334.4.1(A21C) that comply with Standard I334.6.4 Height:

(a) Ground contours:

- (i) Refer to Policies I334.3.(13) and (27).

(b) Building form and character:

- (i) Refer to Policies I334.3.(13), (14) and (27).

(c) Safety including passive surveillance:

- (i) Refer to Policies I334.3.(13), (14) and (27).

(d) Services including infrastructure and stormwater management:

- (i) Refer to Policies I334.3.(27).

(e) Traffic:

- (i) Refer to Policies I334.3.(20) and (22).

(f) Travel plans and integrated transport assessments:

- (i) Refer to Policies I334.3. (4)(g), (20), (23), and (27).

(g) Design of parking structures and vehicle access:

- (i) Refer to Policies I334.3.(13), (14), (14A), (14B), (24) and (25).

(h) Landscape:

- (i) Refer to Policy I334.3.(13).

(i) Additional criteria applying to building frontage to Carrington Road:

- (i) Refer to Policies I334.3.(13) and (14).

(1B) Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga
Additional Height that exceed the heights specified on Precinct plan 3 – Te

~~Auaunga Additional Height, and Buildings within Height Area 1 identified on
Precinct plan 3 — Te Auaunga Additional Height between 35m and 72m;~~

~~(a) Refer to Policies I334.3(13), (14), (14A), (14AA) and (14B).¹³⁷~~

(2) Parking buildings and structures:¹³⁸

(a) Ground contours:

- (+) the extent to which the proposed finished contour levels across the subject land area avoid variations between the ground floor level of

¹³⁷ Issue 137. The proposed tower heights are too tall, too dominant of the natural environment and would have significant adverse effects on the environment.

¹³⁸ Issue 138. There are multiple deletions proposed by the Change at I334.8.2 but these provisions need to be retained in full to ensure that the adverse effects of development enabled by the Precinct Plan are properly assessed and mitigated.

~~future buildings and adjoining existing and proposed public open space (where information is available); and~~

- ~~(ii) The extent to which where ground floor dwellings or visit accommodation is proposed, some minor variations between the ground floor level and the level of adjoining open space or street may be acceptable to provide for the privacy of residents and occupants/users.~~

(b) Building interface with public spaces:

- ~~(i) the extent to which buildings have clearly defined public fronts that address the street and public open spaces to positively contribute to those public spaces and pedestrian safety;~~
- ~~(ii) the extent to which pedestrian entrances are located on the street frontage and be clearly identifiable and conveniently accessible from the street;~~
- ~~(iii) the extent to which buildings provide legible entrances and exists to covered plazas, open spaces and pedestrian linkages;~~
- ~~(iv) the extent to which separate pedestrian entrances are provided for residential uses within mixed use buildings;~~
- ~~(v) the extent to which activities that engage and activate streets and public open spaces are provided at ground and first floor levels;~~
- ~~(vi) the extent to which internal space at all levels within buildings is designed to maximise outlook onto street and public open spaces;~~
- ~~(vii) the extent to which building heights and form are designed to allow a reasonable level of natural light into existing and planned communal open spaces within the precinct, appropriate to their intended use. This may require building form to be modified to the north of such spaces;~~
- ~~(viii) the extent to which buildings are designed to support high quality open spaces and where appropriate provide views to the wider landscape and/or surrounding streets, to enhance the legibility, accessibility and character of the campuses;~~
- ~~(ix) whether through-site links and covered plazas integrate with the existing or planned public realm and pedestrian network and are publicly accessible, attractive and designed to provide a high level of pedestrian safety.~~

(c) Safety:

- ~~(i) whether new and upgraded buildings and public open spaces are designed in accordance with crime safety principles. For the purpose of this assessment, internal open spaces, plazas, foyers, lanes and pedestrian and cycleway linkages within the campuses will be considered as if they are public open spaces;~~
- ~~(ii) the extent to which open spaces, plazas, foyers, lanes and pedestrian linkages have multiple entrances and exits rather than a single way in and out of such places and spaces; and~~

~~(iii) the adequacy of safety measures to the Mason Clinic site and the design of the interface between the Mason Clinic and the adjacent public spaces and sites to provide for sensitive design in a high quality urban village and environmentally sensitive area, while meeting security requirements.~~

(d) Services including infrastructure and stormwater management:

- ~~(i) the extent to which stormwater, wastewater, water supply, and electricity and telecommunication infrastructure are provided to adequately service the nature and staging of anticipated development within the subject land area; and~~
- ~~(ii) the extent to which the location of built form, public open space and stormwater management infrastructure provide for the establishment of future stormwater management features, which incorporate low impact stormwater design principles and improved water quality systems.~~

(e) Traffic:

- ~~(i) whether traffic calming measures on internal roads and those roads connecting to the south of the precinct, discourage through traffic from outside the Wairaka Precinct, and slow traffic with an origin or destination in the Special Purpose – Tertiary Education Zone or southern neighbourhoods; and~~

(f) Travel plans and integrated transport assessments:

- ~~(i) the extent to which proposed developments meet the requirements of any existing integrated transport assessment applying to the proposed development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application and provides appropriate travel plans that are consistent with the Integrated Transport Assessment.~~

(g) Design of parking and access

- ~~(i) the extent to which parking buildings avoid fronting Carrington Road or Oakley Creek or have direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of those streets), or the western road shown on the Precinct plan;~~
- ~~(ii) the extent to which parking is screened from public open spaces and streets;~~
- ~~(iii) the extent to which ventilation and fumes from parking structures or other uses do not vent into the adjacent pedestrian environment at ground level;~~
- ~~(iv) the extent to which vehicle crossings and access ways prioritise pedestrian movement and in particular are designed to reduce vehicle speed and are separated from pedestrian access, or are designed as a shared space; and~~
- ~~(v) the extent to which the design of pedestrian routes between parking areas, building entrances/lobbies and the street are accessible by~~

people of all ages and physical abilities and provide a high level of pedestrian safety.

(a) ~~Assessment criteria I334.8.2(1A)(a) and I334.8.2(1A)(d) – I334.8.2(1A)(b).~~¹³⁹

(3) Connection of any road to the Precinct with a public road Extension of Laurel Street, Renton Road, or Rhodes Avenue or Mark Road into the precinct as a public road, and providing vehicular connections to the Western road within the precinct (A30):

(a) Traffic:

(+) the extent to which traffic management measures on roads which connect to the south of the Precinct are designed to avoid the southern connection becoming the primary entrance for tertiary education uses or becoming a faster alternative to Carrington Road for non-local traffic;

(b) Amenity and safety:

(+) whether the design of the road and associated landscaping creates:

- access consistent with the local road function;
- street trees, planting and other landscaping features that ensure a good standard of amenity; and

(+) the extent to which the introduction of appropriate traffic calming measures discourages non-local traffic and manages speed. Methods could include, but are not limited to, one lane sections, narrow carriageways, intersections designed to slow traffic and interrupt flow, avoidance of roundabouts which facilitate speedy movement through the precinct, and designing the carriageway as shared space with a meandering route.

(c) benefits of road connections (excluding benefits related to diversion of traffic from Carrington Road):

(+) the extent of any positive benefits arising from the proposed connection (excluding benefits related to diversion of traffic from Carrington Road) and ensure the provision of walkway and cycleway access is not restricted.

(d) provision of walkway and cycle access:

(+) the extent to which landscaping and treatment reflects an appropriate standard of design for public walkways and cycle-ways.

(e) turning restrictions within the precinct to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone:

(+) the extent to which turning restrictions within the precinct are needed to reduce the likelihood of traffic entering the precinct through the southern

roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.

- (4) Any development not otherwise listed in Tables I334.4.1, ~~and I334.4.3, and I334.4.4~~ that is generally in accordance with ~~the the p~~ Precinct plan ~~1~~ and Policy I334.3(15A):¹⁴⁰
- (a) The extent to which effects of the location and design of the access on the safe and efficient operation of the adjacent transport network have been adequately assessed and managed having regard to:
- (i) visibility and safe sight distances;
 - (ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;
 - (iii) proximity to and operation of intersections;
 - (iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Plan; and
 - (v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;
- (b) The location and capacity of infrastructure servicing:
- (i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the application area; and
 - (ii) the extent to which stormwater management methods that utilise low impact stormwater design principles and improved water quality systems are provided.
- (c) The effects on the recreation and amenity needs of the users of the precinct and surrounding residents through the provision of and pedestrian and/or cycle connections:
- ~~(i) — T~~he extent to which the design demonstrates the staging of wider network improvements to public open space, including covered plaza, open spaces, pedestrian walkways and cycleway linkages including:
 - the layout and design of open space and connections with neighbouring streets and open spaces;
 - integration with cultural landmarks, scheduled buildings, ~~scheduled~~ identified trees and historic heritage in and adjacent to the precinct; and
 - ~~(d)~~(ii) the extent to which the location, physical extent and design of open space meets the demand of future occupants of the site and is of a high quality, providing for public use and accessibility, views, sunlight access and wind protection within the application area.

~~(e)~~(d) The location of land use activities within the development:

- (i) the extent to which the location and staging of anticipated activity types and/or the location, orientation or layout of buildings avoids or mitigates potential conflicts between activities within the subject land area; and
- (ii) opportunities to establish community facilities for future occupants of the site and for the wider community are encouraged within the development.

~~(f)~~(e) The location and physical extent of parking areas and vehicle access:

- (i) ~~F~~the extent to which parking, loading and servicing areas are integrated within the application area taking account of location and staging of anticipated activity types.

~~(g)~~(f) The staging of development and the associated resource consent lapse period:

- (i) ~~W~~hether the proposal adequately details the methods by which the demolition and development of the site will be staged and managed to compliment the proposed open space, road and lane network and to avoid, remedy or mitigate adverse effects associated with vacant disused areas of the site.

~~(h)~~(g) The location and form of building footprints and envelopes:

- (i) the assessment criteria of the zone standards for new buildings and/or alterations and additions to buildings apply; ~~and~~
- (ii) the extent to which the new buildings or alterations and additions to buildings are consistent with the elements of ~~the the p~~Precinct plan ~~and~~ [and Policy I334.3\(15A\)](#):¹⁴¹ including the location of the transport network, open spaces and infrastructure.; ~~and~~
- (iii) the extent to which buildings that do not comply with the bulk and location and amenity controls demonstrate that the ground floor of a building fronting a street or public open space provides interest for pedestrians and opportunities for passive surveillance of the public realm.
- (iv) Whether buildings activate the adjoining street or public open space by:
 - being sufficiently close to the street boundary and of a frontage height that contributes to street definition, enclosure and pedestrian amenity;
 - having a pedestrian entrance visible from the street and located sufficiently close to reinforce pedestrian movement along the street;
 - providing a level of glazing that allows a reasonable degree of visibility between the street/public open space and building interior to contribute to pedestrian amenity and passive surveillance;

- avoiding **minimising**¹⁴³ blank walls at ground level; and
 - providing convenient and direct entry between the street and the building for people of all ages and abilities.
- (v) Whether dwellings located on the ground floor of a building adjoining a street or public open space positively contribute to the public realm while achieving privacy and a good standard of amenity for occupiers of the dwelling, in particular by:
- providing balconies over-looking the street or public open space;
 - providing a planted and/or fenced setback to the street or public open space. Landscaping or fencing should be low enough to allow direct sightlines from a pedestrian in the street or public open space to the front of a balcony; and
 - raising the balcony and floor plate of the ground floor dwellings above the level of the adjoining street or public open space to a height sufficient to provide privacy for residents and enable them to overlook the street or public open space.
- (vi) The extent to which development that does not comply with the amenity controls demonstrates that:
- landscaping, including structural tree planting and shrubs, defines the street edge, delineates pedestrian routes and mitigates adverse visual and pedestrian amenity effects caused by access ways, parking and service areas. Whether landscaping is planted to ensure sight lines to or from site entrances are not obscured; and
 - where the side or rear yard controls are infringed, any adverse visual amenity and nuisance effects on neighbouring sites are mitigated with screening and landscaping.
- (i) Building scale and dominance (bulk and location):
- (i) the extent to which buildings that exceed the building height, **height in relation to boundary, and maximum building coverage**¹⁴³ demonstrate that the height, location and design of the building allows reasonable sunlight and daylight access to:
 - streets and public open spaces;
 - adjoining sites, particularly those with residential uses; and
 - the proposed building;
 - (ii) the extent to which such buildings meet policies in the Special Purpose - Tertiary Education Zone and **Wairaka Te Auaunga** Precinct;
 - (iii) the extent to which the building is not visually dominating when viewed from the street, neighbouring sites, public open spaces and from

¹⁴² Issue 142. Blank walls at ground level can be avoided with moderately good (or less) urban design.

¹⁴³ Issue 143. These factors should retained (not deleted as proposed) and form a part of the assessment.

- distant locations;
- (iv) ~~F~~the extent to which buildings on corner sites demonstrate that additional building mass and height is appropriate in that location and makes a positive contribution to the streetscape;
- (v) whether activities and buildings that do not comply with the outlook control demonstrate that:
 - (vi) occupants are provided with a good standard of outlook and privacy between useable/occupied spaces on the same and adjacent sites;
 - (vii) the building positively contributes to passive surveillance of the street, rear/sides of site and streetscape amenity; and
 - ~~(vii)~~(vi) where the requirements of the outlook control are met, whether such buildings adversely affect the amenity of any complying new/ existing development on an adjoining site.

(5) For development that does not comply with Standard I334.6.14 (3): Boundary setback in respect of buildings within Sub-precinct A or Standard I334.6.10: Height in relation to boundary.

For buildings which infringe Standard I334.6.14(3) Boundary Setback

- (a) the extent to which a landscaped buffer between buildings and activities and adjoining land is maintained to mitigate adverse visual effects;
- (b) landscaping that is maintained is of sufficient quality as to make a positive contribution to the amenity of the outlook to the site from neighbouring land;
- (c) whether the design recognises the functional and operational requirements of the intended use of the building, including providing for security.

For buildings which infringe Standard I334.6.10 Height in relation to boundary

- (d) the extent to which buildings that exceed the height in relation to boundary standard demonstrate that the height, location and design of the building allows reasonable sunlight and daylight access to adjoining sites, particularly those with residential uses;
- (e) the extent to which such buildings are consistent with the policies in the Special Purpose – Healthcare Facility and Hospital Zone, the Wairaka Precinct – General, and the Wairaka Precinct – Sub-precinct A; and
- (f) the extent to which buildings as viewed from adjoining sites are designed to reduce visual dominance effects, overlooking and shadowing and to maintain privacy.

(6) New buildings or additions to existing buildings within Sub-precinct A that increase the building footprint by more than 20 per cent or 200m² GFA (whichever is the lesser), that are located within 10m of the eastern boundary.

Where buildings do not abut the street frontage

- (a) the extent to which the visual effects of the building are screened by landscaping, comprising the planting of a mixture of closely spaced trees, shrubbery and ground cover;

(b) the extent to which the design of the building and the design of the interface between the building and the adjacent street contributes to a high quality visual amenity (including safety) outcome when viewed from the street while meeting the operational and functional requirements (including security) of the use of the building.

Where buildings do abut the street

(c) the extent to which the visual effects of the building are screened by landscaping;

(d) the extent to which design features can be used to break up the bulk of the building by, for example varying building elevations, setting parts of the building back, and the use of architectural features to achieve a high quality outcome, without compromising the functional requirements of the use of the building;

(e) the extent to which the design of safety measures together with the design of the interface between the building and the adjacent street provide for sensitive design in a high quality urban environment, while meeting the security requirements for the Mason Clinic;

(f) the extent to which the ground floor of the building (where fronting a street) provides interest for pedestrians and opportunities for passive surveillance (including safety) of the public realm while ensuring the functional and operational requirements (including security) of the Mason Clinic;

(g) the extent to which buildings respond to the policies contained in the Special Purpose - Healthcare Facility and Hospital zone, policies the Wairaka Precinct-General, and the Wairaka Precinct – Sub-precinct A;

All buildings

(h) Those criteria contained in I33.7.2(3)(c) and (d).

I334.9. Special information requirements

An application for any subdivision or development must be accompanied by:

Integrated Transport Assessment

- (1) Prior to any developments which would result in more than 3,000 dwellings within the precinct, an assessment of the then actual transport characteristics compared to the ITA assumptions shall be provided. If the transport network and generation is not consistent with the assumptions within the precinct ITA, then an updated ITA is required prior to residential development in excess of 3,000 dwellings.
- (2) As part of any ~~southern road connection (public or private), the first subdivision resource consent application in the Business—Mixed Use or residential zones (other than for controlled activities) or land use resource consent application for any development greater than 2,500m² gross floor area in the Business—Mixed Use Zone or greater than 1,000m² in the residential zones,~~ development that will result in the precinct exceeding 4,000 dwellings, the applicant is required to

produce an integrated transport assessment for the precinct. ~~An updated integrated transport assessment for the precinct will be required for all further development in excess of 2,500m² gross floor area in the Business—Mixed Use Zone or greater than 1,000m² gross floor area in the residential zones, unless that additional development was assessed as part of an Integrated Transport Assessment that is not more than two years old.~~

Stormwater Management Plan

- ~~(1) The following applies to land use consent applications for the land in the precinct:~~
- ~~(a) as part of the first land use consent application (excluding developments of less than 1,000m² gross floor area in the Special Purpose—Tertiary Education Zone; and developments less than 2,500m² in the Business—Mixed Use and Terrace Housing and Apartment Buildings zones), a comprehensive stormwater management plan which considers the appropriateness of any identified stormwater quality and quantity management devices to service the development must be prepared for all the land in the precinct.~~
 - ~~(b) the comprehensive stormwater management plan must be prepared in accordance with the information requirements in Requirement I334.9(3) below.~~
 - ~~(c) this standard does not apply where the land use application is in accordance with a subdivision consent previously approved on the basis of a previously approved comprehensive stormwater management plan~~
- ~~(2) A stormwater management plan that:~~
- ~~(a) demonstrates how stormwater management will be managed across the precinct or development to avoid, remedy or mitigate adverse effects;~~
 - ~~(b) applies an integrated stormwater management approach, consistent with Policy E1.3.(10);~~
 - ~~(c) identifies any areas of on-site stormwater management and provides for these in development and subdivision;~~
 - ~~(d) identifies the location, extent and of any infrastructure, including communal stormwater management devices and any proposed new or upgrades to infrastructure;~~
 - ~~(e) integrates/interfaces with the wider stormwater network, including that outside of the precinct; and~~
 - ~~(f) demonstrates compliance with the Council's relevant codes of practise and infrastructure standards; OR~~

~~(3) Demonstrate how stormwater will be managed in accordance with the stormwater management plan prepared for the precinct.~~

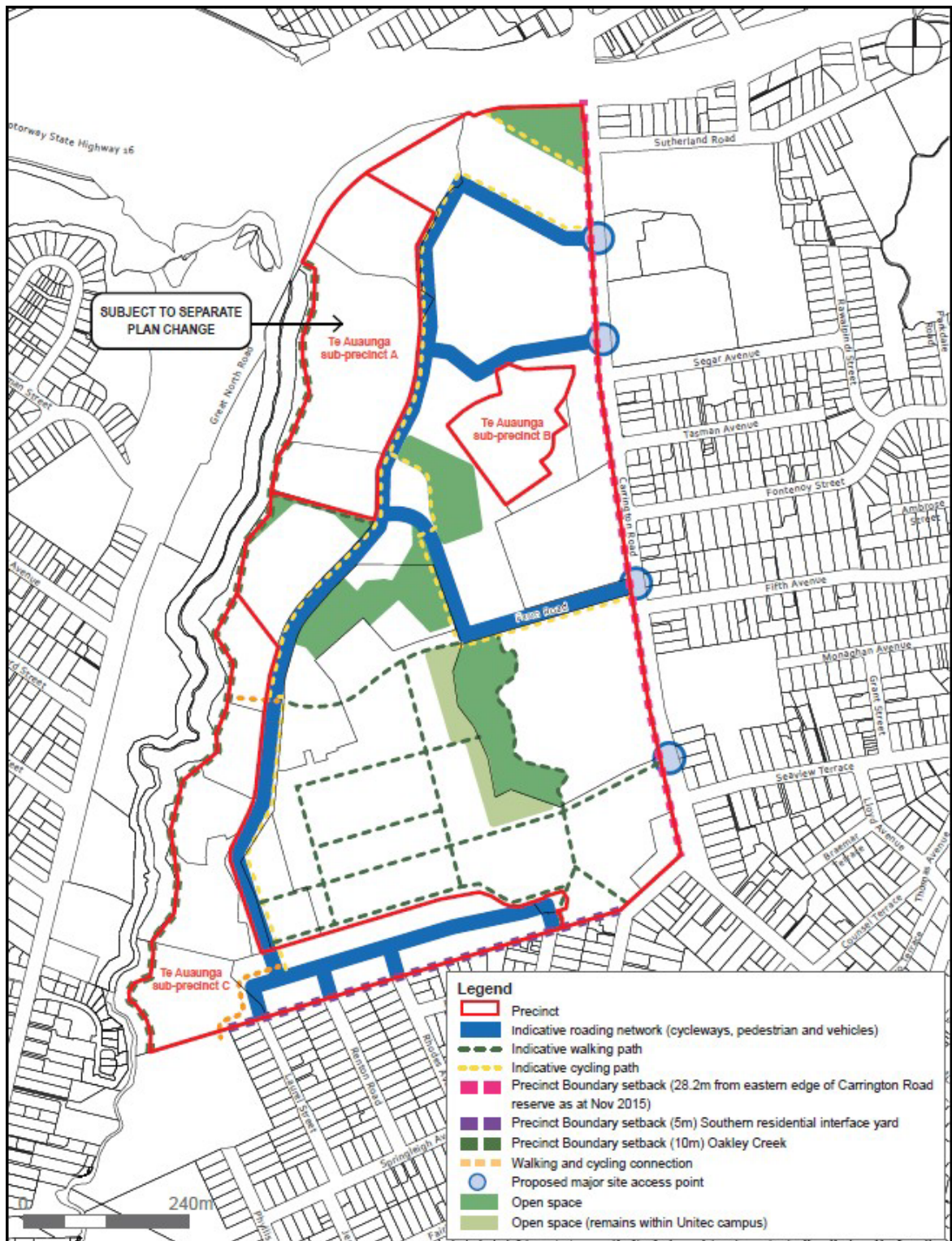
An application for development ~~that is or is not generally in accordance with the precinct plan and Policy 1334.3(15A).~~ must include the following:

- (1) Plans showing:
 - (a) the overall context of the subject land area relative to existing buildings, public open space and transport connections and any approved buildings and approved framework plans generally;
 - (b) where changes are intended, the relationship of site contours to existing and proposed streets, lanes, any public open space shown;
 - (c) building footprints, profiles and height relative to existing and proposed streets, lanes and any existing or proposed public open space;
 - (d) the location and layout of public open space areas (within the control of the landowner or leaseholder), including the general location of soft and hard landscaped areas, such as pocket parks, plazas, pedestrian linkages, walkways, covered plazas and linking spaces that complement the existing public open space network;
 - (e) the location and layout of vehicle access, entries, exits, parking areas including number of spaces and loading and storage areas;
 - (f) the location and layout of services and infrastructure;
 - (g) the location and function of pedestrian, cycling and vehicle routes to and within the precinct, and their relationship to other areas. This must include representative street and lane cross sections showing the width of footpaths, cycle paths and traffic lanes;
 - (h) the general location and function of existing and proposed streets and lanes, including cross-sections where applicable; and
 - (i) indicative location and layout of proposed sites, including their site areas and buildings types.
- (2) Proposed building profile and height as viewed from all existing and proposed street frontages, existing and proposed public open spaces. For the purpose of this requirement, building profile means two--dimensional and three--dimensional building block elevations and building cross- sections showing:
 - (a) overall building form and height (as opposed to detailed design);
 - (b) indicative proposed floor to ceiling heights of each building storey;
 - (c) areas at ground level adjoining public open space intended to be available for active uses; and

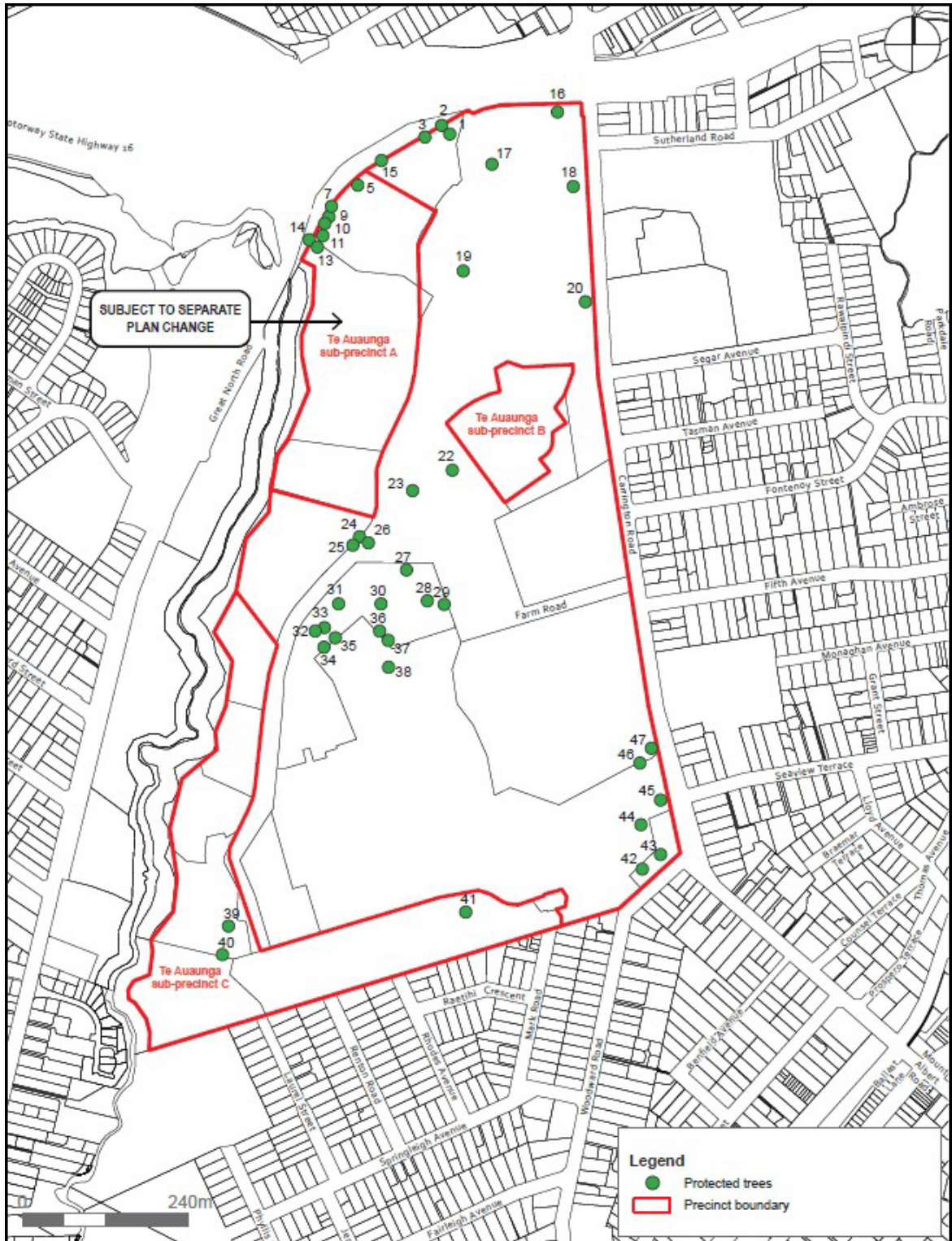
- (d) areas of walls likely to contain windows for principal living areas of accommodation units to demonstrate how the outlook space development control will be met.
- (3) A landscape management plan for any landscaped areas to be covenanted, public open space landscaping, roads and streetscapes and walkways. The plan must provide details on:
- (a) range of appropriate plant species ~~schedules~~;
- ~~(b)~~ planting specifications including individual tree planting locations;
- ¹⁴⁴~~(e)~~(b) weed control and management;
- ~~(d)~~(c) implementation; and
- ~~(e)~~(d) the location and design of public seating, vehicle barriers, signage, pedestrian lighting, litter receptacles, and other amenity features in line with crime prevention through environmental design principles.
- ~~(4) An infrastructure and stormwater management plan that demonstrates how the development will meet the controls and assessment criteria in this precinct regarding infrastructure and servicing, including:~~
- ~~(a) location and extent of infrastructure, including areas of on-site stormwater management (if applicable) and integration/interface with the wider precinct;~~
- ~~(b) any proposed new or upgrade to infrastructure;~~
- ~~(c) staging of development; and~~
- ~~(d) compliance with the Council's relevant codes of practise and infrastructure standards.~~
- ~~(5) A traffic management plan that demonstrates how the development will meet the controls and assessment criteria in this precinct regarding traffic generation and management, including:~~
- ~~(a) a traffic management assessment demonstrating how the precinct will manage traffic demand, alternate transport options, connections to public transport and key connections to and within the precinct; and~~
- ~~(b) be prepared in accordance with current best practise guidelines adopted by Auckland Transport.~~
- ~~(6)~~(4) The general location of activity types with potential to influence the staging and design of development across the subject land area including:
- (a) general proposed activity types at activity interfaces, including activity types to be established adjacent to existing lawful activities (including industrial activities); and
- (b) proposed staging of demolition, earthworks and building development, and where information is available, the staging of public open space.

I334.10. Precinct plans

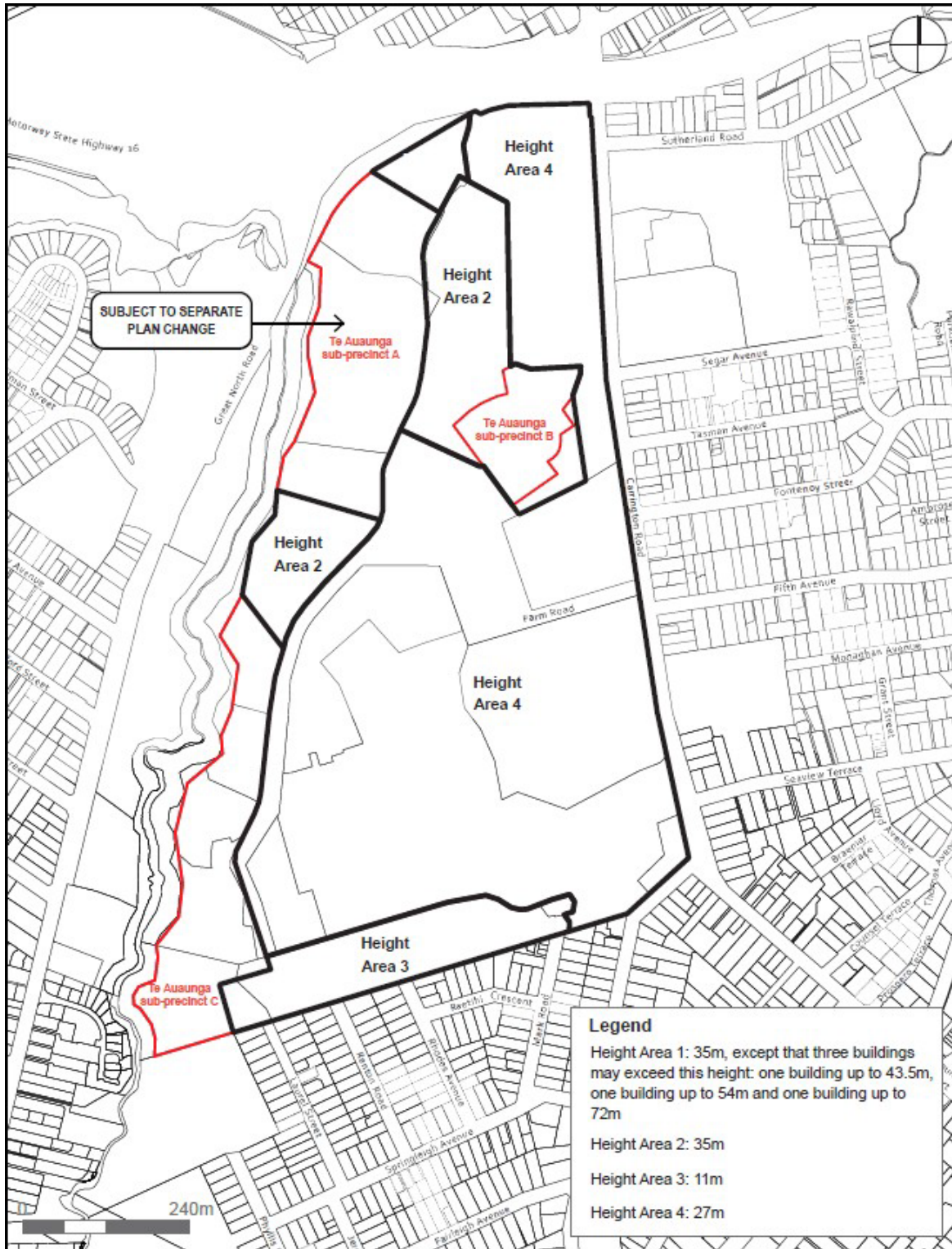
I334.10.1 WairakaTe Auaunga: Precinct plan 1



1334.10.2 **WairakaTe Auaunga**: Precinct plan 2 – Protected Trees



1334.10.3 Te Auaunga: Precinct plan 3 – Te Auaunga Additional Height



From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Helen Gilligan-Reid
Date: Friday, 2 February 2024 12:45:42 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Helen Gilligan-Reid

Organisation name:

Agent's full name:

Email address: helenoftroyis@hotmail.com

Contact phone number:

Postal address:

24 Buxton street

Pt chevalier

Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Pc94

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

It is taking away precious green space and includes more high rise too close to Oakley creek

125.1
125.2

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Portia Lawre
Date: Friday, 2 February 2024 1:15:15 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Portia Lawre
Organisation name:
Agent's full name: Portia Dawn Lawrence
Email address: portialawrence@signature.co.nz
Contact phone number: 0278803803
Postal address:
19 Springleigh Ave
Mt Albert
Auckland 1025

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Density
Building heights
Open Space
Education facilities
Zoning
Traffic changes
Name change for the precinct

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Density - While I am supportive of the Unitec area being developed I am very concerned about 11,000-12,000 new residents in a relatively confined area for which all public utilities are already constrained.

Building heights - up to 25 stories is too high. Buildings should be no higher than, for example, the Occam apartment building on nearby New North Rd.

Open Space - I'm concerned that there may not be enough open space to provide quality of life and outdoor options for such a large number of people.

126.1

126.2

Education facilities - There is no allowance for schooling in the plan at all which is a serious mistake. ALL local schools are bursting at the seams currently, there are safety (busy roadways), parking, spatial (physical size of schools), resource (including teachers) and classroom size (just talk to the schools, teachers and students about this!) already - the schools are already struggling to cope with organic growth let alone the additional strain this number of new residents will cause.

Zoning - while I understand that having shops within the development will help everyone, I am concerned at the possibility for poorer outcomes for residents with a Business-Mixed Use zoning.

Traffic changes - how many more cars will this add and what is the impact on safety (pedestrian & vehicular), traffic & parking.

Name change for the precinct - Te Auaunga carries no meaning for the local community however many are familiar with Wairaka. Could the name not be something that has meaning for the local population?

126.3
126.4
126.5
126.6

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: Please see above

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Colin Robert Symonds
Date: Friday, 2 February 2024 1:15:28 pm
Attachments: [PC94 Submission of C R Symonds re WAIRAKA PRECINCT.pdf](#)

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Colin Robert Symonds

Organisation name:

Agent's full name: Colin Robert Symonds

Email address: im.c.snz@gmail.com

Contact phone number:

Postal address:
8A Lynch Street
Auckland
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Consultation; Community/public service and Infrastructure provision

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Concern that the application fails to identify the impact of the proposal on demand for various services. Consequently it appears the relevant service providers have not been consulted on the proposal.

127.1

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: Amend to address unidentified social, education and other community requirements.

Submission date: 2 February 2024

Supporting documents

PC94 Submission of C R Symonds re WAIRAKA PRECINCT.pdf

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

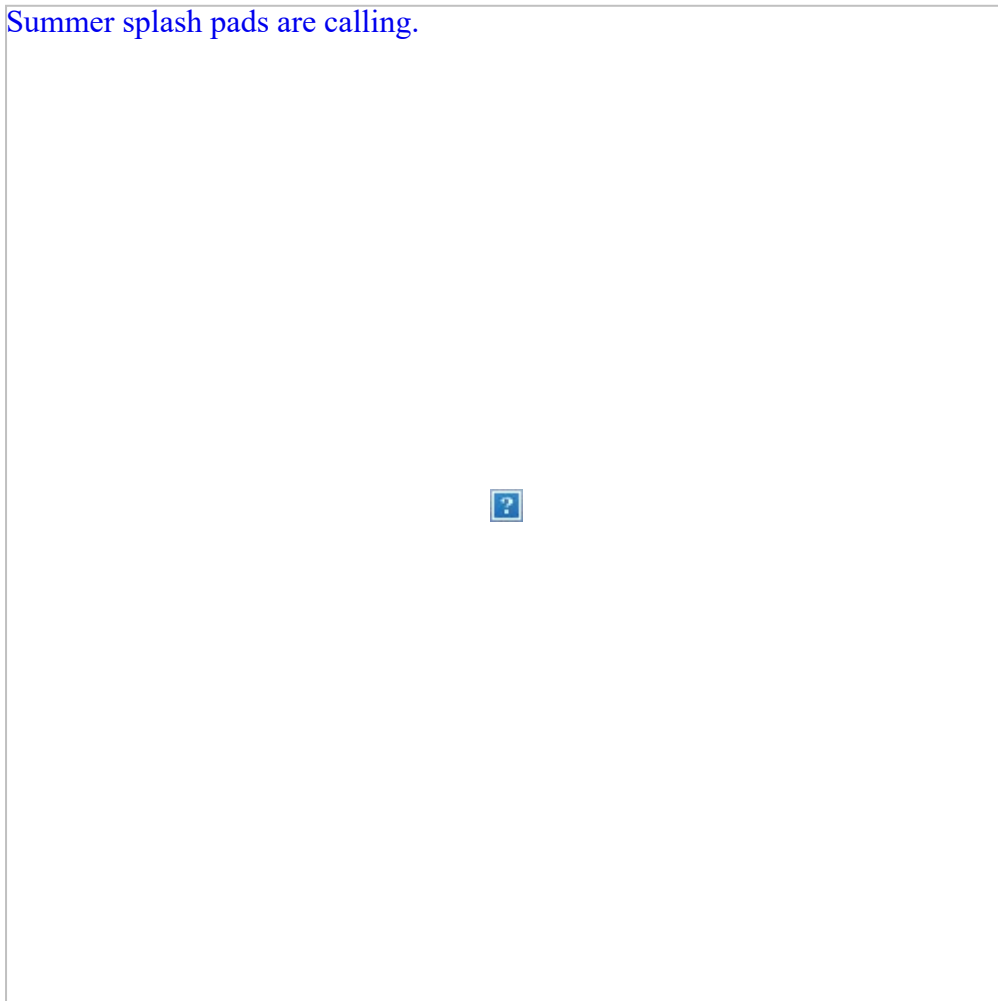
Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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Submission of Colin Robert Symonds, dated 2 February 2024 RE: Wairaka Precinct.

PC 94 – Attachment 01 - Planning Report and S32 Analysis

There appears to have been no consultation with the following sectors and no attempt to allow for the increased demands on them, that the proposal will generate:

EDUCATION: increased demand in an area where schools are operating at capacity

HEALTH: increased demand for GP services where practices are not enrolling new clients

MINISTRY OF SOCIAL DEVELOPMENT: increased demand for access to advisory and front office services

POLICE: increased need for liaison, visibility and enforcement in an area of proposed high population density

OTHER SOCIAL SUPPORT:

A proposed increase of 12,000 population with the intent that a significant proportion will be tenants of MSD or Rōpū, and accordingly have proportionally higher needs for health, remedial education and living support, MUST include consideration of how and where they will gain access to these services and associated advice.

PC94 Attachment 05: Open Space

" 2.7 The open space provision proposed represents a ratio of approximately 1ha per 1,000 dwellings."

What is Council's current service provision of open space area and quality of infrastructure provided within it per number of dwellings? This should also be expressed in terms of area per head of population.

PC94 Attachment 07: ITA

School

"Not in Traffic Model"

This is naive. Unless a future school on the development site limits its enrolments to within the development, there will be significant traffic impacts from parents dropping off and picking up students. The growth in low-rise developments elsewhere in Pt Chevalier will generate higher demand for schools and the current schools are approaching capacity limit considering their land area.

Per-Dwelling Car-parking Rate

"1,000 dwellings with no car parking, with the remaining 3,000 dwellings with an average of 0.7 or less parking spaces per dwelling, averaged across the Precinct"

Has the consultant carried out any empirical surveys of existing, fully-occupied intensive developments to establish the number of cars per dwelling that such developments actually generate? Has Council carried out any surveys? How does Council know that these assumptions are in fact reasonable?

Signalised Access

"Gate 1 and Gate 3, with Gate 2 a LILO, once fully implemented"

The proposal will result in FOUR signalised intersections, averaging one per 250 metres, between Carrington/Gt North Rd and Unitec Gate 4; if Woodward/Carrington is also to be signalised this becomes five sets of signals. The additional infrastructure has to be maintained and operated at significant cost to the ratepayer.

From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Judy Dale
Date: Friday, 2 February 2024 1:30:21 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Judy Dale

Organisation name:

Agent's full name:

Email address:

Contact phone number:

Postal address:

79 Huia Road

Pt Chevalier

Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

PC94

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

I oppose PC94 because local schools can't cope, local traffic can't cope, infrastructure can't cope, and I oppose the plan to significantly reduce gardens and green space in this area.

128.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Paul Tudor
Date: Friday, 2 February 2024 1:45:17 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Paul Tudor
Organisation name:
Agent's full name: Paul Tudor
Email address: ptudor@tonkintaylor.co.nz
Contact phone number:
Postal address:
22 Grove Road
Sandringham
Auckland 1025

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Property address:
Map or maps:

Other provisions:
The new plan reneges on the promises in the original Unitec proposal to preserve community gardens and mature trees. In addition, the amount of public green spaces has been reduced even further, to below optimal percentages. This is unacceptable to both the existing residents in the surrounding area, and will be extremely unpleasant for the future residents that will be housed by these developments. The result will be a more unhealthy environment for all residents, and further desecration of our city's diverse history. Community value will be damaged, irreparably. This plan change needs to be redrafted to allow for greater green spaces, and those spaces should be protected into the future, for the generations to come.

129.1

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Private property rights (the creation of extra wealth by increasing the number of housing units on this site, at the expense of the environment and the comfort of the community) should not trump collective rights to a healthy, happy, enjoyable city. While we need more houses, at more affordable prices, there is every reason to believe that the increased dwellings in this proposal will NOT be significantly cheaper because of the greater intensification. And yet the reduction in green spaces will make the precinct less pleasant for those people who will be moving in. Greed is not good.

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: Increase the green spaces - both in number and in area. Retain community gardens and mature trees.

129.2

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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our email, or any effects our email may have on the recipient computer system or network. Any views expressed in this email may be those of the individual sender and may not necessarily reflect the views of Council.

From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Carol Gunn
Date: Friday, 2 February 2024 1:45:25 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Carol Gunn
Organisation name: Grey Lynn Farmers Market
Agent's full name: Carol Gunn
Email address: manager@greylynnfarmersmarket.co.nz
Contact phone number:
Postal address:
510 Richmond Road
Auckland
Auckland 1021

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
not applicable
Property address: 1-139 Carrington Road
Map or maps: not applicable
Other provisions:
not applicable

Do you support or oppose the provisions you have specified? I or we support the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
I am concerned that this plan change directly contradicts the commitment that was given to the community when the sale of purchase agreement was signed. This suggests that community consultation is a mere, temporary inconvenience to our civic leaders. Can we trust our civic leaders to honour the commitments that they make to our community?

Five open spaces amounting to 5.1 ha have been identified for potential vesting to Auckland Council, which is less than the 7.7 ha given in the 2019 Reference Plan based on 26.6 ha. In addition the 2019 document identified a further 3.56 ha as road reserve.

Subsequently a further 10.6 ha was purchased in the precinct, yet there is no indication how much this will contribute to extra open space.

130.1

At the moment 5.1 ha has been identified as potential public open space, but it is not clear where other open space (public or private) will be. The area on which the Sanctuary community gardens and food forest is based is not one of these identified open space areas. I expected it to be shown as an open space area as I understand this area was to be preserved through the sale and purchase agreement between Unitec and the Crown in 2018.

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [katian23](#)
To: [Unitary Plan](#)
Subject: United development
Date: Friday, 2 February 2024 1:46:21 pm

I would like to express my concern for the organic gardens and food forest at the unitec site which have been nurtured for many years and have provided food and educational opportunities for many people.
I hope these valuable gardens can be retained as part of the green space because I believe they will be useful and beneficial for future residents at this site.
So much good has been achieved here and I would be very upset to see these gardens destroyed.
Yours sincerely
Katrina Smith

131.1

Sent from my Galaxy

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Kate Rensen
Date: Friday, 2 February 2024 2:00:18 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Kate Rensen

Organisation name:

Agent's full name: kate rensen

Email address: katerensen@xtra.co.nz

Contact phone number:

Postal address:

21

Point Chevalier

Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Property address:

Map or maps:

Other provisions:

Density: The plan change could deliver up to 6,000 new homes. The documents state 4,000-4,500 homes in the Te Auaunga Precinct have been assessed at 2.8 people per dwelling. The 1,000 Unitec related accommodation units for students, staff and post graduate members have been assessed at 1.2 people per dwelling. As a result, the area is predicted to have a population of 11,200-12,600.

132.1

Building heights: changes across the site but apartments could be as high as 72m (about 25 stories) in the north-west, some at 54m, some at 43.5m, some at 35m in the centre and 27m on Carrington Rd.

Open Space (parks etc): Will the amount of proposed public open space (4.5ha) which is in 5 separate parcels be enough for the new community (by comparison Gribblehirst Park is 5.6ha so larger and only 1 parcel). From the report: "The provision of public open space for the intended population is appropriate to service the needs of the new community. The range of open space areas is intentionally diverse, i.e. to provide for recreational choice for the differing needs of the community. The proposed open space areas have the potential to provide for formal playgrounds for different age groups, informal play areas, passive and informal active recreation (kick-a-ball), picnicking and the like, as well as amenity planting, and access to an extensive public walkway network". There is a request to set back the development 10m from the boundary with Te Auaunga-Oakley Creek Reserve but is that enough?

132.2

Education facilities: There is no land zoned for a school however there will be thousands living on the site and local schools are nearing full capacity.

132.3

Zoning: Usually homes are zoned residential but much of the request is for Business-Mixed Use which can deliver poorer outcomes for future residents eg no requirement for outlook, balconies and your apartment can be right on the road instead of set back a bit.

132.4

Traffic changes: Mark Road will be connected into the southern end of the development increasing vehicle traffic through the local streets.

132.5

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Schools, public transport, roading and general infrastructure within the community cannot cope.

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: More planning and consultation by the developers and council is required to satisfactorily address these concerns.

132.6

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Samantha Smith
Date: Friday, 2 February 2024 2:00:21 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Samantha Smith

Organisation name:

Agent's full name:

Email address: samlewis6@gmail.com

Contact phone number:

Postal address:
412 point chevalier rd
Pt chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Raising height of buildings to 72m

No allocation for more schools - current schools and preschools are at capacity | 133.1

Removal of community gardens | 133.2

Traffic and community spaces at maximum

No allowance for medical, community and social support | 133.3

Infrastructure is insufficient for current communities

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Stated as above - community infrastructure and social / community support currently not sufficient.

No allocation for more schools - they are currently at capacity

Removing community gardens and spaces

Traffic and infrastructure currently can't cope

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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erase all copies of the message and attachments. We do not accept responsibility for any viruses or similar carried with our email, or any effects our email may have on the recipient computer system or network. Any views expressed in this email may be those of the individual sender and may not necessarily reflect the views of Council.

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Jennifer Gibbs
Date: Friday, 2 February 2024 2:30:23 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Jennifer Gibbs

Organisation name:

Agent's full name:

Email address: jenandtim@mac.com

Contact phone number:

Postal address:
7 harbour view road
Pt chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

A revised precinct plan and revised precinct provisions are proposed, including to allow for greater height for residential buildings.

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

This is such a large and impactful development on a key urban site. There is opportunity to make it an excellent example of urban development. Fundamental to this is ensuring extensive green space. I understand that some of the green space provisions are being compromised and Garden areas are being removed. I object to this given the density of housing being developed here. I also understand that there is a proposed revision of height to 25 stories. I also object to this proposal. Given the lack of services already in the area where existing services are already being stretched to accommodate residents, along with the streetscape visual impact of 25 stories of (largely) tiny homes, and the fact that it is already a MASSIVE development, the additional height would be an imposition. The buildings as they have been proposed are already unsightly and not a good example of Ockham's usually high standards. The space COULD be amazing but it is heavily reliant on stringent design rules supported by clever and vast plantings and green space. I would support council insisting on such provisions for residents' quality of living in these towers.

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: Green space provisions protected and no extension to the height of the tower blocks.

134.1
134.2

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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our email, or any effects our email may have on the recipient computer system or network. Any views expressed in this email may be those of the individual sender and may not necessarily reflect the views of Council.

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - ronald philip tapply
Date: Friday, 2 February 2024 2:45:21 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: ronald philip tapply

Organisation name:

Agent's full name: ronald philip tapply

Email address: tapron@xtra.co.nz

Contact phone number:

Postal address:

23 willcott st.
mt albert
Auckland 1025

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

plan change 94

Property address: Carrington road Mark road.

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes	135.1
---	-------

The reason for my or our views are:	135.2
-------------------------------------	-------

Sanctuary gardens needs to be saved, More parking is needed. Area needs to be residential,	135.3
--	-------

provision for a school needs to be considered. More open space is needed for future population	135.4
--	-------

growth. Height restrictions need to be put in place	135.5
---	-------

I or we seek the following decision by council: Decline the plan change	135.6
---	-------

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Jade Harris
Date: Friday, 2 February 2024 2:45:21 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Jade Harris

Organisation name:

Agent's full name:

Email address: jadesharris@gmail.com

Contact phone number:

Postal address:
7 Mark Road Mt Albert
Mt Albert
Auckland 1025

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Roading and opening Mark Road

Property address: 7 Mark Road, Mt Albert

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
I went to a meeting last year and was told that Mark Road would not become a thoroughfare. Our street is completely full of cars as Unitec students/staff now park on this road. It would be even worse if the road was opened up. This area of Mt Albert is a lovely quiet area and while I'm happy for the new precinct they will have their own entrances up on Carrington road. Please do not make this street or surrounding streets a thoroughfare.

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: Do not open Mark Road

Submission date: 2 February 2024

136.1

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Rachel Neal
Date: Friday, 2 February 2024 2:45:21 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Rachel Neal
Organisation name:
Agent's full name:
Email address: rachsimpson74@gmail.com
Contact phone number:
Postal address:
11 Dignan St
Point Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
I Oppose PC94 because schools can't cope, - existing schools stretched to the limit already. The traffic can't cope, no infrastructure

Property address: Wairaka Precent - formally unitec land

Map or maps: Wairaka precent - formally unitec / Barrington hospital

Other provisions:
Too many extra apartments added
Not enough infrastructure
Needs its own school.

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
I Oppose PC94 because too many apartments schools can't cope, - existing schools stretched to the limit already. It needs its own school. The traffic can't cope, no infrastructure

137.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Penelope Hansen](#)
To: [Unitary Plan](#)
Subject: Submission to Proposed Plan Change 94
Date: Friday, 2 February 2024 3:01:48 pm

Submission to :

Proposed Plan Change 94, Auckland Unitary Plan (Operative in Part) under Schedule 1 to the Resource Management Act 1991 (RMA), from that originally notified.

From:
Penelope Jane Hansen
10 Ada St,
Remuera,
Auckland, 1050

Email
pjhansen48@gmail.com
Mobile
021585078

2nd Feb 2024

I wish to support the development of the Unitec site for families in need of housing.

138.1

However I am unhappy with the tree protection on the site which I regard as totally inadequate. Historically these trees have had protection due to the site's zoning for education. With the change to zoning for development, the trees on this site now need their legal protection transferred. Otherwise what will happen? Any development should be guided by a legal masterplan working around notable trees and the 1000 remaining trees on the site. Since the Morpheme Ecological Assessment currently provided for the development lacks a qualified arborist's report there is no legal protection for the 1000 trees that remain. This is very concerning because already 1000 other trees on the site have been destroyed without public submissions or reports from properly qualified people. Qualified arborists must identify the remaining trees, their species, sizes and condition, determining those which are to be protected. Covenants and notable tree listings should then be applied to protect them in the longterm for the following reasons:

138.2

1 In a world where trees reduce our carbon emissions, why would we destroy long-lived trees for developments? Proposed 'landscaping' without tree protection means little. These are just comforting words with no legal teeth. 'Landscaping' could mean replacement of trees by grasses. We have all experienced this kind of misleading talk in Auckland over the past few years. However, it is possible to build without damaging trees. It requires imagination and expertise - on the part of both developers and arborists. And rigour on the part of our Council.

2 Trees prevent runoff to local creeks and mudflats which surround this urban peninsula. They protect the longterm wellbeing of our freshwater and saltwater environments.

3 The trees at Unitec are an important part of a corridor of trees which support birds in Auckland.

4 Trees in the city provide an urban oasis. The connection they provide with nature, the awe we feel for towering trees that have lived longer than we have, maintains and improves mental health of city dwellers.

6 Physical health is improved by the ability to walk, run or cycle, in and out of open spaces, through stands of trees, thus causing less strain on the health system. City dwellers need not be deprived of this opportunity. Any city is enhanced by the ability of its inhabitants to walk from their home straight to open spaces and awesome tree stands. Auckland has examples : residents from Epsom, One Tree Hill, Remuera all have the privilege of being able to walk to Cornwall Park/One Tree Hill thanks to Sir John Logan Campbell and to previous Councils who have enabled his dream to live. There are other such examples in Auckland, such as Monte Cecelia Park, where grand trees have been protected and provide an oasis to the neighbourhood. Are not the residents of the new development on the Unitec site entitled to the same benefits?

7 The community gardens at Mahi Whenua Sanctuary must be retained for the same reasons - to protect the mental and physical health of the people who will move into this new development. Since this is also an archaeological/cultural site, its protection is doubly important. Communities need to know their history to retain their good health.

138.3

8 Finally, trees visually enhance any built environment and to sacrifice them for short-term financial gain is short-sighted.

Our city needs trees to be the kind of city we can be proud of.

Thank you for the opportunity to make this submission.

Penelope Hansen

Penelope Hansen
10 Ada St,
Remuera,
Auckland, 1050.
New Zealand.

T 09 630 0335
M 021 585 078

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Ann McShane
Date: Friday, 2 February 2024 3:15:17 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Ann McShane

Organisation name: n/a

Agent's full name:

Email address: cushlam4@gmail.com

Contact phone number:

Postal address:

3 Cox Street
Ponsonby
Auckland 1011

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Increase in height of dwellings
Removal of protection of Sanctuary Community Garden within the proposed site

139.1

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

I believe that the site will be over developed and have too many residents with too little land set aside for recreation and for residents to enjoy the benefit of growing their own food.

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Bryce Long](#)
To: [Unitary Plan](#)
Subject: PC 94 (Private): Wairaka Precinct
Date: Friday, 2 February 2024 3:19:06 pm

To Auckland Council,

I am writing to express my strong opposition to the proposed Plan Change 94 – Wairaka Precinct, which will significantly alter the site of the former Unitec land, Carrington Hospital, and surrounding areas. I urge you to reject this plan change and preserve more character, heritage, and environment in this area.

The plan change supports urban intensification at the expense of the quality of life, well-being, and amenity of the current and future residents. It seeks to change the heights and density of buildings, the location and amount of open space, the type of development rules, and the transport routes. These changes will have adverse impacts on the following aspects:

Density: The plan change could deliver up to 6,000 new homes, resulting in a population of 11,200-12,600. This is an excessive and unsustainable level of density, which will create overcrowding, noise, pollution, and social problems. The area does not have the infrastructure, services, or facilities to support such a large influx of people.

140.1

Building heights: The plan change allows for buildings as high as 72m (about 25 stories) in some parts of the site, which is completely out of scale and character with the surrounding low-rise residential and heritage buildings. These tall buildings will block the sunlight, views, and privacy of the existing and future residents, as well as create wind tunnels and shadow effects. They will also detract from the visual and historical significance of the Carrington Hospital and other heritage buildings on the site.

Open space: The plan change proposes only 4.5ha of public open space, which is insufficient and inadequate for the needs of the new community. The open space is fragmented into five separate parcels, which reduces the accessibility, connectivity, and usability of the spaces. The open space is also compromised by the proximity and dominance of the high-rise buildings, which will limit the natural light, ventilation, and greenery. The plan change does not respect the ecological and cultural values of the Te Auaunga-Oakley Creek Reserve, which is a taonga for the local iwi and a habitat for native flora and fauna. The plan change should provide a larger and more continuous buffer zone between the development and the reserve, as well as enhance the restoration and protection of the stream and its margins.

140.2

Education facilities: The plan change does not provide any land zoned for a school, despite the fact that there will be thousands of new residents, many of whom will have children. The local schools are already nearing full capacity and will not be able to cope with the additional demand. The plan change should allocate a suitable site for a new school, or contribute to the expansion and improvement of the existing schools in the area.

140.3

Zoning: The plan change requests for much of the site to be zoned as Business-Mixed Use, which is inappropriate and incompatible with the residential and heritage nature of the area. This zoning allows for a wide range of commercial and industrial activities, which could generate noise, traffic, and other negative externalities for the community.

140.4

It also allows for lower standards of design and amenity for the residential units, such as no requirement for outlook, balconies, or setbacks. The plan change should retain the

residential zoning for the majority of the site, or apply a more sensitive and restrictive mixed-use zoning that ensures a high quality of living environment for the residents. As an alternative, there are numerous commercial sites on New North Road and Great North Road that would benefit from investment and uplift within adequate proximity to the site.

Traffic changes: The plan change proposes to connect Mark Road to the southern end of the development, which will increase the vehicle traffic through the local streets. This will create congestion, safety, and environmental issues for the residents and pedestrians, especially during peak hours. The plan change does not provide sufficient measures to mitigate the traffic impacts, such as traffic calming, pedestrian crossings, cycle lanes, or public transport options. The plan change should reconsider the need and feasibility of the Mark Road connection, or provide adequate infrastructure and services to support the increased traffic.

140.5

In conclusion, I strongly oppose the Plan Change 94 – Wairaka Precinct, as it will have negative and irreversible effects on the area and its community. I request that you reject this plan change and uphold the existing planning framework that protects and enhances the values and features of this area. I also request that you consult with the affected parties, including the local residents, iwi, heritage groups, and environmental organisations, before making any decisions on the future of this site.

Thank you for your consideration.

Sincerely,

Bryce Long

Auckland 1022

From: [Sarah Harris](#)
To: [Unitary Plan](#)
Subject: PC 94: Wairaka Precinct submission
Date: Friday, 2 February 2024 3:25:00 pm

Good afternoon,

I'm a local resident of waterview and want to submit my views on this plan.

From what I've seen leaving no provisions for at least a primary school are shortsighted. With up to 12000 new residents at least a few hundred will be children. Waterview primary has no room to expand and has a good reputation as a medium sized local school. I don't want it to be bursting at the seams, over run and lose the sense of community with the scale of it.

141.1

Additionally I'm concerned with the loss of any mature tree and the effect it will have on flooding in the future.

141.2

I would also like to see oakly creek protected and even improved against pollution with this major development.

141.3

Thank you for taking my submission.

Warmest,
Sarah Harris
3/59 Alford St, Waterview
0272033884

Sent from my HUAWEI P30

SUBMISSION ON PROPOSED PRIVATE PLAN CHANGE 94 – WAIRAKA PRECINCT TO THE AUCKLAND UNITARY
PLAN (OPERATIVE IN PART)

To: Auckland Council
Name: Ngāi Tai ki Tāmaki
Date: 01st February 2024

Submitter Details

1. This is a submission on Proposed Private Plan Change 94 (**PC94**) to the Auckland Unitary Plan – Operative in Part.
2. Ngāi Tai ki Tāmaki is an iwi authority who is collaborating with the Crown over the development of housing and associated activities within the Te Auaunga Precinct (currently called Wairaka Precinct).
3. Ngāi Tai ki Tāmaki could not gain an advantage in trade competition through this submission.
4. Ngāi Tai ki Tāmaki is directly affected by the cultural, social, economic and environmental effects of the proposed plan change.

Scope of Submission

5. This submission is in support of PC94 in its entirety.

Reasons for Submission

6. Ngāi Tai ki Tāmaki are mana whenua for this land. Our people have been on and have used this land since mai rānō. There is a strong cultural significance of this land to our people.
7. There is significant opportunity for redevelopment of this land which will achieve both cultural, social and economic objectives for Ngāi Tai ki Tāmaki. This can be done in a manner which contributes to managing Auckland’s growth and does this in a manner which respects the history, heritage and environmental aspects of this land.
8. Ngāi Tai ki Tāmaki is part of the Land for Housing Programme and is working with the Crown to develop this land for a variety of housing including affordable and market housing.
9. This plan change is necessary to rezone surplus tertiary education land to mixed use so that land can be developed for residential activity.
10. The plan change encourages Māori economic development and the cultural aspects of this precinct, recognising its cultural history and the importance of development proceeding in a culturally appropriate manner.

142.1

- 11. The changes to the objectives and policies appropriately set the planning framework for development of this precinct.
- 12. The proposed rezoning of this land ensures the land is available for appropriate residential and mixed-use development.
- 13. The changes to the activities and standards including changes to height, provide for quality development at an appropriate scale and intensity given the unique location of this precinct.
- 14. The changes to the assessment criteria appropriately encourage a high quality of development.
- 15. The changes to the precinct plan provisions are necessary to set a planning framework for the physical development of this place.

Decision Sought

- 16. Ngāi Tai ki Tāmaki seeks approval of PC94 in full.
- 17. Approve the name change of the Wairaka Precinct to Te Auaunga. 142.2
- 18. Approve the objectives and policies as proposed by PC94.
- 19. Approve the rezoning of land as set out in PC94. 142.3
- 20. Approve the changes to the activities, standards, and assessment criteria as proposed by PC94.
- 21. Approve the modifications to the precinct plans and the introduction of the new precinct plan as set out in PC94.

Hearing

- 22. Ngāi Tai ki Tāmaki wishes to be heard in support of its submission.
- 23. Ngāi Tai ki Tāmaki will consider presenting a joint case with others making a similar submission.



.....

Rewa Billy Brown

2 February 2024

Date

From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Christopher Judd
Date: Friday, 2 February 2024 3:30:18 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Christopher Judd
Organisation name: Mt Albert Residents Association
Agent's full name: CHRIS JUDD
Email address: ecojudd@outlook.com
Contact phone number:
Postal address:
6 Rhodes Avenue
Auckland
Auckland 1025

Submission details

This is a submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
No through road running into the southern suburbs from the northern part of the precinct

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we support the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:
A through will likely bring an excessive amount of traffic onto the roads around Springleigh Ave and make it very difficult for residents to get in and out especially on Metro Football days

143.1

I or we seek the following decision by council: Approve the plan change without any amendments

Details of amendments:

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

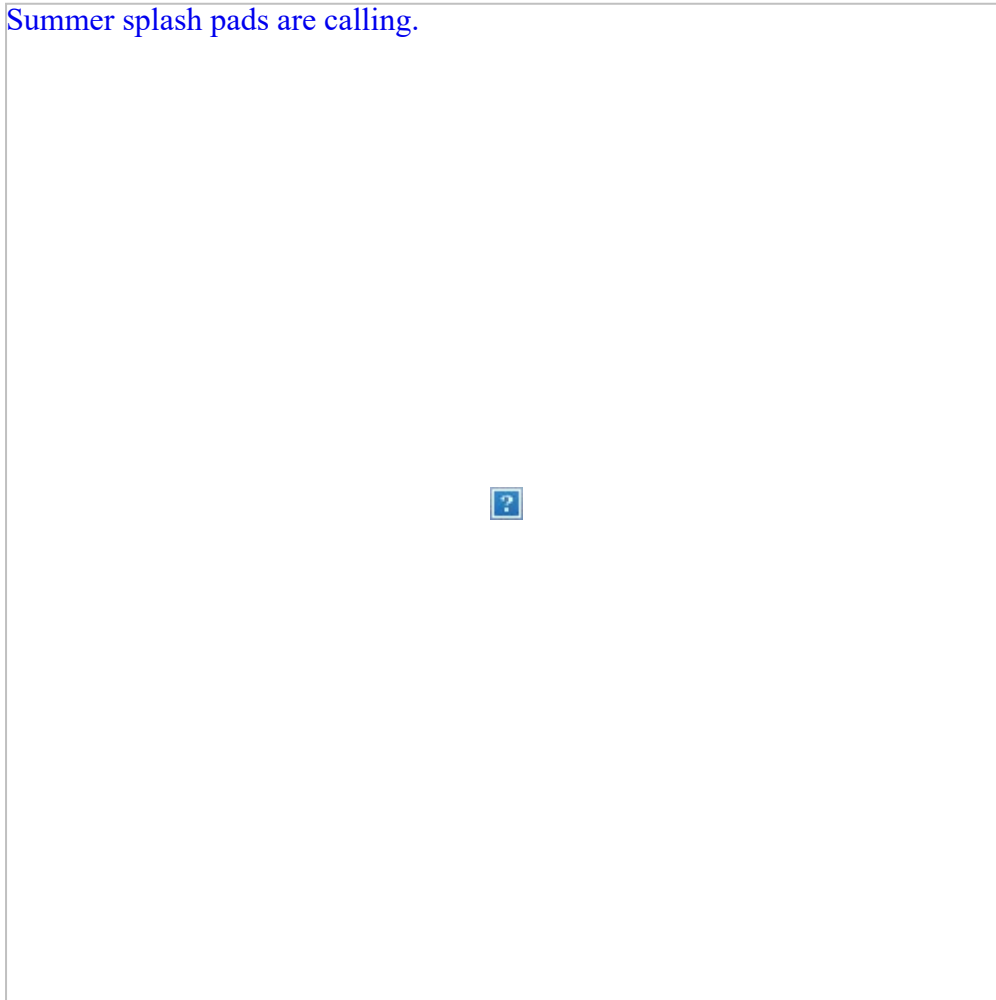
Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Timothy James Gibbs
Date: Friday, 2 February 2024 3:30:20 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Timothy James Gibbs

Organisation name:

Agent's full name:

Email address: gibbs.t@mac.com

Contact phone number:

Postal address:
7 Harbour View Road
Point Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Removal of green space and increase in height

Property address: Unitec Development

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

This is such a key urban development and will be home to a whole community of people who need the best of what a modern development should provide. A key to this will be ensuring green space for people to play and be healthy. I understand that some of the green space areas are being considered for minimising. I object to this given the density of housing being developed here. I also understand that there is a proposed revision of height to 25 stories. I also object to this proposal. The area is already at capacity for schools, public transport and services, further increasing the capacity of the site will only increase the strain. There will also be impact on streetscape, peoples ready access to outside areas and the feeling of community. The additional height would be disproportionate to anything outside of the CBD and out of keeping with the neighbourhood. I am a fan of Ockham's design skills, but this proposal is well below their usual standard and making it even bigger feels like a an eyesore. I am in favour of higher density housing, but I am aware that NZ does things cheaply and without much thought for the future... we need to change this and this site is critical to how we think about our future and for the people who will inhabit this space. We need

144.1

144.2

the people who live there and around it to love it not endure it.

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

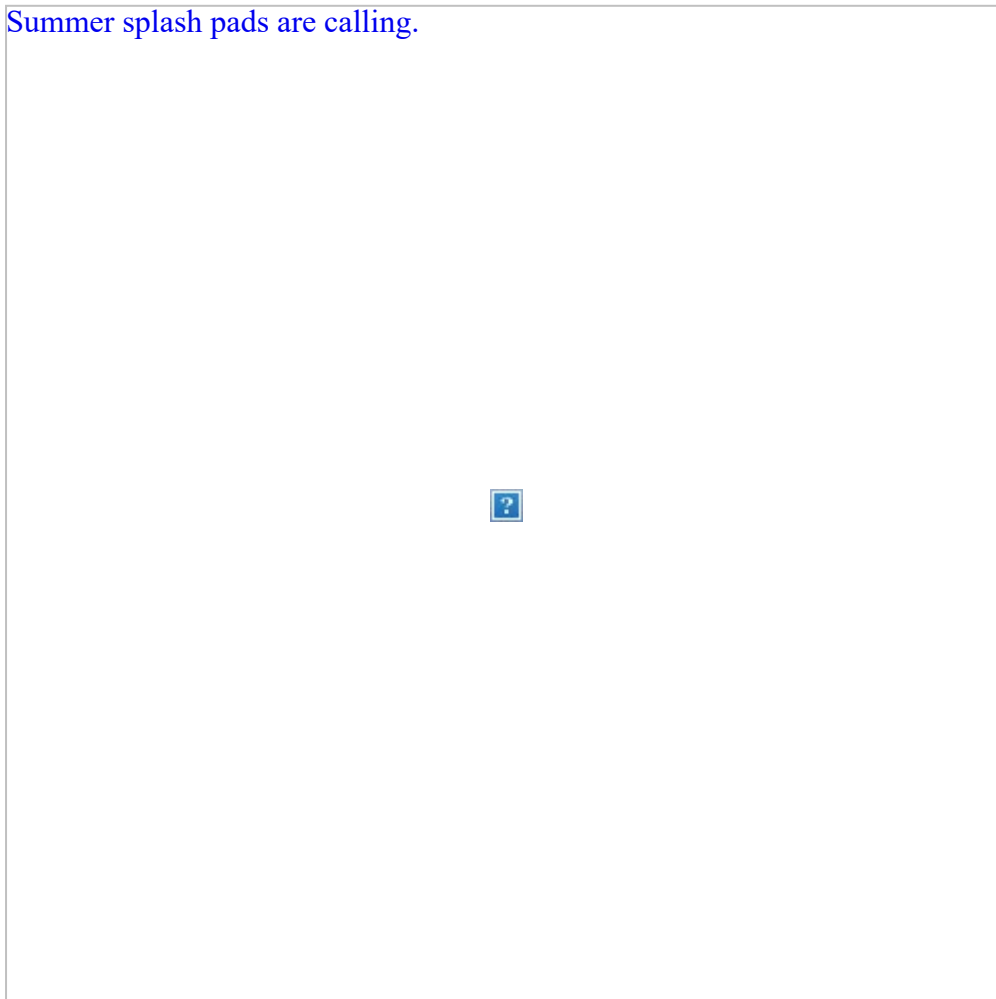
Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Tim Buchanan
Date: Friday, 2 February 2024 4:15:21 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Tim Buchanan
Organisation name:
Agent's full name:
Email address: timothyandrewbuchanan@gmail.com
Contact phone number:
Postal address:
46 Alberta Street
Point Chevalier
Auckland 1022

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Population that can be supported from the site, overall density
Property address:
Map or maps:
Other provisions:
Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified
Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Lower overall density to support less impacts on the environment and wider catchment

145.1

I or we seek the following decision by council: Decline the plan change
Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

[Summer splash pads are calling.](#)



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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Doris Fryer
Date: Friday, 2 February 2024 4:15:21 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Doris Fryer

Organisation name:

Agent's full name:

Email address: dorant@xtra.co.nz

Contact phone number:

Postal address:
27 Riro Street
Pt Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Property address: Wairaka Precinct - Carrington, Auckland

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

There is no planning or infrastructure that supports an increase in the density and heights of the buildings planned for the Wairaka Project. There is not sufficient planning and infrastructure to support the current project let alone an increase in density and population within this area.

146.1

There is no provision for schools in this project and local schools are already at capacity. The stormwater and sewerage system do not cope with the current high level of density within the area.

There is limited parking provisioned for the current occupancy, and despite the desire for residents to not use vehicles, that is not a reality and will put additional pressure on local streets and the community car parks at the Pt Chevalier shops.

146.2

Pt Chevalier and Mt Albert are already experiencing the negative social and community impacts of high density mixed residential housing and this plan will continue to exacerbate the issues, putting more pressure on council and police as well as the negative impact on the safety and security of the more vulnerable members of our community, in particular the young and elderly.

146.3

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Alice wong
Date: Friday, 2 February 2024 4:30:19 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Alice wong
Organisation name:
Agent's full name:
Email address: alicewong172@gmail.com
Contact phone number:
Postal address:
5 Fontenoy st
Mt albertt

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Wairaka
Property address: Unitec
Map or maps:
Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

- 1. There is no school zones. Big concern as Gladstone Primary is already a large school and oversubscribed. There needs to be a primary and intermediate zones for the increase in population. | 147.1
- 2. The height is the building allowed is too high (up to 72m is detrimental to the view of the landscape and unreasonable.). I propose a maximum 3 stories for all areas. | 147.2

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: Inclusion of school zone is a must.

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Marnie Patten
Date: Friday, 2 February 2024 4:45:19 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Marnie Patten

Organisation name:

Agent's full name:

Email address: marniecox@gmail.com

Contact phone number:

Postal address:

Mount Albert
1025

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Property address:

Map or maps:

Other provisions:

Plan change:

Reduction in green space

Removal of Maui Whenua Sanctuary and destruction of mature trees

No planning for new school

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

I applaud the plan to build new houses for Aucklanders- but in the new plan there is not enough green space. The Mahi Whenua Sanctuary and mature trees need to be incorporated into the urban design.

148.1
148.2
148.3
148.4

It is obvious that a new school will need to be planned with the amount of proposed residents

148.5

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.



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From: [Scott Whitten](#)
To: [Unitary Plan](#)
Subject: PC 94 submission
Date: Friday, 2 February 2024 4:46:15 pm
Attachments: [pc94-form-5.pdf](#)
[Submission continued.pdf](#)

Hi,

Please find my submission and additional sheet with further information attached as requested. In addition is a photograph taken from within the property of the current 3m high fence for reference.

Kind Regards,
Scott Whitten



SOUNDBUFFER.CO.NZ

Temporary Noise Control Barriers

- Waterproof
- Velcro Connected
- Quick Installation
- Fire Resistant
- Non-Irritant

PHONE 0800 160 101

SOUNDBUFFER.CO.NZ

Temporary Noise Barriers
B1/2 Performance series

- Waterproof
- Velcro Connected
- Quick Installation
- Fire Resistant
- Non-Irritant

PHONE 0800 160 101

SOUNDBUFFER.CO.NZ

Temporary Noise Control Barriers

- Waterproof
- Velcro Connected
- Quick Installation
- Fire Resistant
- Non-Irritant

PHONE 0800 160 101

Before you fill out the attached submission form, you should know:

You need to include your full name, an email address, or an alternative postal address for your submission to be valid. Also provide a contact phone number so we can contact you for hearing schedules (where requested).

By taking part in this public submission process your submission will be made public. The information requested on this form is required by the Resource Management Act 1991 as any further submission supporting or opposing this submission is required to be forwarded to you as well as Auckland Council. Your name, address, telephone number, email address, signature (if applicable) and the content of your submission will be made publicly available in Auckland Council documents and on our website. These details are collected to better inform the public about all consents which have been issued through the Council.

Please note that your submission (or part of your submission) may be struck out if the authority is satisfied that at least one of the following applies to the submission (or part of the submission):

- It is frivolous or vexatious.
- It discloses no reasonable or relevant case.
- It would be an abuse of the hearing process to allow the submission (or the part) to be taken further.
- It contains offensive language.
- It is supported only by material that purports to be independent expert evidence, but has been prepared by a person who is not independent or who does not have sufficient specialised knowledge or skill to give expert advice on the matter.

Submission on a notified proposal for policy statement or plan change or variation

Clause 6 of Schedule 1, Resource Management Act 1991
FORM 5



Send your submission to unitaryplan@aucklandcouncil.govt.nz or post to :

Attn: Planning Technician
Auckland Council
Level 16, 135 Albert Street
Private Bag 92300
Auckland 1142

For office use only
Submission No:
Receipt Date:

Submitter details

Full Name or Name of Agent (if applicable)

Mr/Mrs/Miss/Ms(Full Name)

Scott Whitten

Organisation Name (if submission is made on behalf of Organisation)

Address for service of Submitter

24 Rhodes Avenue, Mt Albert

Telephone:

21685063

Email:

scottwhitten@rocketmail.com

Contact Person: (Name and designation, if applicable)

Scope of submission

This is a submission on the following proposed plan change / variation to an existing plan:

Plan Change/Variation Number

PC 94 (Private)

Plan Change/Variation Name

Wairaka Precinct

The specific provisions that my submission relates to are:

(Please identify the specific parts of the proposed plan change / variation)

Plan provision(s)

Increased height limits southern boundary

Or

Property Address

Rhodes Avenue

Or

Map

Wairaka sub precinct C

Or

Other (specify)

Submission

My submission is: (Please indicate whether you support or oppose the specific provisions or wish to have them amended and the reasons for your views)

I **support** the specific provisions identified above

I **oppose** the specific provisions identified above

I wish to have the provisions identified above amended Yes No

The reasons for my views are:

I object to the proposed increased height limits on the southern boundary of the Unitec land. 11m with a short setback from the boundary is inconsistent with the existing residential area which is generally 6m or less. This will have major implications for daylight and shading to both 13 and 24 Rhodes Avenue. The Shadow maps forming part of the submission show significant shading from as early as 1pm over the properties (cont.)
(continue on a separate sheet if necessary)

149.1

I seek the following decision by Council:

Accept the proposed plan change / variation

Accept the proposed plan change / variation with amendments as outlined below

Decline the proposed plan change / variation

If the proposed plan change / variation is not declined, then amend it as outlined below.

No increased height limit at southern boundary interface, only within the southern area, that is across the internal roads with no change to the interface at all.

I wish to be heard in support of my submission

I do not wish to be heard in support of my submission

If others make a similar submission, I will consider presenting a joint case with them at a hearing

Scott Whitten
Signature of Submitter
(or person authorised to sign on behalf of submitter)

02/02/2024
Date

Notes to person making submission:

If you are making a submission to the Environmental Protection Authority, you should use Form 16B.

Please note that your address is required to be made publicly available under the Resource Management Act 1991, as any further submission supporting or opposing this submission is required to be forwarded to you as well as the Council.

If you are a person who could gain an advantage in trade competition through the submission, your right to make a submission may be limited by clause 6(4) of Part 1 of Schedule 1 of the Resource Management Act 1991.

I could /could not gain an advantage in trade competition through this submission.

If you could gain an advantage in trade competition through this submission please complete the following:

I am / am not directly affected by an effect of the subject matter of the submission that:

(a) adversely affects the environment; and

(b) does not relate to trade competition or the effects of trade competition.

Continued

Which will lead to less solar gain/warmth, increased dampness and reduced health outcomes associated with this.

At more than double the surrounding area residential housing height, it will also lead to a significant loss of privacy and is totally at odds with the original proposal which was to concentrate the more elevated buildings to the north of the site to alleviate the issues the plan change will cause.

A more equitable outcome would be to apply the increased height across (on the northern side) the proposed new roads only, away from the boundary to the existing residential housing.

As part of the developments ongoing works, there is already a 3 metre high fence erected at a 2m set back from the boundary. This already significantly limits daylight and eradicates view lines to the north. It is unimaginable that it would be perceived as acceptable to apply for or even consider an 11 metre height limit immediately to the north of the existing residential properties along Mark Rd, Raetihi Crescent, Rhodes Avenue and Renton Road.

I believe the proposed plan change has little to do with increasing housing outcomes and more to do with increasing the land value through increased intensification.

I have attached a photo with my submission of the current 3m high fence for reference.

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Patricia Allen
Date: Friday, 2 February 2024 5:00:20 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Patricia Allen

Organisation name:

Agent's full name:

Email address: trishallengz@gmail.com

Contact phone number:

Postal address:

P.O. Box 173

Matakana

Matakana 0948

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

25.4

Property address: 1-139 Carrington Road

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

I am concerned that the Sanctuary Community garden (Sanctuary Mahi Whenua) be preserved as an open space. At the moment 5.1 ha has been identified as potential public open space, but it is not clear where other open space (public or private) will be. The area on which the Sanctuary community gardens and food forest is based is not one of these identified open space areas. I expected it to be shown as an open space area as I understand this area was to be preserved through the sale and purchase agreement between Unitec and the Crown in 2018.

I believe it is vital that food growing and teaching spaces in the city be preserved. This is particularly important as a climate change remediation strategy.

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: Preserve Sanctuary Community Garden as an open space area.

150.1

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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By email: unitaryplan@aucklandcouncil.govt.nz

Attn: Planning Technician
Auckland Council
Level 16, 135 Albert Street
Private Bag 92300
Auckland 1142

FORM 5: SUBMISSION ON A NOTIFIED PROPOSAL FOR POLICY STATEMENT OR PLAN CHANGE OR VARIATION UNDER CLAUSE 6 OF SCHEDULE 1, RESOURCE MANAGEMENT ACT 1991

TO: Auckland Council ("**the Council**")

NAME: Aktive

SUBMISSION ON: Plan Change 94 Wairaka Precinct ("**PC94**")

Submitter details

Simon Tattersfield, Spaces and Places Manager
On behalf of **Aktive**
L2 AUT Millenium
17 Antares Place
Rosedale
Auckland 0632

027 229 8850 simon.tattersfield@aktive.org.nz

Scope of submission

Plan Change 94 (private)
Plan Change Name Wairaka Precinct

The specific provisions that my submission relates to are:

1. The provision and function of the proposed open space.

Background information about the submitter

2. Aktive provides leadership to the Auckland region that encourages, enables and inspires Aucklanders to lead more active lives through play, sport and active recreation. We invest in organisations and projects that will get more people active, with focuses on tamariki, rangatahi, and identified communities.
3. We are a strategic partner of Sport NZ and Auckland Council and we work with and through a number of national, regional and local partners to support community sport, recreation and play in Auckland.
4. As detailed in our Strategic Plan, Aktive's mahi prioritises tamariki (5 to 11 years) and rangatahi (12 to 18 years) and takes an equity focus with investment to strengthen Tāmaki Makaurau's play, sport, active recreation and physical education systems and increase our reach into underactive ethnicities, low socio-economic communities and women and girls.

Submission

My submission is that Aktive wishes to have the provisions identified above amended to include playing fields as part of the proposed open space network.

151.1

The reasons for Aktive's views are:

5. While we support the provision of open space we are concerned that the nature of the open space does not lend itself to organised sport and lacks provision for sports fields.
6. We agree with the Boffa Miskell open space assessment that Council's policy and overall sports field analysis identifies a shortage of formal/dedicated sports fields within the region generally, including the western isthmus.
7. The Albert Eden Local Board area specifically was identified as having a shortfall of full-sized sports fields. The Albert-Eden Open Space Network Plan indicates a shortage of sports fields and on page 15 notes "*depending on the sporting code, Albert-Eden has capacity to meet 52 to 90 per cent of community expected field provision targets to 2028.*"
8. Page 41 of the Albert-Eden Sport and Active Recreation Facility Plan noted the following action as a high priority:
"Engage with Unitec and investigate options to secure indoor courts, National Squash Centre and potential for sports field provision/ acquisition as part of the new housing development."
9. We do not agree with the assertions at paragraph 6.34 that "*dedicated sports fields, for obvious reasons, need to be restricted in terms of casual use by the community so that they are available for organised sports. They are also often access restricted outside these hours, to provide for grounds maintenance or protection and for safety reasons*".
10. Across the Auckland region a significant proportion of our open space network includes sports fields. Open spaces used by grass-based sports such as football, rugby and cricket are fully accessible and available to the public except when practices and games are being played. In that case the non-sports field areas of open space can still be accessed and used for less formal recreation activities.
11. We do not agree that providing sports fields in this location would have poor community outcomes. Sport and active recreation provide significant community benefits.
12. Active NZ Data shows that even with the existing shortage in sports fields in the Mt Albert area 12 per cent of the total population participated in a field-based sport in last seven days, including 41 per cent of 5–12-year-olds and 44per cent of 13–17-year-olds. These numbers are generally at, or below national averages and additional sports fields would help provide equal opportunities to local residents.
13. We do not agree with the statement in paragraph 6.35 that provision of sports fields "*do not meet a community's broader multi-functional open space needs*", as identified above, sports fields are open, multi-use facilities, used by a high proportion of the population.
14. We agree the provision of sports fields needs to be resolved in terms of a regional network, however, not all sports fields need to be regional facilities. There are many sports fields across the region that primarily serve local populations.
15. We believe that sports fields at this location will provide an important overflow to local clubs which will include members of the future community. There is no requirement for a club to be based in this location.
16. We believe the development proposed at the former Unitec Site provides a rare and valuable opportunity to provide sports fields in a highly urban area where there is an identified shortage.
17. Given the density of the proposed development there can be little doubt that many future residents would highly value the opportunity to access sports fields in their

immediate location. This helps to reduce the need to travel by private motor vehicle to access organised sport.

Decision sought

- 18. An amendment to the open space provision to include sports fields.
- 19. The submitter does **not** wish to be heard in support of this submission.
- 20. I cannot gain an advantage in trade competition through this submission.



Signature:

Simon Tattersfield
Spaces and Places Manager
Aktive

Date:

2 February 2024

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Penelope Savidan
Date: Friday, 2 February 2024 5:15:21 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Penelope Savidan

Organisation name:

Agent's full name:

Email address: penelope.savidan@gmail.com

Contact phone number:

Postal address:
19b Wainui Avenue
Point Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Property address:

Map or maps:

Other provisions:
Green space / open spaces / park area

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
We need more green spaces, not less, particularly with such an increase in population due to the development

152.1

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: More green / open spaces / park area

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

Summer splash pads are calling.



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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Bojan Jovanovic
Date: Friday, 2 February 2024 5:15:21 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Bojan Jovanovic
Organisation name:
Agent's full name:
Email address: bojan.jovanovic.nz@icloud.com
Contact phone number:
Postal address:

Submission details

This is a submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Property address:
Map or maps:
Other provisions:
Documents:
1. pc94-attachment-01-planning-report-and-s32-analysis-final(updated).pdf
Section 4.4 Transport network & Diagram 4: Road network
2. pc94-attachment-07.1-transport-additional-information.pdf
Specific Request T3 (page 9-12)

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
There appear to be inconsistencies between the proposed plan to connect the road network from the proposed precinct to the existing roads in the south. The report (Section 4.4 and Diagram 4) propose a full (including vehicles) connection, whereas the supporting documents (Transport Additional Info) suggest there is a "clear cut".
A clear cut is requested to ensure the existing streets are not used for rat running, which they are currently not designed for.

153.1

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: Confirm, clarify and update plans to show a proposed "clear cut" in the road network between the exiting road network south of the precinct and the proposed precinct.

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

Summer splash pads are calling.



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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Helen Ruth Scott
Date: Friday, 2 February 2024 5:15:23 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Helen Ruth Scott

Organisation name:

Agent's full name:

Email address: helenruthscott@hotmail.com

Contact phone number: 0274333339

Postal address:
23 Rossgrove Terrace
Mt Albert
Auckland 1025

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Property address: Te Auaunga

Map or maps: (Unitec reintensified site)

Other provisions:
The change of the plan to the further densification sought.

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
The proposed extent of height, density of population from 1.2 to 2.8 people per dwelling will have a deleterious and undesirable impact on existing resources and existing communities. For example, a 12,000 increased population with no further schooling, no further green zoning, no further roading will dramatically change the nature of our previously calm community. Already, with the extra traffic in Martin Ave and Fontenoy, getting around in my area is often congested, loud, and unpleasant. Mt Albert suffers from a lack of green space, of wide roads, and highly popular schools - already at full capacity. The traffic will dramatically harm the Intermediate.

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

154.1

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

[Summer splash pads are calling.](#)



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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Josephine Williams
Date: Friday, 2 February 2024 5:30:21 pm
Attachments: [Submission_TTC_Plan_Change_94_dec23_20240202172335.982.pdf](#)

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Josephine Williams

Organisation name:

Agent's full name: Jo Williams

Email address: jowilliams111@gmail.com

Contact phone number:

Postal address:
35 Te Ra Rd,
Point Chevalier
Point Chevalier 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Tree assessment and protection

Property address: Property address: 1-139 Carrington Rd

Map or maps: all

Other provisions:
Open space provisions, archaeological / cultural site protection, landscape character, master planning

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
The plan change documentation provided does not adequately attend to the specific provisions identified

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: see attached

Submission date: 2 February 2024

Supporting documents

Submission TTC Plan Change 94 dec23_20240202172335.982.pdf

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

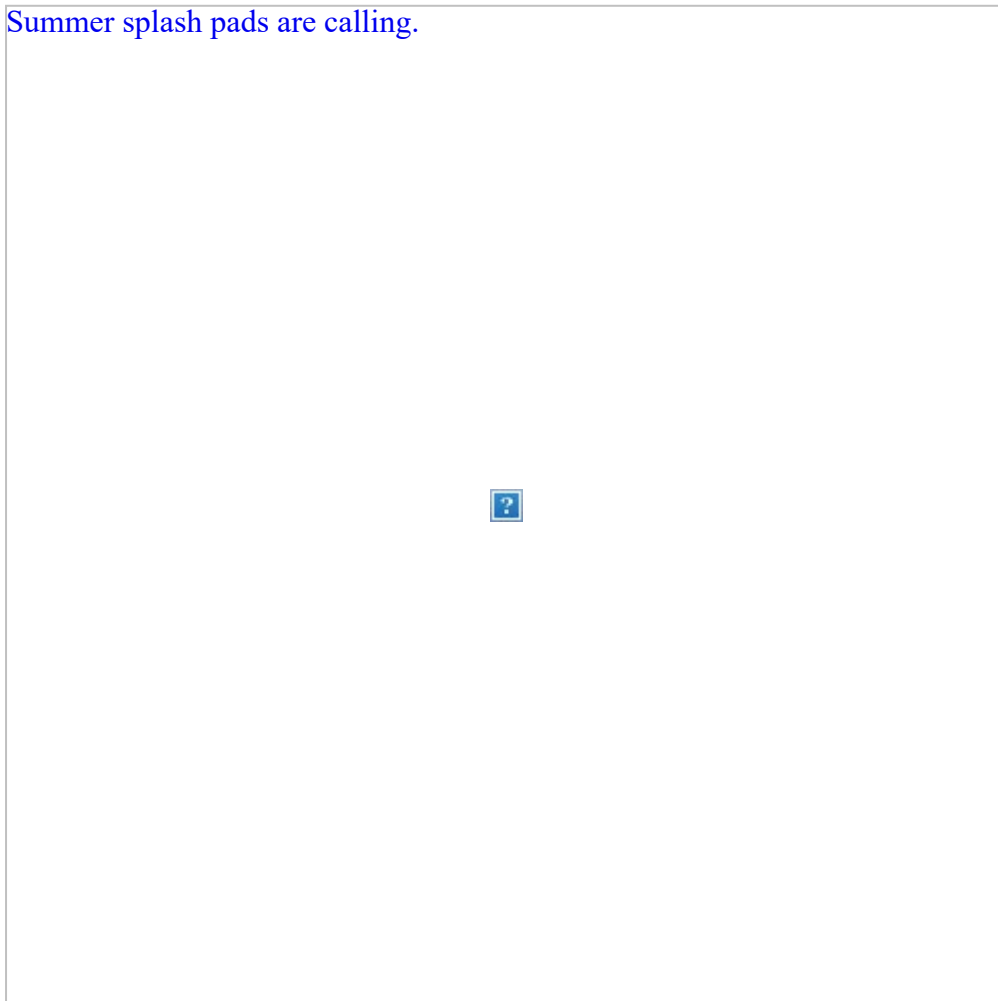
Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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The Tree Council
Tiakina Rākau • est 1986



Submission by The Tree Council on Plan Change 94 Te Auaunga Precinct

12 December 2023

From: The Tree Council
Contact: Dr Mels Barton, Secretary
PO Box 60-203, Titirangi, Auckland 0642
021 213 7779
info@thetrecouncil.org.nz

Preamble

Thank you for the opportunity to present The Tree Council's submission on **Plan Change 94 Te Auaunga Precinct**.

This submission is made by The Tree Council, an independent, voluntary organisation, a non-profit incorporated charitable society which has been serving the Auckland community since 1986 in the protection of trees and as advocates for the significant benefits and services that our trees and green spaces provide.

We wish to speak to our submission if that opportunity is provided.

Submission

Introduction

The Unitec site has long been valued by the local community for its park-like grounds and mature trees. Local people like to visit to walk their dogs, cycle through, picnic, teach their children to drive, go to the gym, grow vegetables and flowers at the Mahi Whenua

Sanctuary garden etc. The site boasted over 2000 trees representing around 200 different species, as surveyed by Unitec landscape architecture staff and students as part of their degree in 2010 -2012 (**Unitec** Institute of Technology. *Unitec's Arboretum*, Advance research magazine, Spring 2013).

In its new iteration as a housing development, it is estimated that around half the trees have been cut down already. This submission by The Tree Council is to put the case for some of the Knoll Open Space to be retained by Unitec to ensure the protection of the trees which make up the landscape context for Building 48, and that a covenant to be placed on the remaining mature trees on the site, to safeguard their botanical, historic and ecological values and ensure future occupants of the houses to be built will be able to enjoy trees of significant grandeur to enrich their lives. It is essential to ensure that the individual trees to be retained are legally protected via covenant or similar to be placed on the LIM of every property before it is sold to private owners, otherwise these trees will be able to be removed incrementally and the overall ecological and amenity value of these public assets for the entire community will be lost.

Our submission is focussed on 7 points:

1. Lack of an arborist's report evaluating the remaining trees and inadequate identification of trees in the Morphem Ecological Assessment
2. Lack of evaluation of the remaining trees against the criteria for scheduling as Notable Trees, as is a legal requirement for all Plan Changes.
3. Lack of tree protection / tree works methodologies
4. Lack of archaeological / cultural site protection
5. Open Space Provisions
6. Landscape character and botanical character around Building 48
7. Lack of a Masterplan to evaluate detailed plans for the open space designs ie. which trees will be retained and a Landscape & Visual Effects Assessment which ignores the role of trees in the internal landscape and amenity of the site.

1. Lack of Arborist's Report

The Morphem Ecological Impact Assessment (A08) contains a map in Appendix 1 that identifies the location of a number of "significant trees". However there is no accompanying table that identifies the species, size, health, condition, or protection (or not) of any of these trees, or any indication of whether the proposed development intends to retain any of them and if so how they will be protected. This is totally inadequate and is not a substitute for an Arboricultural Report compiled by a qualified arborist. This needs to be provided.

The existing list of identified trees in Table I334.6.7.1 of the Wairaka Precinct consent document is totally inadequate as a record of the significant trees on the site. Of the 47 plants listed, 6 are shrubs, 1 is a climber and at least 8 have already been removed.

155.1

2. Lack of Evaluation of Remaining Trees as Notable Trees

The documentation provided should include an arborist’s report, compiled by a qualified arborist, evaluating and specifically identifying the remaining trees and assessing them against the Notable Trees criteria for scheduling in the Unitary Plan. We understand that this is a legal requirement for all Plan Changes so that potential Notable Trees are adequately legally protected in perpetuity as part of the Plan Change. Historically all the trees on the site were protected as part of the education zoning and therefore many of those worthy of scheduling were never nominated or evaluated. Many of these significant trees have already been lost as part of the infrastructure works, which were done without public notification or any opportunity to make submissions. This makes it even more important that evaluation of the remaining trees and scheduling of those qualifying is done as part of this Plan Change.

155.1

3. Lack of Tree Protection / Tree Works Methodologies

The documentation states that the retention of trees on the site will “counterbalance the increased residential density and built scale of development” (Open Space Framework, Appendix 4), while not providing for any process that will ensure the retention and legal protection of any of the trees other than those already legally protected as Notable Trees.

The applicant must provide a tree protection / tree works methodology compiled by a qualified arborist designed to ensure that there are no short or long term adverse effects upon retained trees and that there is a legal process implemented as part of the Plan Change by which all retained trees will be protected in perpetuity. This should include:

- a. scheduling as Notable Trees those evaluated as qualifying against the criteria;
- b. covenanting;
- c. zoning as Open Space, Significant Ecological Area or riparian margin.

155.2

4. Lack of Archaeological / Cultural Site Protection

The Mahi Whenua Sanctuary Gardens is a significant cultural site. Maori gardening implements have been discovered in this area. It is thought to have been continuously gardened from pre-European times. One of these implements is set into the floor of the Marae Pukenga building 171 on the Unitec site. We note that this site is identified as culturally and archaeologically significant in Attachment A11 Archaeological Assessment (R11/3134), however no mention is made of these implements whatsoever. This appears to be a significant omission that needs to be rectified and the protection of the site where they were found prioritised accordingly. We expect this area to be retained and protected and zoned as Open Space. This needs to be made clear.

155.3

5. Open Space Provisions

Referring to A 05. Open Space Assessment

2.3 We note the increase and redistribution of open space proposed from 3.6ha to 5.2ha, but also note that this is only achieved by purchase and rezoning of existing open space from Unitec Te Pukenga which decreases the open space ratio for that institution. Of particular concern are 2 existing open space areas currently part of the Unitec campus. One is the Knoll Open Space adjacent and contiguous as a landscape context to Building 48, and the other is the Sanctuary Garden area to the south of the Te Auaunga Access Park that is home to a very highly valued community garden.

155.4

Northern Open Space

3.3-3.12 There is only one reference to the existing trees within these clauses. The trees are a very strong component of the visual character of the Unitec Building 1 frontage. Clause 3.10 states that “Trees and the existing open space layout can be modified and enhanced, while retaining landscape features of value to the amenity of the open space.” AO4 pg 23 shows 6 trees retained, but there are other significant trees in this area which should be retained.

155.5

Recommendation: That the applicant be required to retain all the significant trees in this area, as determined by a qualified arborist.

Central Open Space

3.20 Landscaping: There is no detail provided as to the design of this space with reference to the sentence “There is opportunity for enhancement with planting of trees and other vegetation at an appropriate scale to support the recreational use and amenity offered by the large open space area.”. As this area has been a sports field with no tree plantings, it would be appropriate to know what the character and location of the proposed planting would be like.

155.6

Recommendation: That the applicant be required to provide a landscape plan for this open space area as part of the plan change documentation.

Te Auaunga Access Park

3.28 Visibility. No mention is made of the adjacent Mahi Whenua Sanctuary Gardens. It seems appropriate to acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens. These highly valued community gardens are utilised by multiple families in the surrounding community and archaeological evidence (see above) suggests that it has been continuously gardened since pre-European times.

155.7

The Mahi Whenua Sanctuary Gardens are shown as part of the Waiohua – Tamaki Rōpū Lots. Why is it not identified as being as Open Space, which we understood had already been agreed with Auckland Council?

155.7

Knoll Open Space

3.34 **Character.** A strong characteristic of this open space is its relationship to Unitec’s Building 48, built in 1896. The building, used for teaching by the School of Architecture has no heritage classification but has strong heritage value nevertheless. Building 48 was the Māori Mental Health unit in the psychiatric hospital era. The Knoll Open Space constitutes the landscape grounds of Building 48. It sits on the ridge with treed lawns rolling down to the north and west of the building to the Spine Road. The Open Space Assessment describes the Notable protected trees appropriately, but neglects to describe that they, and the other trees adjacent relate inherently to the building. As such they should be retained as part of the Unitec campus and continue to be protected as part of the educational precinct around Building 48.

155.8

South Open Space

3.47 This clause states that the open space area has no stormwater function.

3.48 This clause states that about a third of the land comprises an artificial high amenity stormwater pond, that clearly has a stormwater function. These clauses seem contradictory. The heavy clay soil in this area does render parts of it wet and boggy in winter. Perhaps these clauses could be amended to give clarity.

155.9

There is no indication whether these areas of proposed Open Space will be vested / zoned as such in the Unitary Plan. This needs to be done. It would ensure that remaining trees within these areas would be legally protected, providing they survive the development process. This will indicate whether there is in fact additional Open Space being provided by this development or whether existing education land open space is simply being repurposed and counted twice as serving both educational and residential purposes. This is disingenuous.

155.10

6. Landscape and botanical character around Building 48

The open space around Building 48 is a particularly significant area of landscape and botanical value. The treed rolling landscape has elevation, views and grandeur when considered in combination with the building. It is also a hot spot of botanical variety with a wide range of both mature native and exotic trees, planted around the time the building was completed in 1896. This makes them over 120 years old. Of particular note are the scheduled ginkgo, coral trees and jacaranda, but also the rare Japanese tan oak and grove of large natives.

155.11

Recommendation:

That the notable trees around Building 48 remain as part of the Unitec campus, connected to their raison d'être. This would require moving the plan change boundary by 20m to the north of Building 48 to include the notable scheduled *Erythrina crista-galli* (coral tree), *Ginkgo biloba* (ginkgo), and 40m to the west of Building 48 to include the notable scheduled *Jacaranda mimosifolia* (jacaranda) and the stand of 120 year old natives including puriri, pohutukawa, totara and rimu.

155.11

Additionally, a covenant should be required to ensure the trees are retained in perpetuity.

7. Masterplan and Landscape & Visual Effects Assessment

The documentation lacks a masterplan to enable the public to evaluate detailed plans for the open space designs ie. which trees will be retained.

155.12

The Landscape and Visual Effects Assessment prepared by Boffa Miskell, focused almost exclusively on the visual effects of the proposed development from public viewing positions looking into the site. There is very little comment on the amenity provided by the existing mature trees, most of which are not protected. Instead, the Landscape and Visual Effects Assessment relies on new planting and urban design to provide landscape amenity. The report acknowledges that there are Notable Trees on site, but it is not made clear whether the bulk and location drawings have included these trees in the concept plans. In the earlier master planning documents prepared by Boffa Miskell, "high amenity trees" and existing urban ngahere is identified, but the more recent Landscape and Visual Effects Assessment hardly mentions existing trees apart from Scheduled/Notable Trees and the cluster of trees around Building 48 that fall into a green space. They mention that "some trees will be removed" but this is as far as the report goes.

Whilst we acknowledge that most of the mature trees on site no longer have legal protection, from a landscape planning and visual effects perspective, integration of at least some of these trees into the urban design should be considered.

Conclusions:

Our submission limits its scope to insisting that that level of intensification proposed demands balancing with generous open space and large scale vegetation ie. trees.

The Council rightly requires the open space plan to be documented, for the amenity and health of the thousands of people who will come to live in the precinct. However it is noted that this is achieved by removing the open space areas from Unitec campus. Using an old expression - this seems like robbing Peter to pay Paul. Has a calculation of the remaining open space been done for the Unitec campus to ensure it remains sufficient for student and

staff wellbeing? Or is the open space counted for both zones, therefore a kind of double-dipping exercise?

The value of the remaining trees in the precinct is enormous. Amenity, ecology, water management, pollution control and visual character values make mature trees valuable assets in establishing a new development. However the documentation provided is totally inadequate in even identifying the existing trees, let alone evaluating their quality, health and value and identifying how they will be retained and protected.

The track record of the development activities thus far have taken a 'tabula rasa' approach, with tree removal being undertaken wherever conflict arises, without alternative design solutions being considered in order to retain trees. Therefore we have no confidence that this will not continue to be the approach taken, unless the trees are individually identified for retention and given legal protection via either scheduling or covenant, or retained within Open Space provisions as part of the Plan Change. There needs to be a clear plan for how works will be undertaken without damaging the health of retained trees. This is missing.

The trees around Building 48, the Mana Whenua Sanctuary Garden trees and vegetation and the trees in front of Building 1 are all vital green infrastructure on the site and of high value for the residents of Auckland as a whole, not just for this development, as their Notable status demonstrates

The Tree Council considers it imperative that these public tree assets are identified, evaluated and permanently protected and looks for assurance of this protection within the precinct documentation, which is missing at present.

PC 94 (Private): Wairaka Precinct

I do not support the increase in population density in this area, with the now expected population of the area predicted to be around 11,200-12,600 persons, as the infrastructure of the surrounding areas cannot support this amount, nor do I feel there is enough green space. Points to note:

156.1
156.2

- Existing roads will become very clogged with cars, as many of these new persons will bring private motor vehicles. Carrington Rd is already busy during peak periods, especially during University and School Terms, and the only other proposed exits put vehicles onto quiet residential roads that are not made for large volumes of traffic. Having large amounts of extra traffic on these residential roads will also make it less safe for local children who would use them to get to their residences and school.
- Some public transport exists, but the bus routes currently don't provide a direct link to the city and trains, while direct, are a 15min walk away which may deter some from using it.
- Green space: the proposed area of public green space is to be 4.5ha – and this is spread across multiple parcels. This is a relatively small area, and even if the number of persons on the site is reduced, this green space is likely to be insufficient. Also, while there is a request to set back the development 10m from Oakley Creek, this is not very much and there is the potential that the increase in water flowing into the creek and the reduced permeable space will see a rise in creek levels that could impact on properties. It could also impact on the local wildlife in a negative way.
- Education: There is no land zoned for a school in the development, and with hundreds more children likely to be living in the area this will put a huge strain on local school who are already close to full capacity before all the other local housing developments are completed. With no school capacity, this then leads to children missing out on an education and negative social outcomes.

156.3

Phillip Anderson

phillip.brass@gmail.com

From: [Brigitte Lambert](#)
To: [Unitary Plan](#)
Subject: Auckland Unitary Plan submission form - PC 94 (Private): Wairaka Precinct
Date: Friday, 2 February 2024 5:35:10 pm

Hi

The online submission form is too complicated - provisions and rules and dozens of attachments to read!

If the old Unitec site is going to be developed, consideration needs to be given to the effects on the local community given the potential for thousands of dwellings and thousands of people to move into the area. May also be some opportunities to better the area and community:

- Effect on school - will a new school be built? Currently local primary school won't cope with additional pupils. | 157.1
- Water capacity - will sewerage, drainage capacity be upgraded to cope with thousands of people? | 157.2
- Oakleigh Creek - development should not effect the water way and should be set back. Is there an opportunity to better the area? | 157.3
- Traffic congestion getting into and out of the property. Developer should shoulder the cost of any additional road upgrades that may be required (i.e. traffic lights, though no one wants more traffic light on Carrington Road) | 157.4
- Parking needs to be enough to cater for demand | 157.5
- Green spaces - the road running through is actually a beautiful road surrounded by green spaces and big trees (well, in the middle part). Keep the ambience and be mindful that cyclists use that road! | 157.6
- Don't chop down the mature trees
- Will high building have an effect on established Properties or environment in the area?
- What effect will thousands of people have on local infrastructure and amenities?

- I oppose any plan change for high density development - will be too many people, and I doubt accommodating up to 12 thousand people can be done proeptly | 157.7
- I oppose any plan changes that allow for buildings over 27 metres - se above reasoning
- I oppose any plan change that is for Business-Mixed Use - can deliver poor outcomes for future residents | 157.8
- I oppose any plan change that does not include a school - local school won't cope

- I would support a plan change for low density development - opportunity to make it a really awesome new suburb, and not over crowded
- I would support a plan change for residential zoning
- I would support a plan change that includes a school

Thank you!
Brigitte Lambert
021 682 652
226 Meola Road, Pt Cheavlier

From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Cameron Michael Owens
Date: Friday, 2 February 2024 5:45:18 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Cameron Michael Owens

Organisation name:

Agent's full name:

Email address: camowens@gmail.com

Contact phone number:

Postal address:
64 wainui ave
Point chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

.

Property address: .

Map or maps: .

Other provisions:

.

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:
Insufficient infrastructure. Schools will not cope, roads will not cope, public resources already completely stretched.

158.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

[Summer splash pads are calling.](#)



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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Rachel Mulhern
Date: Friday, 2 February 2024 5:45:23 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Rachel Mulhern

Organisation name:

Agent's full name:

Email address: rach.mulhern@gmail.com

Contact phone number:

Postal address:
59 Wainui Avenue
Point Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

.

Property address: Unitec development

Map or maps: .

Other provisions:

.

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:
Insufficient infrastructure, schooling and public resources

159.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Jill chestnut
Date: Friday, 2 February 2024 5:45:23 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Jill chestnut
Organisation name:
Agent's full name:
Email address: chestnut.jill@gmail.com
Contact phone number:
Postal address:
13 springleigh Avenue
Mount Albert
Auckland 1025

Submission details

This is a submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Pc94

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Infrastructure cannot cope, nor can schools.
25 stories will impact ecology and environment nearby. Further exacerbated by the removal of green spaces.
We all have a responsibility to create sustainable environments and concreting the entire place does not support this.
Wildlife and water already suffers at Oakley Creek. This will make it worse

160.1
160.2

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

[Summer splash pads are calling.](#)



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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Dominik Elsen
Date: Friday, 2 February 2024 5:45:25 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Dominik Elsen

Organisation name: Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)

Agent's full name:

Email address: dominik.peter.elsen@gmail.com

Contact phone number: 0278998542

Postal address:
104/1c Oakley Ave
Waterview
Auckland 1026

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

- (a) Rezoning of land acquired by HUD from Unitec from 'Special Purpose: Tertiary Education' to BMU with the land primarily intended for residential development, but enabling a mix of ancillary - Strongly Support activities to create an integrated community. | 161.1
- (b) Proposed amendments to the precinct provisions to promote Māori economic development as a key objective for the precinct. - Strongly Support | 161.2
- (c) Identification of areas within the precinct where additional height can be accommodated. This will enable the precinct to deliver a higher yield than might otherwise occur in the underlying zone, therefore contributing to the Council's growth strategy, as well as more variety in urban form. - Strongly Support | 161.3
- (d) In areas where higher buildings are allowed, additional development controls around wind, separation of buildings, and the maximum dimension of floor plates are introduced. - Strongly Support | 161.4
- (e) Detailed design criteria to ensure all buildings, and particularly the higher buildings, achieve a high quality of design and functionality. - Strongly Support | 161.5
- (f) Proposed amendments to the precinct provisions to equitably redistribute retail provision within the precinct (excluding Sub-Precinct A – the Mason Clinic) due to the redistribution of land from Special Purpose: Tertiary Education to zoning that enables housing development. The same overall retail cap is maintained - Strongly Support | 161.6

Property address: Wairaka Precinct (Te Auaunga Precinct)

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we support the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:

Te Auaunga Precinct Residents and Apartment Dwellers Association strongly supports the proposed plan change. Our motto is "neighbours for more neighbours". The reason for our support is three fold:

1. We support more high quality homes, apartments and associated amenities in the area where we currently live. The increase in height limits and associated housing yield is a great thing for our community because it will allow more people to live sustainable and affordable lifestyles in close proximity to the Te Auaunga River, Point Chev, Mount Albert and with great access to the public transport system .

2. We support the provision of new streets, cycle and walkways and open spaces as set out in the precinct mapping. The provision of new open space and street connections is a great thing for our community as it improves our access to nature and green space.

3. We support the leadership and partnership of mana whenua in the precinct particularly the 13 iwi that make up the Rōpū across the three groupings of Marutūāhu, Ngāti Whātua and Waiohūa-Tāmaki. We strongly support the name change to Te Auaunga Precinct.

I or we seek the following decision by council: Approve the plan change without any amendments

Details of amendments:

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Heritage New Zealand Pouhere Taonga
Date: Friday, 2 February 2024 5:45:25 pm
Attachments: [PC94 - Wairaka Precinct - HNZPT Submission - 2 Feb 2024.pdf](#)

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Heritage New Zealand Pouhere Taonga

Organisation name:

Agent's full name: Alice Morris

Email address: amorris@heritage.org.nz

Contact phone number: 0276840833

Postal address:
Private Box 105 291

Auckland City 1143

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Please refer to the attached document

Property address:

Map or maps:

Other provisions:
Please refer to the attached document

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Please refer to the attached document

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: Please refer to the attached document, in particular Attachment A

Submission date: 2 February 2024

Supporting documents
[PC94 - Wairaka Precinct - HNZPT Submission - 2 Feb 2024.pdf](#)

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

[Summer splash pads are calling.](#)



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2 February 2024

File ref: PC94 AC

Planning Technician, Auckland Council
unitaryplan@aucklandcouncil.govt.nz

Dear Sir/Madam

**SUBMISSION OF HERITAGE NEW ZEALAND POUHERE TAONGA TO PROPOSED PLAN CHANGE 94 –
WAIRAKA PRECINCT (PRIVATE) AT CARRINGTON ROAD, MOUNT ALBERT, AUCKLAND**

To: Auckland Council

Name of submitter: Heritage New Zealand Pouhere Taonga

1. Heritage New Zealand Pouhere Taonga (HNZPT) is an autonomous Crown Entity with statutory responsibility under the Heritage New Zealand Pouhere Taonga Act 2014 (HNZPTA) for the identification, protection, preservation, and conservation of New Zealand's historical and cultural heritage. Heritage New Zealand is New Zealand's lead agency for heritage protection.
2. The focus for HNZPT is for the identification, protection, preservation, and conservation of historic heritage (section 3, HNZPTA) and advocate that historic heritage is fully considered in accordance with section 6(f) of the Resource Management Act 1991 (RMA).
3. HNZPT notes as part of PC94 the Precinct name is proposed to be changed, from Wairaka to Te Auaunga. Accordingly, this submission references the existing Wairaka Precinct as Te Auaunga Precinct (the Precinct).

This is a submission on the following proposed change to the Auckland Unitary Plan (Operative in Part) (AUP):

4. Proposed Private Plan Change 94 (PC94), from Ministry of Housing and Urban Development. PC94 relates to the Wairaka Precinct in Carrington Road, Mount Albert, seeking to change the Auckland Unitary Plan (AUP) as follows, to:
 - rezone a portion of the current Special Purpose - Tertiary Education Zone to Business - Mixed Use Zone.
 - rezone a portion of the current Special Purpose -Tertiary Education to Residential - Mixed Housing Urban.
 - Introduce a revised precinct plan and revised precinct provisions, with the principal change sought being to allow for greater height for residential buildings.



- Rename Wairaka Precinct, to be called Te Auaunga Precinct

5. HNZPT could not gain an advantage in trade competition through this submission.

The specific provisions of the proposal that HNZPT's submission relates to:

- Proposed Policy 30A *Encourage the adaptive re-use of the existing buildings with historic value for retain and other activities*

- I334.1 Precinct Description, proposed paragraph:

A range of building heights are applied across the precinct that recognise the favourable size, location and topography of the land within the precinct. These heights recognise the relative sensitivities of adjoining and adjacent neighbouring properties, with greater height applied to areas where the potential adverse effects can be managed within the precinct. In the north-western corner of the site height is also proposed to act as a landmark for the development, supporting the urban legibility of the precinct.

- Activity Status Table I334.4.1 (A21D) and (A21E)
- Standard I334.6.4 Height
- Standard I334.6.11 Maximum tower dimension – height Area 1 and Area 2
- I334.8.1 and I334.8.2 Assessment – restricted discretionary activities
- I334.10.3 Te Auaunga: Precinct Plan 3 - Te Auaunga Additional Height

The reasons for HNZPT's position are as follows:

6. As a result of the engagement opportunities with the Ministry for Housing and Urban Development (MHUD), Marutahu Ropu, Ngati Whatua Ropu and Waiphua-Tamaki Ropu and HNZPT's participation with the numerous applications since 2022, HNZPT has advocated for the importance of the historic heritage, cultural and archaeological values of the whole Precinct area; and that these values should inform future incremental development of the complex and the Precinct.¹
7. HNZPT's focus is on the entire site's significant pre-1900 historic landscape, recorded archaeological sites, and the pre & post 1900 buildings/structures associated with the 1865 Oakley (as known as Carrington) Hospital complex. In particular, the New Zealand Heritage List / Rārangī Kōrero List No.96, former Carrington Hospital or Oakley Hospital Main Building (Oakley Hospital) - a Category 1 historic place, and a Category A scheduled historic heritage place in Schedule 14.1 Historic Heritage

¹ 2022 resource consent: Carrington Backbone Works (BUN60386270; LUC60386272), 2023 Fast Tracks: Maungarongo RC2 and RC2, Wairaka Precinct Stage 1 and Carrington Megalot Subdivision; Granting of Archaeological Authority 2002-378.



Schedule of the AUP (ID# 01618). a historic place of outstanding heritage significance whose main building was one of the largest public edifices in the country when erected.²

8. HNZPT has assessed the PC94 relevant documents pertaining to application, with input from specialist regional heritage staff, as well as previous commentary HNZPT has provided pertaining to the 2022-2023 proposed developments within the Precinct area. Through PC94, HNZPT continues to seek that the importance of the Precinct's historic heritage and cultural values are recognised and provided for through the proposed changes to the Precinct's planning provisions.

The historic heritage protection of the Oakley Hospital

9. HNZPT supports the retention of the historic heritage scheduling or the extent of place for the Oakley Hospital as shown on the AUP planning maps. However, it is unclear whether the extent of place is actually fully within the proposed Height Area 4 or whether the proposed Height Areas 1, 2 and 4 all come together within Oakley Hospital's extent of place.
10. HNZPT also supports the inclusion of proposed policy 30A to encourage the re-use and adaptation of the Oakley Hospital building.
11. HNZPT supports the provision of the Open Space zoning identified as the 'Northern Park' within the Oakley Hospital's extent of place and encompassing the formal garden setting of Oakley Hospital.

The effects on and mitigation of the proposed heights in Areas 1 and 2

12. Although it is noted that the historic heritage scheduled extent of place is not proposed to be changed, and the planning provisions under Chapter D17 will apply to the use, development and subdivision within the extent of place and Oakley Hospital building, the proposed increases in building heights in Height Areas 1, 2 and 4 do not adequately consider the potential impact on the visual effects to the setting of a Category 1 Listed and Category A Scheduled place.
13. HNZPT is concerned with the proposed height extents adjacent to Oakley Hospital. The proposed heights in the Height Areas adjoining Oakley Hospital need to be considerate of their relationship and interface with the heritage values of this Listed/Scheduled place.
14. HNZPT disagrees with the technical assessments'³ conclusions informing the planning and s.32 evaluation, that there will be no impact on Oakley Hospital because of the retention of the Oakley Hospital's extent of place; and that the effects of the proposed height range from 27, 35 to 72 metres (Height Areas 4, 2 and 1 respectively) will be mitigated through building design as presently set out in proposed Policy 14AA:

Require proposals for new high-rise buildings adjacent to the former Oakley Hospital scheduled historic heritage building to provide sympathetic contemporary and high quality design which enhances the precinct's built form.

15. It is also unclear how, with the proposed planning provisions, the visual dominance and the intended prominence of the tower buildings will not detract from the primacy of the heritage building.

² New Zealand Historic Places Trust, *Historic Buildings of Northland and Auckland*, Wellington, 1989, p.51

³ Historic Heritage; Urban Design and Open Space assessments; and clause 23 responses.



The decisions HNZPT seek Council to make are set out in Attachment A below.

HNZPT wishes to be heard in support of our submission.

If others make a similar submission, HNZPT will consider presenting a joint case with them at a hearing.

Yours sincerely

BHParslow

Director Northern Region

Address for service:

Alice Morris
amorris@heritage.org.nz
PO Box 105 291
Auckland City 1143



Attachment A:

Heritage New Zealand Pouhere Taonga Submission Table to PC94 – Wairaka Precinct (Private)				
Sub point	PC94 Proposed Plan Provision	Support or Oppose	Reason for Submission	Relief Sought
I334. Te Auaunga Precinct				
1	I334.1.1 Precinct Description	Oppose	<p>The wider historic heritage of the Te Auaunga Precinct has not been fully described.</p> <p>Historic Heritage, a matter of national importance (s.6(f), RMA) needs to be recognised within the Precinct. Particularly when the development intent for increased heights and intensification of development the scheduled heritage place.</p> <p>Making a statement within the description ensures clear linkage through into the objective, policies and standards proposed to address the impacts and protection requirements of the Precinct’s historic heritage from inappropriate use, development, and subdivision.</p>	<p>Amend the proposed fourth paragraph in the Precinct Description to include references to the historic heritage values of the site (amendments shown by <u>underlining</u>):</p> <p><i>A range of building heights are applied across the precinct that recognise the favourable size, location and topography of the land within the precinct. These heights recognise the relative sensitivities of adjoining and adjacent neighbouring properties, with greater height applied to areas where the potential adverse effects can be managed within the precinct. <u>The building heights within the Height Areas adjoining and overlaid with the Scheduled Historic Heritage Place - #01618 Oakley Hospital Main Building apply design concepts to provide sympathetic contemporary and high quality design to enhance the Precinct’s built form while mitigating any visual dominance close to the Oakley Hospital Main Building.</u> In the north-western corner of the site height is also proposed to act as a landmark for the development, supporting the urban legibility of the precinct.</i></p>
I334.2 Objectives				
2	I334.2(10)	Support in part	<p>Greater clarity is required through the objectives to identify all of the Precinct’s environmental attributes.</p>	<p>Amend Objective I334.2(10)(b) to incorporate the natural and built, that includes its historic heritage and cultural values, environmental attributes of the Precinct.</p>

162.1

162.2



				Amendments shown by <u>underlining</u> and strike through): (10) An integrated urban environment is created, which: (b) Recognises, protects and enhances the <u>natural and physical</u> environmental attributes of the precinct in its planning and development;	
3	New objective	Support	There are no objectives relating to provide direction for the protection of the historic heritage landscape of the Precinct.	Insert a new objective to provide direction for the protection of the historic heritage landscape of the Precinct to ensure these values are recognised, protected and enhanced.	162.3
I334.3. Policies					
5	I334.3(14AA)	Oppose	Policy 14AA does not provide adequate direction to manage the visual dominance effects from proposed taller buildings on the historic heritage values of the Oakley Hospital; and the increased height will have adverse effects on the heritage place and detract from the primacy of the Oakley Hospital building.	Amend Policy (14AA) to (amendments shown by <u>underlining</u> and strike through): <i>Require proposals for new high rise buildings adjacent to the former Oakley Hospital scheduled historic heritage building to provide sympathetic contemporary and high quality design which enhances the precinct's built form the <u>primacy of the historic heritage building.</u></i>	162.4
6	Policy 30A	Support	Proposed Policy 30A Encourage the adaptive re-use of the existing buildings with historic value for retain and other activities. This policy provides guidance on the protection of Mana Whenua's cultural, spiritual, and historic values are protected and enhanced.	Retain	162.5
I334.4. Activity tables					
7	I334.4.1 (A21D)	Support in Part	The increased heights proposed to be applied throughout the Precinct will impact on the natural and	Retain the activity status Restricted Discretionary Activity.	162.6



			<p>physical environment of the Precinct. Accordingly, it is important to ensure the most appropriate level of assessment is applied and that the decision makers have the adequate discretion.</p> <p>The increased heights proposed to be applied through PC94 within proximity to the scheduled historic heritage place (Oakley Hospital) potentially will impact of the visual primacy of the heritage place. Accordingly, it is important to ensure the most appropriate level of assessment is applied at these interfaces, and that the decision makers have the adequate discretion.</p> <p>While the proposed increase heights in Height Areas 2 and 4 are to provide for greater housing density for the Precinct, HNZPT is concerned that the impacts of those height increases, and the urban design focus does not provide adequate focus on the existing heritage values of Oakley Hospital building and how those values should also be protected.</p>	
8	1334.4.1 (A21E)	Support in Part	<p>The increased heights proposed to be applied through PC94 within Height Area 1 will impact on the natural and physical environment of the Precinct and it is important to ensure the most appropriate level of assessment is applied and that the decision makers have the adequate discretion.</p> <p>While the proposed increase</p>	<p>Amend the activity status from a Restricted Discretionary to a Discretionary Activity.</p>

162.7



			heights in Height Area 1 is to provide for greater housing density and as a 'landmark' for the Precinct, HNZPT is concerned that the impacts of those height increases, and the urban design focus on being a 'landmark' does not provide adequate focus on the existing heritage values of Oakley Hospital building and how those values should also be protected.	
I334.5 Notification				
9	I334.5(1B)	Oppose	Due to the heritage importance of the Oakley Hospital, and HNZPT's concerns with how mitigation of the visual dominance from proposed tower buildings in close proximity to the historic heritage place, HNZPT should be consulted through the design stage of the buildings for Height Areas adjoining with the Hospital's extent of place.	Delete I334.5(1B)
I334.6 Standards				
10	I334.6.4 Height	Oppose	There will be visual dominance adverse effects on the heritage place, and the intended prominence of the towers will detract from the primacy of the heritage building. Standard I334.6.4 does not adequately provide for the direction set through Policy 14AA to manage the visual dominance effects from proposed taller buildings in proximity to the Oakley Hospital.	Further analysis undertaken to ensure greater appropriate standards are formulated to specifically manage the height interface between Oakley Hospital, its extent of place and Height Areas 1, 2, and 4. This may be through the introduction of standards requiring graduated heights and separation distances within Areas 1, 2 and 4 specifically to mitigate the impact the visual dominance of the tower buildings to the western, eastern, and southern area adjoining the extent of place of Oakley Hospital.
11	I334.6.11 Maximum tower	Oppose	There will be visual dominance adverse effects on the heritage place, and	Further analysis undertaken to ensure greater appropriate standards are formulated to

162.8

162.9

162.10



	dimension – height Area 1 and Area 2 and Table I334.6.11.1		the intended prominence of the towers will detract from the primacy of the heritage building. Standard I334.6.4 does not adequately provide for the direction set through Policy 14AA to manage the visual dominance effects from proposed taller buildings in proximity to the Oakley Hospital.	specifically manage the height interface between Oakley Hospital, its extent of place and Height Areas 1 and 2. This may be through the introduction of standards requiring graduated heights and separation distances within Areas 1 and 2 specifically to mitigate the impact the visual dominance of the tower buildings to the western, eastern, and southern area adjoining the extent of place of Oakley Hospital.	
I334.8 Assessment – Restricted Discretionary Activity					
12	I334.8.1 (1B) Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga Additional Height	Support in Part	The assessment criteria standards need to also reference the matters of discretion pertaining to the mitigation of effects of the increase in height on the Oakley Hospital’s historic heritage values.	Amend I334.8(1B)(b)(ii) to read: (amendments shown by <u>underlining</u> and strike through) <i>The degree to which buildings provide sympathetic contemporary and high quality design which enhances the precinct’s built form <u>the primacy of the historic heritage building.</u></i>	162.11
13	I334.4.1(1B) Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga Additional Height	Support in Part		There will need to be consequential changes to the assessment criteria standards if a Discretionary Activity status was applied to 1334.4.1 (A21E).	162.12
Precinct Plan 3 – Te Auaunga Additional Height					
14	I334.10.3 Te Auaunga: Precinct Plan 3 - Te Auaunga Additional Height	Oppose	It is unclear how the Height Areas shown on the Precinct Plan relate to the Oakley Hospital’s historic heritage extent of place. The provision of further detail, through overlaying the extent of place onto the Precinct Plan would assist in articulating the direction being set through proposed Policy 14AA	Amend the Precinct Plan 3 to indicate the Scheduled historic heritage extent of place of Oakley Hospital (Schedule 14.1 ID# 01618).	162.13
Historic Heritage Protection					
15	Schedule 14.1	support	HNZPT supports the full	Retain	162.14



	Schedule of Historic Heritage		retention of the historic heritage provisions for the scheduled Oakley Hospital and its extent of place.	
16	D17 Historic Heritage Overlay	Support	HNZPT supports the full retention of the historic heritage provisions for the scheduled Oakley Hospital and its extent of place.	Retain

162.15

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Rochelle Taylor
Date: Friday, 2 February 2024 5:45:27 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Rochelle Taylor

Organisation name:

Agent's full name:

Email address: rochellednz@gmail.com

Contact phone number:

Postal address:

67 Wainui Ave

Pt Chevalier

Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

All PC94

Property address: All PC94

Map or maps: All PC94

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:

This level of development will have a direct impact to all infrastructure, green spaces, carparks. Not to mention traffic. The list goes on. This level of development can not occur. It will impact council, residents and visitors. All council required provision/responsibilities: infrastructure, green spaces carparks, transport traffic etc can not cope already. Any development of this nature in this location can not occur BEFORE the provisions are in place. Not planned. But in place.

163.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Rochelle Sewell
Date: Friday, 2 February 2024 5:45:28 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Rochelle Sewell

Organisation name:

Agent's full name:

Email address: Rochelle.Sewell@xtra.co.nz

Contact phone number: 021476243

Postal address:
14 Harbour View Road
Point Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
The entire plan change - PC 94

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we support the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
The s32 report does not adequately address the impact that the projected population will have on infrastructure within and adjoining the precinct.

I am primarily concerned about the provision of social infrastructure within the precinct and in the adjoining suburbs. The Council is unable to fund a replacement for the Point Chevalier library at the present time, and yet there do not appear to be any initiatives to provide for much needed community infrastructure in a community that will more than double the resident population in Point Chevalier. The application is being put forward by the Ministry for Housing & Urban Development and yet there is no evidence of collaboration with the Ministry of Education to designate land for new schools, despite existing schools in the surrounding catchment being at or beyond capacity. I believe the applicant / Ministry should be following a similar model to that used at Hobsonville Point where there has been clear collaboration between Crown agencies.

164.1

The community were invited to engage in consultation about the Chamberlain Golf Course over two years ago, with the Council saying at the time that one of the reasons for reducing the current golf course was to accommodate much needed sports fields and recreational space. I would like to see the proposals in the plan change for green space to better align with Council's broader open space strategy.

164.2

I am also concerned about physical infrastructure - the provision of green solutions to absorb stormwater. This includes adequately considered flexible solutions - i.e. "sponge cities" where areas of stormwater overflow can be combined with recreational areas. I'm concerned that there is not a sufficient setback from the river and believe that the Friends of Oakley Creek should be engaged as a strategic partner with Council in determining the setback from the awa.

164.3

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: Reporting on consultation with crown agencies - specifically the Ministry of Education. Provision for social infrastructure in a zoning overlay or similar. A greater setback from Oakley Creek.

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Linda Martin
Date: Friday, 2 February 2024 6:30:20 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Linda Martin
Organisation name:
Agent's full name:
Email address: linda@indietravelmedia.com
Contact phone number:
Postal address:
PO Box 5531
Victoria St
Auckland 1126

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Property address:
Map or maps:
Other provisions:
- height of buildings
- green spaces
- school provision
- distance from Oakley creek reserve

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
I believe that the area should have building heights limited to six stories, in line with the area. This will allow many new dwellings to be built without creating overly tall structures.

- the provision of green space is not sufficient for the number of new residents. | 165.1
- no schools are planned to cater to the needs of the many new residents. | 165.2
- it would be preferable to have more than 10m between the boundary with Oakley Creek Reserve | 165.3
- less important, but I prefer the name Wairaka. | 165.4

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

165.5

Details of amendments: -limit buildings to six stories | add significantly more green space, add a school, shift boundary to 25m from Oakley Creek reserve, maintain name.

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

[Summer splash pads are calling.](#)



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our email, or any effects our email may have on the recipient computer system or network. Any views expressed in this email may be those of the individual sender and may not necessarily reflect the views of Council.

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Brett Colliver
Date: Friday, 2 February 2024 6:30:20 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Brett Colliver

Organisation name:

Agent's full name:

Email address: brettcolliver@gmail.com

Contact phone number:

Postal address:
59 Wainui Avenue
Point Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

.

Property address: Wairaka Precinct

Map or maps: .

Other provisions:

.

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:

Infrastructure is not in place to deal with intensified living

| 166.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Stuart Duncan
Date: Friday, 2 February 2024 6:30:21 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Stuart Duncan

Organisation name:

Agent's full name:

Email address: swduncan78@gmail.com

Contact phone number:

Postal address:
20 Johnstone St
Point Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

.

Property address: .

Map or maps: .

Other provisions:

.

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:
Insufficient infrastructure, schools, roads public services

167.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Tim Strawbridge
Date: Friday, 2 February 2024 7:00:19 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Tim Strawbridge
Organisation name:
Agent's full name:
Email address: tstrawbridge@gmail.com
Contact phone number:
Postal address:

Submission details

This is a submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Property address: Property address: 1-139 Carrington Road
Map or maps:
Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Education Facilities:

No plans or new school zones are in place to enhance or establish additional local educational institutions and services that can support the increasing population. The existing schools lack the capacity to accommodate the influx of new students.

168.1

Density & building heights:

The magnitude of this development is comparable to that of a small New Zealand town but with the density typical of a Central Business District (CBD). This development is inconsistent with the proposed area, which is ill-equipped to handle such a substantial increase in population. The proposed height increase to 72 meters is incongruous when compared to any area outside the CBD.

168.2

Open Spaces:

There seems to be five open spaces, totaling 5.1 hectares, for potential vesting to Auckland Council. However, this falls short of the 7.7 hectares specified in the 2019 Reference Plan, which

168.3

was based on the 26.6 hectares of the area. Additionally, the 2019 document designates an extra 3.56 hectares as road reserve.

Subsequently, an additional 10.6 hectares were acquired in the precinct. Nevertheless, there is a lack of clarity on how much of this new space will contribute to the overall open space. Currently, 5.1 hectares have been designated as potential public open space, but the locations of other open spaces, whether public or private, remain uncertain. Notably, the region housing the Sanctuary community gardens and food forest is not among the identified open space areas. I expected its inclusion as open space, given my understanding that this area was intended to be preserved according to the sale and purchase agreement between Unitec and the Crown in 2018.

168.4

Zoning:

If these are intended as homes, then they should be zoned Residential. The proposal to rezone large areas to Business-Mixed seems like a strategy to increase density in the development without delivering a well-designed urban residential environment. This also encompasses setbacks from roads and streams, we do not want very large buildings built hard up to roads and streams.

168.5

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Michael Tilley
Date: Friday, 2 February 2024 7:00:23 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Michael Tilley
Organisation name:
Agent's full name:
Email address: michaelrobtalley@gmail.com
Contact phone number:
Postal address:
106a Moa Road
Point Chevalier
AUCKLAND 1022

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
The re-zoning to add more townhouses and increase the height of buildings.

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:
The surrounding infrastructure will not cope with even more houses. Between the KO building next to Saint Francis School and this there will be massive stress on the roads and other infrastructure.

169.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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Plan Change Number: Plan Change 94 (private)

Plan change name: Wairaka Precinct

To: unitaryplan@aucklandcouncil.govt.nz

Attn: Planning Technician

Submitter Details: - John Stevenson

Address : 48 Fife Street, Westmere, Auckland

Phone : 09 3787991

Email : john.stevenson@outlook.com

Submission

Name Change

This private plan change request applies to the existing Wairaka Precinct. This plan change seeks to rename this precinct the Te Auaunga Precinct.

I oppose this proposal to change the name of the Wairaka Precinct

170.1

The name 'Wairaka has historically important connections to this site, particularly to Maori but also to pakeha. Wairaka was a female ancestor, with links to numerous iwi, who lived here and is commemorated in the naming of the stream that flows through the precinct, and in the puna or springs that contribute to the awa. It should be retained for the precinct because of its historical and cultural significance, and because it is a significant feature of the area.

It should be noted that a large part of the water flow in the Wairaka stream is contributed by sizable springs, located in the area near the community gardens, that have not been identified in any of the documentation regarding the site development or assessments of environmental effects. They were confirmed to exist and revealed during 'daylighting' work on the stream. They were undoubtedly an important source of fresh water for Maori who lived nearby, for both daily living and for horticultural production, as is evidenced by finds of pre-European cultivation implements in the community gardens, and by legend, describing how Wairaka, when living here, stamped her foot in anger and caused drinking water to flow from the ground. These springs were certainly also important for Pakeha as the source of water for early settlement in the area. The location of the Pumphouse, built in the early 1900's would confirm this.

The proposed name of Te-Auaunga is not appropriate for this precinct as this is the original Maori name of Oakley Creek which is some distance away to the west and is a waterway that flows from Hillsborough, through Mt Roskill and Waterview to the Waitemata by the Western motorway causeway, near Pollen Island. It is not within the boundaries of land in question, whereas the Wairaka stream is, for almost its entire length.

The Te Auaunga name is generally understood to translate as a reference to 'swirling waters', a name perhaps with less meaning than the reference to an important forebear. It is also found in the name of Nga Ringa o te Auaunga/ Friends of Oakley Creek, an organisation that has worked tirelessly for many years to protect and enhance Te Auaunga along its whole length. I believe this organisation, as the prior bearer of the name, which was gifted to them by iwi, and which they hold

as a taonga, would be better served by retaining the distinction from the current development so that its crucial work is not confused in the mind of the public.

The applicant has given no reason for the name change proposal.

Open Space allocation and Master plan

170.2

We submit that planning for the precinct must include a requirement for a comprehensive Master Plan which details public open space, with specifics of location, area, intended use, facilities to be included, accessibility by the public, etc. Currently existing plans are unclear on the amount and location of open space, and it is feared that it is inadequate for the intended population of the precinct and insufficient to meet the planning requirements for projected 12,000 residents. Additional open space should have been allocated after the area of the precinct was enlarged by the purchase of additional land from UNITEC, but it appears that there is now less rather than more.

It should also be noted that the Crown has a signed agreement in the original sale and purchase document transferring the land from Unitec (section 26.4 Sale and purchase agreement 2018) that safeguards the Community Gardens as open space. This legal document appears to have been ignored in current indicative plans. The crown has an obligation to retain the Mahi Whenua Sanctuary Gardens and Food Forest as open space, functioning as they currently do for the benefit of the community.

170.3

Stormwater Management and Stream protection

170.4

I submit that stormwater management plans to manage the stormwater and potential flooding in the precinct must specifically protect the Wairaka springs/puna, the Wairaka Stream/awa, and the water quality and aquatic life of these waters. The 'daylighting' work should be completed and should ensure that the springs in the vicinity of the pumphouse and community gardens are returned to a natural state, are not re-buried and that the clear natural spring waters are not contaminated by other sources. These springs and streams can again become a significant, attractive feature of the precinct that highlights both the human and natural history of the site and contribute to the quality of life of residents. Stormwater management must also protect the waterways of Te Auaunga awa and the Motu Manawa Marine reserve which receive water from the precinct.

Protection of Significant Ecological Areas and Te Auaunga/Oakley Creek

170.5

Setbacks and overshadowing

We submit that the '*setbacks from the natural and sensitive environment*' apply to all SEA land, both within the precinct and on Te Auaunga (the awa / valley) to ensure the protection of the SEA's and the potential for greater restoration and ecological enhancement of these valuable areas.

We submit that the protection of Te Auaunga (the awa / valley) from the impact of overshadowing, light spill and passive surveillance from tall buildings is essential – We request that buildings on the border with Te Auaunga (the valley) conform with 27 (c) 'graduated building heights' ... with 'higher buildings away from the precinct boundary' to ensure the 'valley' is maintained as a quiet, restful and healing natural environment that the public can continue to enjoy, and to protect the native fauna.

Tall buildings intruding into the landscape of the Te Auaunga stream reserve land degrades its natural character, interferes with the environmental ecology, flora, and fauna of the reserve. It puts

particular pressure on the birdlife of the creek, on both the birds that nest here and the birds that migrate through. The creek is an important part of the wildlife corridors of the isthmus. The greatly increased housing density inevitably brings great pressure on the ecology, with destruction of habitat and food sources, introduction of alien predators such as cats and disturbance of the natural balance and lifecycles of the native species that live here

Protection of Natural Heritage and Geological Features

170.6

Springs and waterways

We request that the plan ensure full protection and enhancement of the awa, aquifers and puna / springs, and other geological features. This includes the sensitive and culturally appropriate treatment of Te Wai Unuroa o Wairaka, and the two spring / puna that were uncovered as part of the daylighting works of the Wairaka Stream. The source of these springs should be further investigated and further daylighting of them undertaken as part of the 'daylighting' of the stream. They must not be covered up again. As referred to above when discussing stormwater management, and the name change they are a significant historic and cultural feature of the precinct.

Basalt outcrops

The Basalt outcrops found within the precinct are important remnant of the deep geological and volcanic history of the site and should be protected as important landforms characteristic of the volcanic origins of the Auckland isthmus. In addition to their geological significance, they are also the type location of rare native lichens identified by UNITEC botanists. Destruction of these outcrops may result in the extinction of these rare native organisms.

Trees and vegetation

The grounds of the former UNITEC campus contained an arboretum of numerous significant trees, both native and exotic. Many of these trees were unfortunately destroyed under the fast-track provisions of the legislation that facilitated the enabling works currently proceeding in the precinct. Some however remain and include the important collection of trees at the Mahi Whenua Sanctuary Gardens and Food Forest. The preliminary plans and reports seem to dismiss the remaining trees as of no importance as they are either not native or of little value. Most of the trees are mature specimens and provide real amenity value, shade shelter and food, for human residents and food and habitat for birds and other wildlife. Exotic trees cannot be dismissed as of no value merely because they are not native. It would take many years for any new planting to reach a similar size so as to be able to provide such valuable tree assets to the precinct

Thank you for the opportunity to submit on this proposed plan change.

John Stevenson

1 February 2024

Other submissions:

I support the submissions of:

- Sanctuary Mahi Whenua
- The Tree Council
- Birds New Zealand
- Nga Ringa o te Auaunga – Friends of Oakley Creek

From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Philippa Martin
Date: Friday, 2 February 2024 7:15:17 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Philippa Martin

Organisation name:

Agent's full name:

Email address: philippamartin@xtra.co.nz

Contact phone number:

Postal address:

1022

Pt chevalier

Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Opposing PC94

Property address: Unitec carrington rd

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Infrastructure of local area cannot cope with services and schooling and shops - transport and cars | 171.1
will not be able to carry this loading if additional housing and we need more green spaces. In an | 171.2
area with a lot of unfill housing

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Diana McKergow](#)
To: [Unitary Plan](#)
Subject: Wairaka Precinct
Date: Friday, 2 February 2024 7:35:19 pm

Kia ora

I would love to see the Mahi Whenua Sanctuary Gardens being incorporated into the design. | 172.1

As this is a wonderful space for the community to grow Kia and it provides a holistic space for many people.

Also to insure that cycle paths are included in the plan. | 172.2

Diana McKergow

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Alexandra
Date: Friday, 2 February 2024 7:45:29 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Alexandra
Organisation name:
Agent's full name: Alexandra
Email address: alexandravfarrell@gmail.com
Contact phone number:
Postal address:
90 walker road
Point Chevalier
Auckland 1022

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
We don't have the infrastructure in or Chev to cope with this!

173.1

Property address: Walker road

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Safety of the community and our children with an already dire hub

173.2

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Evie Mackay
Date: Friday, 2 February 2024 7:45:31 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Evie Mackay

Organisation name:

Agent's full name:

Email address:

Contact phone number:

Postal address:
10 Boscawen street
Point Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Oppose PC94 because schools can't cope traffic can't cope, no. Infrastructure.

| 174.1

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Oppose PC94 because schools can't cope traffic can't cope, no. Infrastructure.

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Morgan O'Hanlon
Date: Friday, 2 February 2024 7:45:32 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Morgan O'Hanlon

Organisation name:

Agent's full name: Morgan O'Hanlon

Email address: morganbatty@gmail.com

Contact phone number:

Postal address:
2/105 Moa Rd
Point Chev
Auckland
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

I oppose the submission PC94 because the roads, traffic, infrastructure and schools can not cope.
We need more green spaces not less.

175.1
175.2

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

I oppose the submission PC94 because the roads, traffic, infrastructure and schools can not cope.
We need more green spaces not less.

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

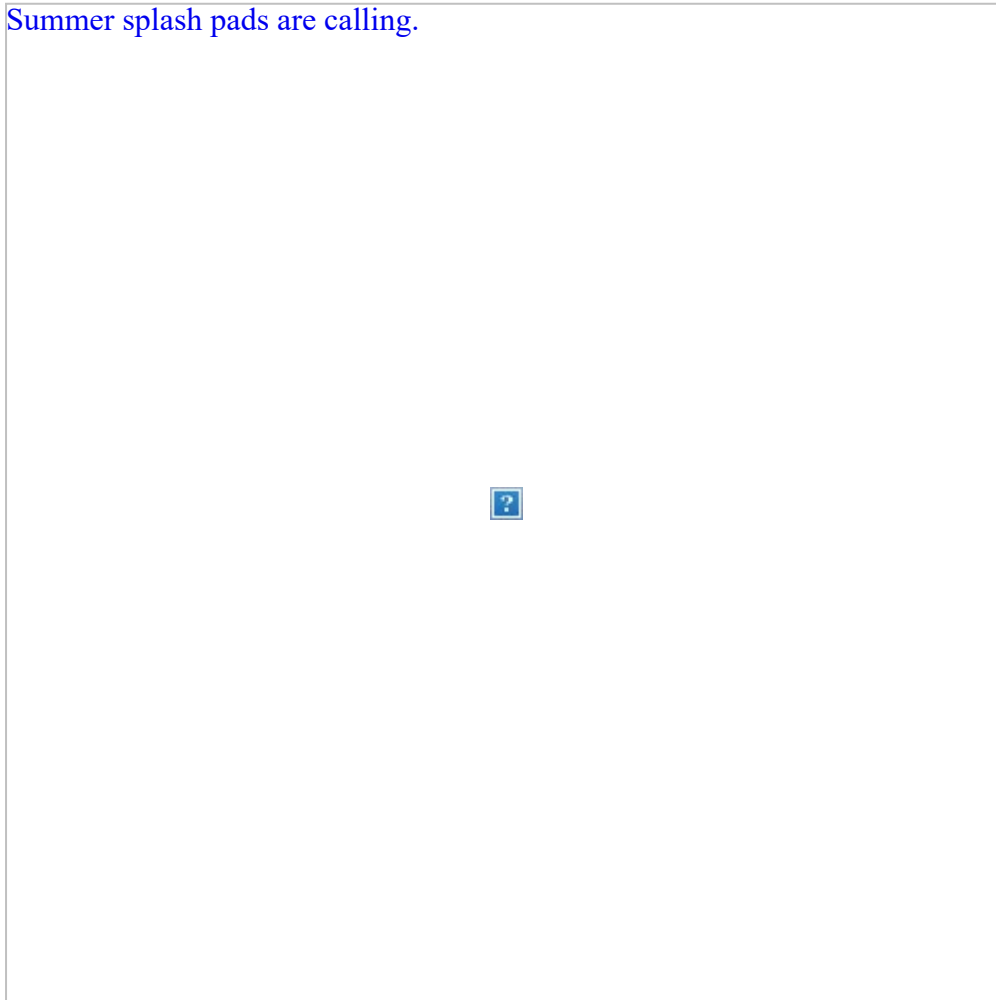
Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Matt
Date: Friday, 2 February 2024 7:45:33 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Matt
Organisation name:
Agent's full name:
Email address: mattfarrell86@me.com
Contact phone number: 021340999
Postal address:
90 Walker rd
Pt Chev
Auckland 1022

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
PC94
Property address: 90 walker rd, pt Chev
Map or maps:
Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Do not go ahead with the United development.
The council is approving and ruining the city.
Absolute butchers

176.1

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: As above

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

Could you gain an advantage in trade competition through this submission? Yes

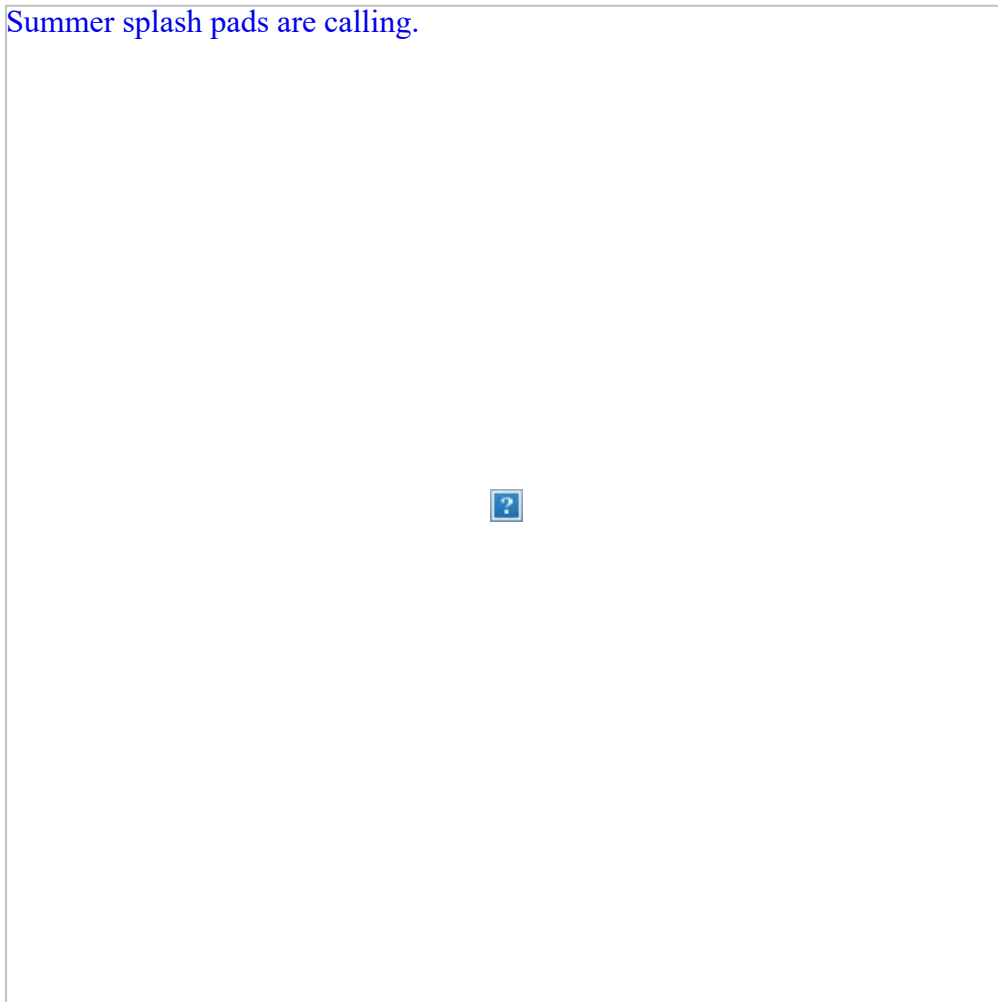
Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Kerrin Brown](#)
To: [Unitary Plan](#)
Subject: Carrington Road development
Date: Friday, 2 February 2024 7:58:20 pm

Hello,

I would like to make a submission around the proposed changes to the planned development.

It now appears that the development has increased to 6000 homes/apartments. The development height has been adjusted and little if any consideration has been given to the surrounding suburbs, infrastructure, transport, schooling, flood protection, and crime.

Let's start with Infrastructure. Will 6000 new home effectively end up using the already at capacity waste water pipes? What plans are in place to ensure the old system is up to handling the flow of waste water from all the new homes and be able to handle rain water that will no longer have green space to absorb it. This seems to be an ongoing issue within Auckland where we are replacing green space with concrete and wonder why we flood.

177.1

Transport.....where will residents park. NZ has a geography where we need cars to get around to live the outdoors life that we do. Whether it be the beach/mountains or forest. We all need cars to access that. We can't change the outdoors lifestyle of new Zealanders and we certainly don't have a public transport system to allow such adventures. So assume each home has at least 1 car what provision has been made for parking. How will electric vehicles be charged...extention cord out a window and across the road. How will Carrington road and the surrounding streets cope with the traffic flow? An additional 6000 cars at least using those roads.

177.2

Schooling...where are all the kids meant to go to school. All schools in the area are already close to capacity and considering AT sold the land adjacent to waterview primary to okham, that school is now land locked from expansion. An example of short sightedness. If waterview is the zoned school how will it accommodate such an influx. How will the streets of waterview and the proposed changes to Great North Road and the restriction of access to the suburb impact. Why has the proposed school been removed from the plans?

177.3

Flood protection...with the removal of beautiful mature trees, removal of the community gardens what plan is in place for flood protection. Removing the community garden is destroying to those that have vested so much into it and what it provides for the community. It is a place for mental revitalization where those who don't have a garden can grow their own produce for themselves and the community. It has a sense of belonging and contributing with is viral for mental health.

177.4

Crime....as the community of point chev and waterview has experienced, a lack of lockable parking increases crime. Daily break ins of cars parked on streets. Not only is this inconvenient but is also an invasion of peoples lives. Anyone who has been a victim knows the feeling of invasion. Much like waterview it will become an outlet for unregistered vehicles to hoon around which nothing is done about.

177.5

Where will rubbish bins go and how will the trucks navigate round the development.

177.6

The height of the build is unprecedented in the community. As with Okham Avondale

177.7

many get no natural light, they look into neighboring apartments and become depressive. How has the impact of this on mental health been addressed.

I appreciate your time reading this submission. All I hope for is that all aspects of this is communicated across all of council and CCO's before decisions are made so that the end product is well thought through and an asset to the community rather than a headache.

Kerrin Brown
Oakley Ave
Waterview

Sent from my Galaxy

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Malcolm Lay
Date: Friday, 2 February 2024 8:00:16 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Malcolm Lay
Organisation name:
Agent's full name:
Email address: malcolmr.lay@gmail.com
Contact phone number:
Postal address:

Submission details

This is a submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Additional Height
Property address: Carrington Rd
Map or maps: All
Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Infrastructure will not cope | 178.1
Traffic will not cope | 178.2
Green spaces will be lost | 178.3
No parking

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Phil Chase
Date: Friday, 2 February 2024 8:00:22 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Phil Chase

Organisation name: Liveable Communities Inc

Agent's full name: -

Email address: liveablecommunities@gmail.com

Contact phone number: +644210530004

Postal address:
PO Box 15605 New Lynn
New Lynn
Auckland 0640

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

All the lack of Planning, recreation, tree protection, notable trees, open spaces, archaeological / cultural site protection, historical Council undertakings, and lack of an effective Landscape & Visual Effects Assessment

Property address: Unitec site, Carrington Road, Mount Albert.

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

LiveableCommunities Inc
PO Box 15605, New Lynn, Auckland 0640.
Liveablecommunities@gmail.com

LiveableCommunities is an inter-neighbourhood community organisation based in central-western Auckland. We advocate on matters of community concern encompassing liveability, sustainable transport, safety, recreation, natural environments and amenity values.

Submission on:

Auckland Council : Plan Change 94 Te Auaunga Precinct Proposals.

1. Introduction

Thank you for this opportunity to submit on this plan change.

2. Historical significance of the site

Many of our members are familiar with the Unitec site in Mount Albert. Some have worked there in the past and a large proportion of the community use the site for recreation, walking, enjoying the bird life and mature trees – a natural haven away from the urban jungle.

When the extension of State Highway 20 (SH20) from Mount Roskill was mooted and planned (2004-2009), the Unitec site was outlined by NZTA/Waka Kotahi and Auckland City as an alternative site for Owairaka/ Mount Albert/Waterview communities to use for recreation and open space. It was a sizeable open area and park-like environment with many mature trees, birds, and a good measure of tranquility.

This 'parkland exchange' happened because we were losing (and have now lost) most of the extensive Alan Wood Park along Oakley Stream in Owairaka, which has become the SH20 motorway.

Now in 2023-4 our communities face the loss of much of the Unitec open space to housing and development, as well. Auckland Council seems to have no historical understanding of the events surrounding the construction of SH20 and the effects on people of the steady, consistent erosion of urban parkland and natural areas.

At a time when Auckland City's population is increasing by tens of thousands every year, we are losing open spaces and parks. And we are not gaining new ones. Where is the visionary urban planning for a liveable Auckland?

3. Permanent open space and tree protection

The work that has been carried out on the Unitec site to date has resulted in trees and open areas being lost. This has been done without any serious consultation with the local communities or interested parties. Why has Auckland Council allowed this to happen?

The open space that now remains in Unitec should be fully protected and all the remaining trees included. Open space must be protected and enhanced in order to conserve the ecological and nature values of the land, for its own intrinsic worth, along with recreational use by the communities. Native forested areas play such an important role in protecting our indigenous flora and fauna. We oppose the establishment of open spaces for any more sports fields on the site, as there are many local playing fields in the surrounding areas. It is the passive open space and the protection and regeneration of natural native forest sites that we desperately need amid our urban landscapes.

179.1

Full open space protection should be by covenant or similar to be placed on the LIM of every site property before it is sold to any private owners. We need to ensure that the remaining trees are not able to be removed incrementally and the overall ecological and amenity value of these public assets for the entire community are not slowly lost. A zoning of Open Space must be implemented on the site areas.

It is our understanding that with Plan Changes there is a legal requirement for the evaluation of the trees by a qualified arborist, in conjunction with the scheduling of the Notable Trees listing. Why has this not been completed?

179.2

4. Archaeological sites protection

At least one significant archaeological and cultural site has been identified. This needs to be kept and given full protection with an open space zoning.

179.3

5. Overall plan

The development documentation needs to have an overall plan for the site, and include established trees and areas to be open space, and needs to incorporate community input in this regard.

179.4

The Landscape and Visual Effects Assessment prepared by Boffa Miskell, barely commented on the amenity provided by the existing mature trees, most of which are not protected. Instead, their Assessment relies on new planting and urban design to provide landscape amenity values. This is a serious failing. There needs to be a comprehensive plan which focusses on the protection of the existing trees and the protection of open spaces for the purpose of conserving and enhancing our native flora and fauna.

6. Support

Our organisation fully supports the Tree Council submission on Plan Change 94.

Thank you for this opportunity to submit on this important local issue. We would like the opportunity to present our submission at the hearing.

Phil Chase
Spokesperson
0210530004
Liveablecommunities@gmail.com

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: As above

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Jo tilley
Date: Friday, 2 February 2024 8:15:16 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Jo tilley

Organisation name:

Agent's full name:

Email address: joeliason@gmail.com

Contact phone number:

Postal address:
106a Moa road
Point Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
PC94

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Schools can't cope, traffic can't cope, and there is no infrastructure to support this!

180.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Marcus Cameron
Date: Friday, 2 February 2024 8:15:16 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Marcus Cameron

Organisation name:

Agent's full name:

Email address: marcusmc74@gmail.com

Contact phone number: 0212979025

Postal address:
12 Raetihi Crescent
Mt Albert
Auckland 1025

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Activity Table Development (A27), (A28) and (A29) and associated Assessment criteria regarding the extension of the existing southern roads into the precinct
Public Open Space

Property address:

Map or maps: I334.10.1 Te Auaunga: Precinct plan 1

Other provisions:
Southern roading Connections
Integrated Transport Assessment
Public open space

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

There is a Lack of clarity about whether the development still has the potential to create a through road from the southern streets around the back of the Unitec campus which could then join onto Carrington Road and create a rat run. Neither the existing precinct objectives and rules, nor those proposed in the plan change, specifically prohibit vehicular connectivity from the southern existing residential roads into the northern part of the precinct and this creates significant uncertainty and angst for the local community. The precinct provisions should therefore explicitly rule out any connection between the northern and central areas of the precinct (in this regard including the Unitec tertiary education area) and the southern

181.1

residential zones within the precinct and explicitly state that only an extension of the existing southern cul-de-sacs be allowed for vehicles into the southern residential zone within the precinct. Walking and cycling connections should still be provided for.

There is a Lack of clarity and significant remaining ambiguity about how and when streets to the south of the site (including Rhodes Ave, Raetihi Crescent and Mark Road) will be affected by the change in landuse, the various construction stages (including construction traffic itself) and the ongoing traffic management and parking post the various stages of development, and lack of clarity about how this will be appropriately managed.

181.2

The number of dwellings has increased significantly but the number of parking spaces has remained the same. To attempt to mitigate the risk of this creating spillover parking in the southern streets Residents only parking is proposed but there is a lack of clarity about how this would work and be enforced. Either parking spaces should be increased, public transport capacity and connections strengthened, or the number of dwellings reduced.

There is a lack of clarity regarding the nature and timing of upgrades to Carrington road and implications for the constricted bridges at Pt Chev and Mt Albert Shops and the level crossing on Woodward Road. Significant upgrades (including widening the bridges and grade separation for the rail crossing) to all of these elements will be critical to the outcome of any development on the site at the scale proposed but have not been included in the Carrington Road upgrade proposal or future plans.

181.3

There is a lack of integrated forward planning and only limited analysis of the effects that the change in landuse and subsequent intensification will have on local amenities, community facilities, public open space, schools, water quality (including for Oakley Creek and Pollen Island Marine reserve) and flooding. There is a clear need for additional public open space including more neighbourhood parks and sports areas.

181.4

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: as described in the reasons for my views box

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Nina Patel
Date: Friday, 2 February 2024 8:15:17 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Nina Patel
Organisation name:
Agent's full name:
Email address: ninapatel@xtra.co.nz
Contact phone number: 0272265221
Postal address:
ninapatel@xtra.co.nz
avondale
avondale 1026

Submission details

This is a submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Property address:
Map or maps:
Other provisions:
Height/ Open Space/ Precinct Provisions

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

I would like the proposed development and any precinct provisions to provide greater consideration of the existing remaining landscape character of the site and its unique properties integrated into any future development.

182.1

I value this area that serves the wider community including people like myself who live further west and bike through here on an almost daily basis. As we lack quality park areas in our neighbourhood with mature trees this area has long been considered one of the few places where we can experience this in close distance and enjoy the shade and shelter mature trees provide. I consider all steps need to be taken to prevent any further loss of any quality trees both native and exotic.

182.2

The current development underway at the other parts of the site and the sheer number of trees already felled within the site area (including some that weren't supposed to be?) gives me little confidence the proposed precinct will meet the high level of amenity anticipated for such an

intensive development.

The lack of care in the felling of the trees and the ongoing vandalism of the award winning Mitchell Stout Landscape and Plant Science Building further reduces my confidence in any future construction and development to value what is already here.

As a result I would like greater protection and integration of more mature trees within the Precinct Plan and planning process to better reflect the unique landscape setting that makes up this large site and help ensure ongoing amenity of the wider area and compensate for the proposed increase in density.

182.2

I also generally support the comments made in the submission by the Tree Council.

As with Tree Council the retention of the Mahi Whenua gardens would be in keeping with the remaining character especially given its proximity to the Landscape and Plant Science Building which I understand will be kept. I note that the soil quality on this part of the area is unique and valuable and should play a role in supporting a growing community.

182.3

Proposed height change- I have yet to look at this in close detail. From an initial view I consider greater building setbacks from Carrington Road should be required for any additional height and more landscaping along the street frontage. Again if any of the mature trees could be retained this would also help better integrate the development into the wider existing context.

182.4

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: As above

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission? Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Sandesh Heinicke
Date: Friday, 2 February 2024 8:15:20 pm
Attachments: [Submission TTC Plan Change 94 dec23_20240202201146.723.pdf](#)

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Sandesh Heinicke
Organisation name:
Agent's full name:
Email address: sandesh.heinicke@gmail.com
Contact phone number:
Postal address:

Submission details

This is a submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Tree assessment and protection
Property address: 1-139 Carrington Road
Map or maps: All
Other provisions:
cultural site protection, landscape character,

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
The plan change documentation provided does not adequately attend to the specific provisions identified

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: see attached submission

Submission date: 2 February 2024

Supporting documents
[Submission TTC Plan Change 94 dec23_20240202201146.723.pdf](#)

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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The Tree Council
Tiakina Rākau • est 1986



Submission by The Tree Council on Plan Change 94 Te Auaunga Precinct

12 December 2023

From: The Tree Council
Contact: Dr Mels Barton, Secretary
PO Box 60-203, Titirangi, Auckland 0642
021 213 7779
info@thetrecouncil.org.nz

Preamble

Thank you for the opportunity to present The Tree Council's submission on **Plan Change 94 Te Auaunga Precinct**.

This submission is made by The Tree Council, an independent, voluntary organisation, a non-profit incorporated charitable society which has been serving the Auckland community since 1986 in the protection of trees and as advocates for the significant benefits and services that our trees and green spaces provide.

We wish to speak to our submission if that opportunity is provided.

Submission

Introduction

The Unitec site has long been valued by the local community for its park-like grounds and mature trees. Local people like to visit to walk their dogs, cycle through, picnic, teach their children to drive, go to the gym, grow vegetables and flowers at the Mahi Whenua

Sanctuary garden etc. The site boasted over 2000 trees representing around 200 different species, as surveyed by Unitec landscape architecture staff and students as part of their degree in 2010 -2012 (**Unitec** Institute of Technology. *Unitec's Arboretum*, Advance research magazine, Spring 2013).

In its new iteration as a housing development, it is estimated that around half the trees have been cut down already. This submission by The Tree Council is to put the case for some of the Knoll Open Space to be retained by Unitec to ensure the protection of the trees which make up the landscape context for Building 48, and that a covenant to be placed on the remaining mature trees on the site, to safeguard their botanical, historic and ecological values and ensure future occupants of the houses to be built will be able to enjoy trees of significant grandeur to enrich their lives. It is essential to ensure that the individual trees to be retained are legally protected via covenant or similar to be placed on the LIM of every property before it is sold to private owners, otherwise these trees will be able to be removed incrementally and the overall ecological and amenity value of these public assets for the entire community will be lost.

Our submission is focussed on 7 points:

1. Lack of an arborist's report evaluating the remaining trees and inadequate identification of trees in the Morphem Ecological Assessment
2. Lack of evaluation of the remaining trees against the criteria for scheduling as Notable Trees, as is a legal requirement for all Plan Changes.
3. Lack of tree protection / tree works methodologies
4. Lack of archaeological / cultural site protection
5. Open Space Provisions
6. Landscape character and botanical character around Building 48
7. Lack of a Masterplan to evaluate detailed plans for the open space designs ie. which trees will be retained and a Landscape & Visual Effects Assessment which ignores the role of trees in the internal landscape and amenity of the site.

1. Lack of Arborist's Report

The Morphem Ecological Impact Assessment (A08) contains a map in Appendix 1 that identifies the location of a number of "significant trees". However there is no accompanying table that identifies the species, size, health, condition, or protection (or not) of any of these trees, or any indication of whether the proposed development intends to retain any of them and if so how they will be protected. This is totally inadequate and is not a substitute for an Arboricultural Report compiled by a qualified arborist. This needs to be provided.

The existing list of identified trees in Table I334.6.7.1 of the Wairaka Precinct consent document is totally inadequate as a record of the significant trees on the site. Of the 47 plants listed, 6 are shrubs, 1 is a climber and at least 8 have already been removed.

183.1

2. Lack of Evaluation of Remaining Trees as Notable Trees

The documentation provided should include an arborist’s report, compiled by a qualified arborist, evaluating and specifically identifying the remaining trees and assessing them against the Notable Trees criteria for scheduling in the Unitary Plan. We understand that this is a legal requirement for all Plan Changes so that potential Notable Trees are adequately legally protected in perpetuity as part of the Plan Change. Historically all the trees on the site were protected as part of the education zoning and therefore many of those worthy of scheduling were never nominated or evaluated. Many of these significant trees have already been lost as part of the infrastructure works, which were done without public notification or any opportunity to make submissions. This makes it even more important that evaluation of the remaining trees and scheduling of those qualifying is done as part of this Plan Change.

183.1

3. Lack of Tree Protection / Tree Works Methodologies

The documentation states that the retention of trees on the site will “counterbalance the increased residential density and built scale of development” (Open Space Framework, Appendix 4), while not providing for any process that will ensure the retention and legal protection of any of the trees other than those already legally protected as Notable Trees.

The applicant must provide a tree protection / tree works methodology compiled by a qualified arborist designed to ensure that there are no short or long term adverse effects upon retained trees and that there is a legal process implemented as part of the Plan Change by which all retained trees will be protected in perpetuity. This should include:

- a. scheduling as Notable Trees those evaluated as qualifying against the criteria;
- b. covenanting;
- c. zoning as Open Space, Significant Ecological Area or riparian margin.

183.2

4. Lack of Archaeological / Cultural Site Protection

The Mahi Whenua Sanctuary Gardens is a significant cultural site. Maori gardening implements have been discovered in this area. It is thought to have been continuously gardened from pre-European times. One of these implements is set into the floor of the Marae Pukenga building 171 on the Unitec site. We note that this site is identified as culturally and archaeologically significant in Attachment A11 Archaeological Assessment (R11/3134), however no mention is made of these implements whatsoever. This appears to be a significant omission that needs to be rectified and the protection of the site where they were found prioritised accordingly. We expect this area to be retained and protected and zoned as Open Space. This needs to be made clear.

183.3

5. Open Space Provisions

Referring to A 05. Open Space Assessment

2.3 We note the increase and redistribution of open space proposed from 3.6ha to 5.2ha, but also note that this is only achieved by purchase and rezoning of existing open space from Unitec Te Pukenga which decreases the open space ratio for that institution. Of particular concern are 2 existing open space areas currently part of the Unitec campus. One is the Knoll Open Space adjacent and contiguous as a landscape context to Building 48, and the other is the Sanctuary Garden area to the south of the Te Auaunga Access Park that is home to a very highly valued community garden.

183.4

Northern Open Space

3.3-3.12 There is only one reference to the existing trees within these clauses. The trees are a very strong component of the visual character of the Unitec Building 1 frontage. Clause 3.10 states that “Trees and the existing open space layout can be modified and enhanced, while retaining landscape features of value to the amenity of the open space.” AO4 pg 23 shows 6 trees retained, but there are other significant trees in this area which should be retained.

183.5

Recommendation: That the applicant be required to retain all the significant trees in this area, as determined by a qualified arborist.

Central Open Space

3.20 Landscaping: There is no detail provided as to the design of this space with reference to the sentence “There is opportunity for enhancement with planting of trees and other vegetation at an appropriate scale to support the recreational use and amenity offered by the large open space area.”. As this area has been a sports field with no tree plantings, it would be appropriate to know what the character and location of the proposed planting would be like.

183.6

Recommendation: That the applicant be required to provide a landscape plan for this open space area as part of the plan change documentation.

Te Auaunga Access Park

3.28 Visibility. No mention is made of the adjacent Mahi Whenua Sanctuary Gardens. It seems appropriate to acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens. These highly valued community gardens are utilised by multiple families in the surrounding community and archaeological evidence (see above) suggests that it has been continuously gardened since pre-European times.

183.7

The Mahi Whenua Sanctuary Gardens are shown as part of the Waiohua – Tamaki Rōpū Lots. Why is it not identified as being as Open Space, which we understood had already been agreed with Auckland Council?

183.7

Knoll Open Space

3.34 **Character.** A strong characteristic of this open space is its relationship to Unitec’s Building 48, built in 1896. The building, used for teaching by the School of Architecture has no heritage classification but has strong heritage value nevertheless. Building 48 was the Māori Mental Health unit in the psychiatric hospital era. The Knoll Open Space constitutes the landscape grounds of Building 48. It sits on the ridge with treed lawns rolling down to the north and west of the building to the Spine Road. The Open Space Assessment describes the Notable protected trees appropriately, but neglects to describe that they, and the other trees adjacent relate inherently to the building. As such they should be retained as part of the Unitec campus and continue to be protected as part of the educational precinct around Building 48.

183.8

South Open Space

3.47 This clause states that the open space area has no stormwater function.

3.48 This clause states that about a third of the land comprises an artificial high amenity stormwater pond, that clearly has a stormwater function. These clauses seem contradictory. The heavy clay soil in this area does render parts of it wet and boggy in winter. Perhaps these clauses could be amended to give clarity.

183.9

There is no indication whether these areas of proposed Open Space will be vested / zoned as such in the Unitary Plan. This needs to be done. It would ensure that remaining trees within these areas would be legally protected, providing they survive the development process. This will indicate whether there is in fact additional Open Space being provided by this development or whether existing education land open space is simply being repurposed and counted twice as serving both educational and residential purposes. This is disingenuous.

183.10

6. Landscape and botanical character around Building 48

The open space around Building 48 is a particularly significant area of landscape and botanical value. The treed rolling landscape has elevation, views and grandeur when considered in combination with the building. It is also a hot spot of botanical variety with a wide range of both mature native and exotic trees, planted around the time the building was completed in 1896. This makes them over 120 years old. Of particular note are the scheduled ginkgo, coral trees and jacaranda, but also the rare Japanese tan oak and grove of large natives.

183.11

Recommendation:

That the notable trees around Building 48 remain as part of the Unitec campus, connected to their raison d'être. This would require moving the plan change boundary by 20m to the north of Building 48 to include the notable scheduled *Erythrina crista-galli* (coral tree), *Ginkgo biloba* (ginkgo), and 40m to the west of Building 48 to include the notable scheduled *Jacaranda mimosifolia* (jacaranda) and the stand of 120 year old natives including puriri, pohutukawa, totara and rimu.

183.11

Additionally, a covenant should be required to ensure the trees are retained in perpetuity.

7. Masterplan and Landscape & Visual Effects Assessment

The documentation lacks a masterplan to enable the public to evaluate detailed plans for the open space designs ie. which trees will be retained.

183.12

The Landscape and Visual Effects Assessment prepared by Boffa Miskell, focused almost exclusively on the visual effects of the proposed development from public viewing positions looking into the site. There is very little comment on the amenity provided by the existing mature trees, most of which are not protected. Instead, the Landscape and Visual Effects Assessment relies on new planting and urban design to provide landscape amenity. The report acknowledges that there are Notable Trees on site, but it is not made clear whether the bulk and location drawings have included these trees in the concept plans. In the earlier master planning documents prepared by Boffa Miskell, "high amenity trees" and existing urban ngahere is identified, but the more recent Landscape and Visual Effects Assessment hardly mentions existing trees apart from Scheduled/Notable Trees and the cluster of trees around Building 48 that fall into a green space. They mention that "some trees will be removed" but this is as far as the report goes.

Whilst we acknowledge that most of the mature trees on site no longer have legal protection, from a landscape planning and visual effects perspective, integration of at least some of these trees into the urban design should be considered.

Conclusions:

Our submission limits its scope to insisting that that level of intensification proposed demands balancing with generous open space and large scale vegetation ie. trees.

The Council rightly requires the open space plan to be documented, for the amenity and health of the thousands of people who will come to live in the precinct. However it is noted that this is achieved by removing the open space areas from Unitec campus. Using an old expression - this seems like robbing Peter to pay Paul. Has a calculation of the remaining open space been done for the Unitec campus to ensure it remains sufficient for student and

staff wellbeing? Or is the open space counted for both zones, therefore a kind of double-dipping exercise?

The value of the remaining trees in the precinct is enormous. Amenity, ecology, water management, pollution control and visual character values make mature trees valuable assets in establishing a new development. However the documentation provided is totally inadequate in even identifying the existing trees, let alone evaluating their quality, health and value and identifying how they will be retained and protected.

The track record of the development activities thus far have taken a 'tabula rasa' approach, with tree removal being undertaken wherever conflict arises, without alternative design solutions being considered in order to retain trees. Therefore we have no confidence that this will not continue to be the approach taken, unless the trees are individually identified for retention and given legal protection via either scheduling or covenant, or retained within Open Space provisions as part of the Plan Change. There needs to be a clear plan for how works will be undertaken without damaging the health of retained trees. This is missing.

The trees around Building 48, the Mana Whenua Sanctuary Garden trees and vegetation and the trees in front of Building 1 are all vital green infrastructure on the site and of high value for the residents of Auckland as a whole, not just for this development, as their Notable status demonstrates

The Tree Council considers it imperative that these public tree assets are identified, evaluated and permanently protected and looks for assurance of this protection within the precinct documentation, which is missing at present.

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - David Ross and Wendy Beverley Allan
Date: Friday, 2 February 2024 8:30:16 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: David Ross and Wendy Beverley Allan

Organisation name:

Agent's full name:

Email address: dwallan@xtra.co.nz

Contact phone number:

Postal address:

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Number of homes, density of homes

Property address: Carrington Rd

Map or maps: Section 1

Other provisions:

Number of vehicles

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Too many people. No Schooling provided and currently local schools at capacity. Not enough green space for population proposed. Green space can not be easily replaced so should be dedicated and provided as part of original plan.

184.1
184.2

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Louise Punt
Date: Friday, 2 February 2024 8:30:16 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Louise Punt
Organisation name:
Agent's full name:
Email address: louisemspeed@gmail.com
Contact phone number:
Postal address:
Point Chevalier
Auckland 1022

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
PC94
Property address:
Map or maps:
Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Increasing the housing in the area will put even more pressure on the infrastructure and schools. The roads in this area will not cope with the increased traffic if more housing than currently proposed is added.

185.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Lisa Paulsen
Date: Friday, 2 February 2024 8:30:20 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Lisa Paulsen
 Organisation name:
 Agent's full name:
 Email address: lisajanesherman@gmail.com
 Contact phone number:
 Postal address:
 27 Buxton St
 Pt Chevalier
 Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94
 Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
 Zoning
 Density
 Building heights
 Open Space
 Educational facilities

Property address: Unitec / Carrington

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

- Not enough green space - little pockets here and there are not enough. The people deserve large open green spaces. Studies have found mental health of residents improves when surrounded by and have easy access to large green spaces. | 186.1
- This development MUST remain a residential zone - NOT a business-mix zone. Business zones deliver poor outcomes for future residents - no balconies, no requirement for outlook etc. | 186.2
- Proposed heights for buildings, means high intensification. The building heights do NOT need to be amended. I oppose this. | 186.3
- Local primary schools are nearing capacity. Also what options have been considered for preschool | 186.4

and secondary school options? No land has been zoned for new educational facilities, this must be addressed as there will be thousands living on this site.

- Also, where is the provision for a community hub, medical and social services facilities, and other essential services?

186.5

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

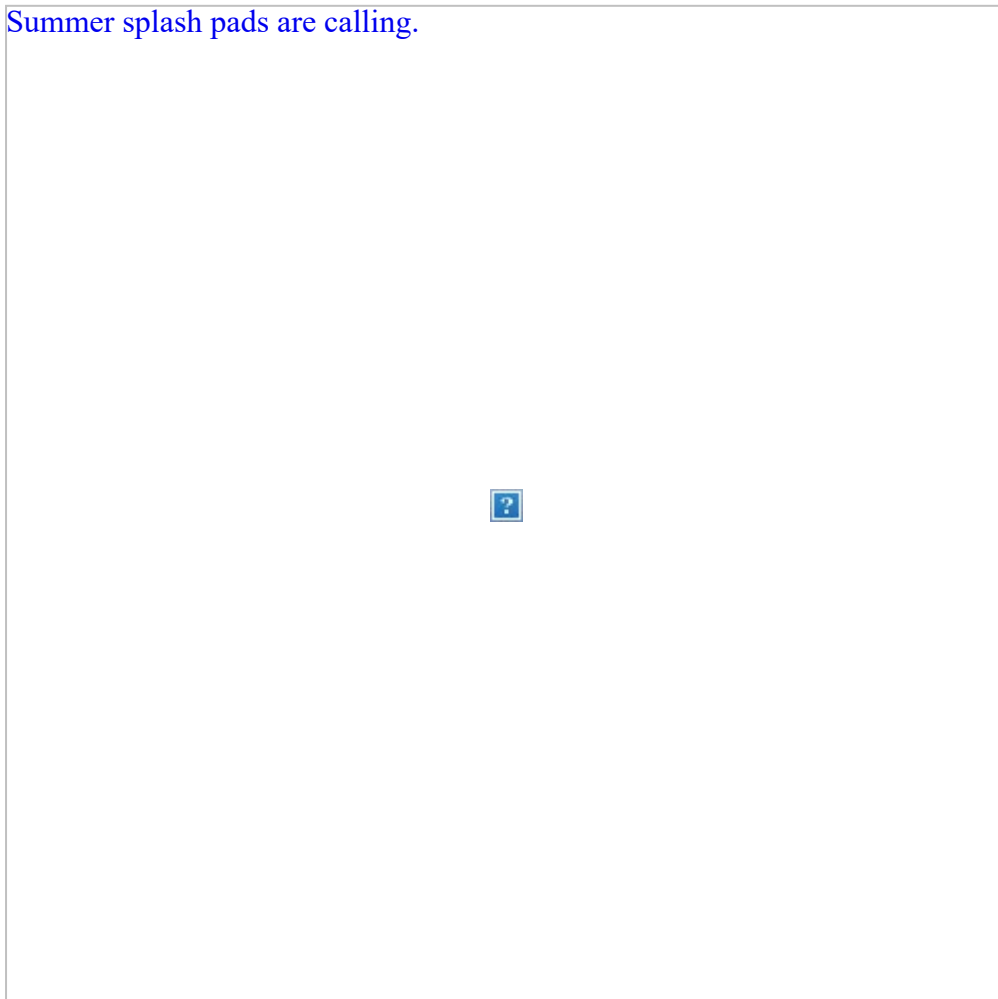
Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Gordon Horsley
Date: Friday, 2 February 2024 8:45:16 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Gordon Horsley

Organisation name:

Agent's full name:

Email address:

Contact phone number: 0274316348

Postal address:

8 Rhodes Ave

Mt Albert

Auckland 1025

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Activity Table Development (A27), (A28) and (A29) and associated Assessment criteria regarding the extension of the existing southern roads into the precinct

Public Open Space

Property address: I334.10.1 Te Auaunga: Precinct plan 1

Map or maps:

Other provisions:

Southern roading Connections

Integrated Transport Assessment

Public open space

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

There is a Lack of clarity about whether the development still has the potential to create a through road from the southern streets around the back of the Unitec campus which could then join onto Carrington Road and create a rat run. Neither the existing precinct objectives and rules, nor those proposed in the plan change, specifically prohibit vehicular connectivity from the southern existing residential roads into the northern part of the precinct and this creates significant uncertainty and angst for the local community. The precinct provisions should therefore explicitly rule out any connection between the northern and central areas of the precinct (in this regard including the Unitec tertiary education area) and the southern

187.1

residential zones within the precinct and explicitly state that only an extension of the existing southern cul-de-sacs be allowed for vehicles into the southern residential zone within the precinct. Walking and cycling connections should still be provided for.

There is a Lack of clarity and significant remaining ambiguity about how and when streets to the south of the site (including Rhodes Ave, Raetihi Crescent and Mark Road) will be affected by the change in landuse, the various construction stages (including construction traffic itself) and the ongoing traffic management and parking post the various stages of development, and lack of clarity about how this will be appropriately managed.

187.2

The number of dwellings has increased significantly but the number of parking spaces has remained the same. To attempt to mitigate the risk of this creating spillover parking in the southern streets Residents only parking is proposed but there is a lack of clarity about how this would work and be enforced. Either parking spaces should be increased, public transport capacity and connections strengthened, or the number of dwellings reduced.

There is a lack of clarity regarding the nature and timing of upgrades to Carrington road and implications for the constricted bridges at Pt Chev and Mt Albert Shops and the level crossing on Woodward Road. Significant upgrades (including widening the bridges and grade separation for the rail crossing) to all of these elements will be critical to the outcome of any development on the site at the scale proposed but have not been included in the Carrington Road upgrade proposal or future plans.

187.3

There is a lack of integrated forward planning and only limited analysis of the effects that the change in landuse and subsequent intensification will have on local amenities, community facilities, public open space, schools, water quality (including for Oakley Creek and Pollen Island Marine reserve) and flooding. There is a clear need for additional public open space including more neighbourhood parks and sports areas.

187.4

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: as described in the reasons for my views box

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Tracey brown
Date: Friday, 2 February 2024 8:45:18 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Tracey brown
Organisation name:
Agent's full name:
Email address: tracey.darryl@xtra.co.nnz
Contact phone number:
Postal address:
54 wainui avenie
Pt chevalier
Auckland 1022

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Height to apartment buildings
Less green space taken for buildings that's needed for children to play and people to exercise and walk and have green areas to help with mental health.
The area does not have good enough infrastructure schools and local amenities for these addional thousands by increasing the number of homes by 2000 it doesn't even have enough facilities for the original proposal,

Property address: WAiraka precinct

Map or maps:

Other provisions:	
Height to apartment buildings	188.1
Less green space taken for buildings that's needed for children to play and people to exercise and walk and have green areas to help with mental health.	188.2
The area does not have good enough infrastructure schools and local amenities for these addional thousands by increasing the number of homes by 2000 it doesn't even have enough facilities for the original proposal,	188.3

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:
Height to apartment buildings
Less green space taken for buildings that's needed for children to play and people to exercise and

walk and have green areas to help with mental health.

The area does not have good enough infrastructure schools and local amenities for these additional thousands by increasing the number of homes by 2000 it doesn't even have enough facilities for the original proposal,

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

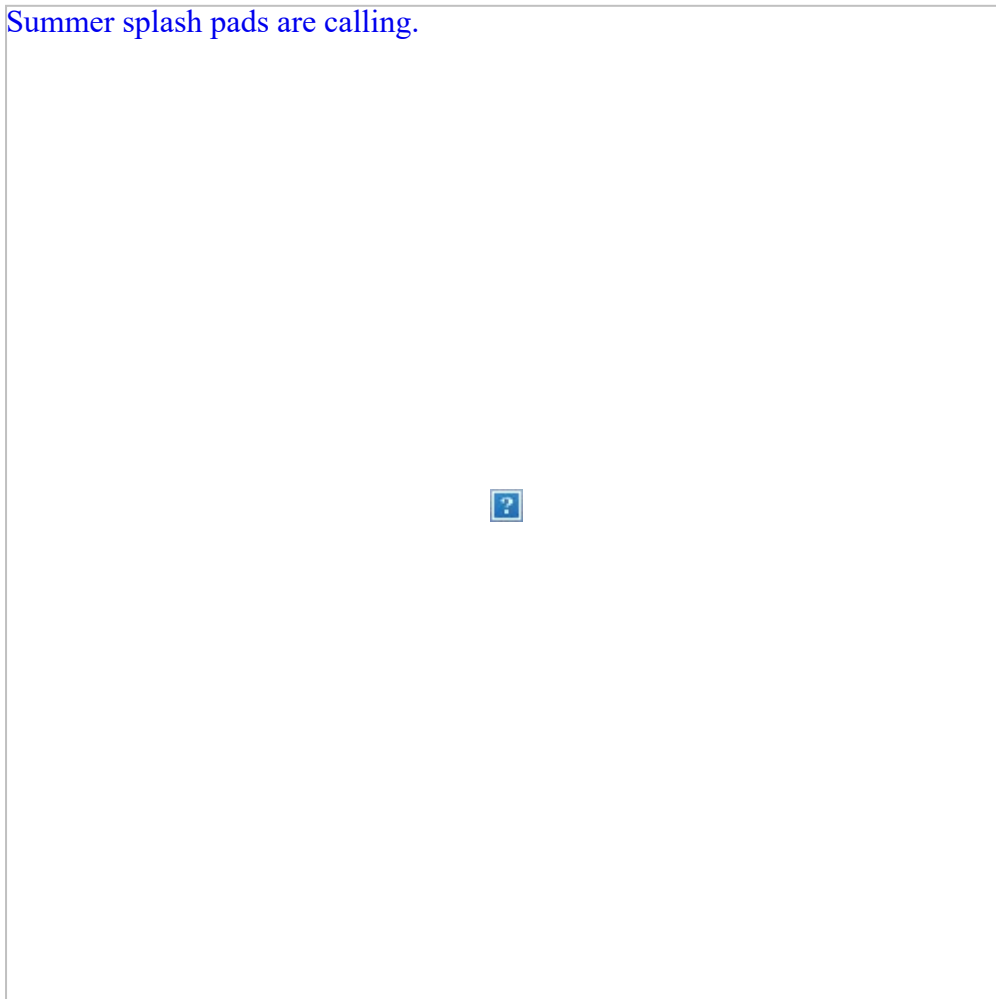
Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Anna Gillan
Date: Friday, 2 February 2024 8:45:18 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Anna Gillan
Organisation name:
Agent's full name:
Email address: amcgillan@icloud.com
Contact phone number: 021800053
Postal address:
17 Boscawen st
Pt chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Local infrastructure cannot cope already, let alone local schools struggling already. I definitely oppose the developers trying to take away green space from this development to add more housing for their profit.

189.1

Property address: Unitec/Carrington development

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:
Local infrastructure cannot cope already, let alone local schools struggling already. I definitely oppose the developers trying to take away green space from this development to add more housing for their profit.

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?

Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Alexandra Dare
Date: Friday, 2 February 2024 9:00:16 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Alexandra Dare

Organisation name:

Agent's full name:

Email address: alexandradare@gmail.com

Contact phone number:

Postal address:

39 Target St
Pt Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

Removing parks and going up 25 stories high etc.

Property address: Unitec

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:

The local area does not have enough infrastructure to cope with the amount of people for the area. Local schools and shops can't cope.

190.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Yolande Joe
Date: Friday, 2 February 2024 9:15:18 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Yolande Joe
 Organisation name:
 Agent's full name:
 Email address: yolandejoe@gmail.com
 Contact phone number:
 Postal address:

Submission details

This is a submission to:

Plan change number: Plan Change 94
 Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
 Notable Trees
 Open Space
 Schools

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

The notable trees throughout the site should be audited and updated. This includes any that may have been removed and their current health status. To ensure that they are adequately captured.

191.1

The amount of open space provided does not appear to enough for the future users

191.2

The increase in number people likely includes some children. Will this additional number be able to be met in local schools that are already near capacity.

191.3

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: Provide notable tree audit. Provide more open space. Provide assesment

to ensure children will be able to be accomodated in local schools or a new school built within the precinct

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

[Summer splash pads are calling.](#)



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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Michelle Strawbridge
Date: Friday, 2 February 2024 9:15:24 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Michelle Strawbridge
Organisation name:
Agent's full name:
Email address: michelle.strawbridge@gmail.com
Contact phone number:
Postal address:

Submission details

This is a submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Property address: 1-139 Carrington Road
Map or maps:
Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Education Facilities:

No plans or new school zones exist for additional local educational institutions to support the growing population. Existing schools lack the capacity for new students.

192.1

Density & Building Heights:

The development's size resembles a small NZ town but with CBD-like density, which doesn't align with the proposed area. A proposed height increase to 72 meters is inconsistent with areas outside the CBD.

192.2

Open Spaces:

Five open spaces totaling 5.1 hectares are identified for potential vesting to Auckland Council, falling short of the 7.7 hectares specified in the 2019 Reference Plan. An additional 10.6 hectares were acquired, but it's unclear how much will contribute to overall open space. The location of other open spaces, including the Sanctuary community gardens and food forest area, remains uncertain.

192.3

Zoning:

If these are homes, they should be zoned Residential. The proposal to rezone large areas to Business-Mixed seems aimed at increasing density without creating a well-designed urban residential environment, including setbacks from roads and streams.

192.4

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Julia Helen Woodward
Date: Friday, 2 February 2024 9:15:28 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Julia Helen Woodward

Organisation name:

Agent's full name:

Email address: julia.drawdoow@gmail.com

Contact phone number:

Postal address:
11 Target Street
Pt Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
we oppose changes to building density, amount of open spaces, building heights and zoning

193.1

Property address: Wairaka Precinct

Map or maps:

Other provisions:
we want to see no changes to building density, amount of open spaces, building heights and zoning

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
we live locally and want to ensure local development is of a high standard and able to be sustained.

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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By email: unitaryplan@aucklandcouncil.govt.nz

Attn: Planning Technician
Auckland Council
Level 16, 135 Albert Street
Private Bag 92300
Auckland 1142

FORM 5: SUBMISSION ON A NOTIFIED PROPOSAL FOR POLICY STATEMENT OR PLAN CHANGE OR VARIATION UNDER CLAUSE 6 OF SCHEDULE 1, RESOURCE MANAGEMENT ACT 1991

TO: Auckland Council ("**the Council**")
NAME: Sport Auckland
SUBMISSION ON: Plan Change 94 Wairaka Precinct ("**PC94**")

Submitter details

Mike Elliott, Chief Executive
On behalf of **Sport Auckland**

Sport Auckland House
Level 4, Gate B,
Alexandra Park Function Centre
Greenlane West
Epsom
Auckland 1051

021 903 294

mike.elliott@sportauckland.co.nz

Scope of submission

Plan Change 94 (private)
Plan Change Name Wairaka Precinct

The specific provisions that our submission relates to are:

1. The provision and function of the proposed open space.

Background information about the submitter

2. Sport Auckland is a Regional Sports Trust that was established in 1992.
3. As a charitable trust our purpose is to inspire our communities to live healthy active lives. To achieve our purpose we deliver play, sport, active recreation, health and wellness initiatives directly into the community, for the community.
4. With finite resources we prioritise our work focusing on areas of high deprivation; areas where there are large pockets of inactive communities; areas where there are large pockets of inequity; and areas of need. We specifically service local communities within Central, East and South East Auckland.
5. We work closely with Auckland Council Local Boards including Albert-Eden.

Submission

Our submission is that Sport Auckland wishes to have the provisions identified above amended to include the provision of playing fields as part of the proposed open space network.

The reasons for Sport Auckland’s views are:

- 6. We support the provision of open space but we are concerned that the nature of the open space does not lend itself to organised sport and lacks provision for sports fields.
- 7. Albert Eden specifically has a shortfall of sports fields. The Albert-Eden Open Space Network Plan indicates a shortage of sports fields and on page 15 notes “*depending on the sporting code, Albert-Eden has capacity to meet 52 to 90 per cent of community expected field provision targets to 2028.*”
- 8. The Albert-Eden Sport and Active Recreation Facility Plan puts a high priority on investigating sports field provision as part of the housing development for this site.
- 9. We do not agree with paragraph 6.34 of the Boffa Miskell open space assessment that “*dedicated sports fields, for obvious reasons, need to be restricted in terms of casual use by the community so that they are available for organised sports. They are also often access restricted outside these hours, to provide for grounds maintenance or protection and for safety reasons.*”
- 10. Much of our open space network across central Auckland includes sports fields. Open spaces used by grass-based sports such as football, rugby and cricket are fully accessible and available to the public except when practices and games are being played. In that case the non-sports field areas of open space can still be accessed and used for less formal recreation activities.
- 11. We do not agree that providing sports fields in this location would have bad community outcomes. Through our work we know that sport and active recreation provide significant community benefit and facilitate greater community connectedness. Our stakeholders have told us they want more opportunities to be physically active and to be able to live healthy lives.
- 12. We believe the development proposed at the former Unitec Site provides a rare and valuable opportunity to provide sports fields in a built-up area with a growing population where there is an identified shortage.
- 13. Given the density of the proposed development we believe that many future residents would highly value the opportunity to access sports fields in their immediate location. This helps to reduce the need to travel by private motor vehicle to access organised sport.
- 14. The value and benefit of sport and its associated sports fields connects to Te Whatu Ora’s Population Health initiatives that address the well-being of the community. The opportunity to connect Central Government strategies and implement at a local community level should not be overlooked.

Decision sought

- 15. An amendment to the open space provision to include sports fields.
- 16. The submitter does **not** wish to be heard in support of this submission.
- 17. I could not gain an advantage in trade competition through this submission.

194.1



Signature:

Mike Elliott
Chief Executive
Sport Auckland

Date:

2 February 2024

From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Katherine McCallum
Date: Friday, 2 February 2024 9:30:16 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Katherine McCallum

Organisation name:

Agent's full name:

Email address: katherine.dawe@gmail.com

Contact phone number:

Postal address:

25 Verona Ave

Mt Albert

Auckland 1025

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

N/a

Property address: Carrington rd

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Open space- not enough green spaces for the huge number of buildings. Trees should not be removed. Please retain the community gardens! 195.1

195.4

Education facilities- how is there not a school planned for the amount of children expected to be living here? Local schools are already at/near capacity.

195.2

Height of buildings- over 70m?! Will look very out of place, and result in even larger numbers of people living in an area that is not able to support this.

195.3

I or we seek the following decision by council: Decline the plan change, but if approved, make the amendments I requested

Details of amendments: As above

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Jo austad
Date: Friday, 2 February 2024 9:30:18 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Jo austad
Organisation name:
Agent's full name:
Email address: joaustad@gmail.com
Contact phone number:
Postal address:
24 Raymond street
Point chevalier
Auckland 1022

Submission details

This is a submission to:
Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Alter plan to reduce green space and increase building height to 25 floors.

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? No

The reason for my or our views are:
Traffic implications. Intensity especially around schools. Reduced green space.

196.1
196.2

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Sarah Mavor
Date: Friday, 2 February 2024 9:30:18 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Sarah Mavor
Organisation name:
Agent's full name:
Email address: sarah@mavornutrition.co.nz
Contact phone number:
Postal address:

1022

Submission details

This is a submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Raising heights of buildings and removing green spaces and gardens

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Increasing the density of the area with raised heights will compromised the proposed green spaces for the area. This increase in housing will pose huge issues for the local schools, infrastructure, roads, traffic and services already under pressure.

| 197.1

| 197.2

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Bridget Judd
Date: Friday, 2 February 2024 9:30:19 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Bridget Judd

Organisation name:

Agent's full name:

Email address: bridget_judd@yahoo.co.nz

Contact phone number:

Postal address:
37 Humariri Street
Point Chevalier
Auckland 1022

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
PC94

Property address:

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:
Schools cannot cope with even more houses going into this development. Traffic can't cope either. It is already extremely busy. The local infrastructure is already pushed to capacity without this development let alone making it even bigger.
We need our green spaces, we love the rainbow walkway, we love the parks, people will need green space for mental health, for places to meet and take time out.

198.1

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

No

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Caroline Botting
Date: Friday, 2 February 2024 9:30:22 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Caroline Botting

Organisation name:

Agent's full name:

Email address: carolinebotting@gmail.com

Contact phone number:

Postal address:

5 Hawea Road

Point Chevalier

Auckland 1026

Submission details

This is a submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:

New Carrington development proposals;

Oppose PC94 because waterview schools can't cope, traffic can't cope, no properly designed infrastructure for the increase in housing and absolutely dead against cutting down more mature trees! There's already been a chainsaw massacre there. | 199.1 | 199.2

Property address: 180 Carrington Road Mt Albert

Map or maps:

Other provisions:

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

As above

I or we seek the following decision by council: Decline the plan change

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? No

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: [Unitary Plan](#)
To: [Unitary Plan](#)
Subject: Unitary Plan Publicly Notified Submission - Plan Change 94 - Karen Oliver
Date: Friday, 2 February 2024 9:45:16 pm

The following customer has submitted a Unitary Plan online submission.

Contact details

Full name of submitter: Karen Oliver
Organisation name:
Agent's full name: karen oliver
Email address: mrsk.oliver@gmail.com
Contact phone number: 0226102509
Postal address:
14 Rhodes Avenue
Mt Albert
Auckland 1025

Submission details

This is a submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

My submission relates to

Rule or rules:
Activity table development (A27), (A28) and (A29) and associated assessment criteria regarding the extension of the existing southern roads into the precinct public open space

Property address:

Map or maps: 1334, 10.1, Te Auaunga Precinct plan 1

Other provisions:
Southern roading connections, Integrated transport assessment. Public open space

Do you support or oppose the provisions you have specified? I or we oppose the specific provisions identified

Do you wish to have the provisions you have identified above amended? Yes

The reason for my or our views are:

Lack of clarity. Concern that the connections will create a rat run, Neither the existing rules nor those proposed in the plan change specifically prohibit vehicle access between the existing southern roads and the proposed northern roads. I feel that the precinct provisions should explicitly rule out any connection between the northern / central areas and the southern extensions to the existing southern roads. Walking and cycling tracks / connections still to be provided for. There is a lack of clarity and ambiguity about how and when streets to the south of the site (Including Rhodes, Raetihi and Mark) will be affected by the change in land use, various construction stages (including construction traffic) and traffic management. The number of dwellings has increased dramatically whilst the number of allocated parking spaces has remained unchanged. What steps are to be taken to mitigate spillover parking into these streets and how will it be enforced? What actions will be taken to offset the impact on local educational facilities (already nearing max capacity), local

200.1

200.2

200.3

amenities, public spaces and community facilities? There is a lack of clarity regarding the nature of and timings for the existing Mt Albert bridge and level crossing on Woodward Rd. With such a huge increase in proposed dwellings (and associated traffic volumes), the existing structures and southern roading falls woefully short in meeting any increase in volume (it is barely adequate as of now). None of these critical components have been addressed in the Carrington Rd upgrade proposal

I or we seek the following decision by council: Approve the plan change with the amendments I requested

Details of amendments: As described in the "The reason for my or our views are" box

Submission date: 2 February 2024

Attend a hearing

Do you wish to be heard in support of your submission? Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

Could you gain an advantage in trade competition through this submission? No

Are you directly affected by an effect of the subject matter of this submission that:

- Adversely affects the environment; and
- Does not relate to trade competition or the effects of trade competition.

Yes

I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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